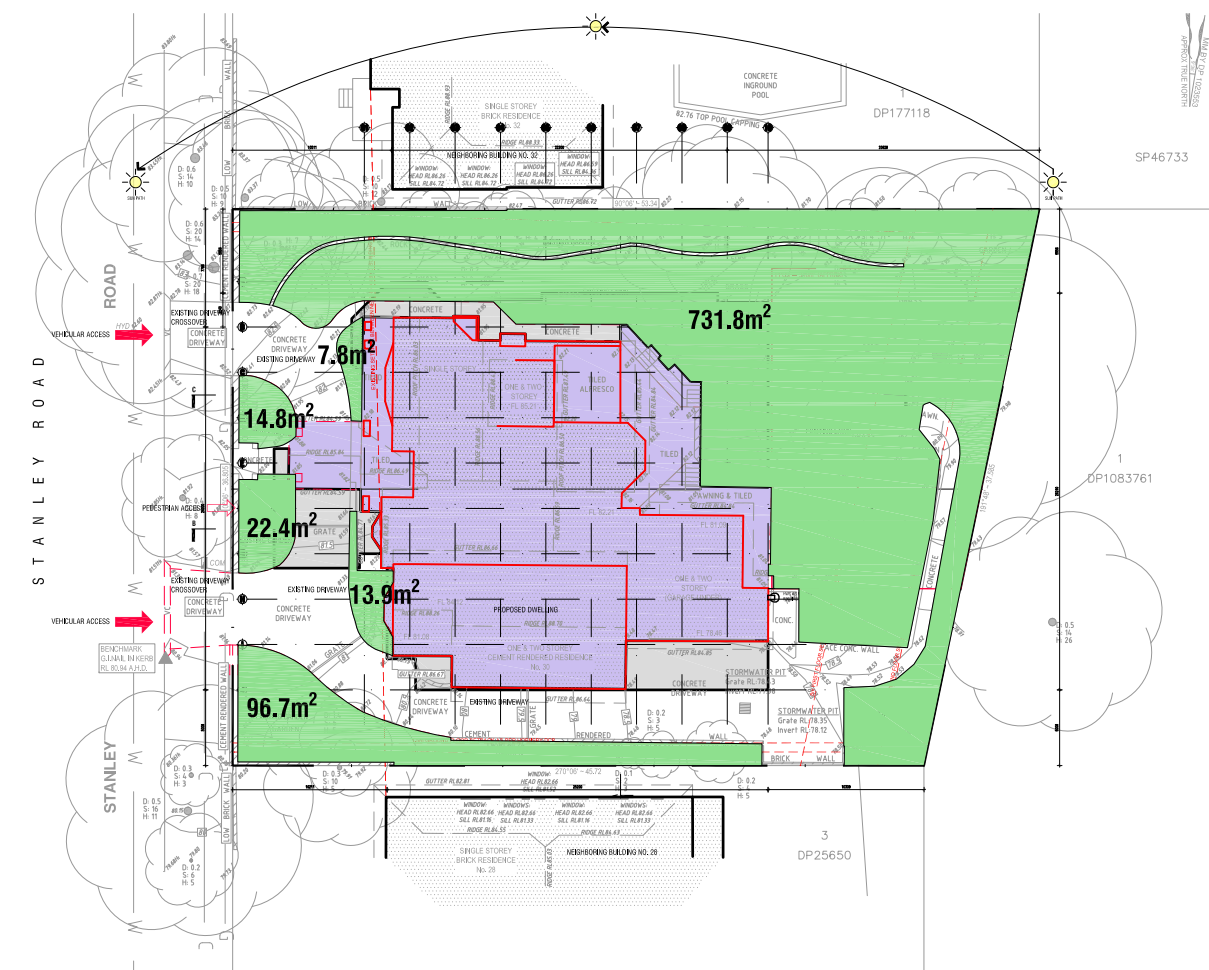


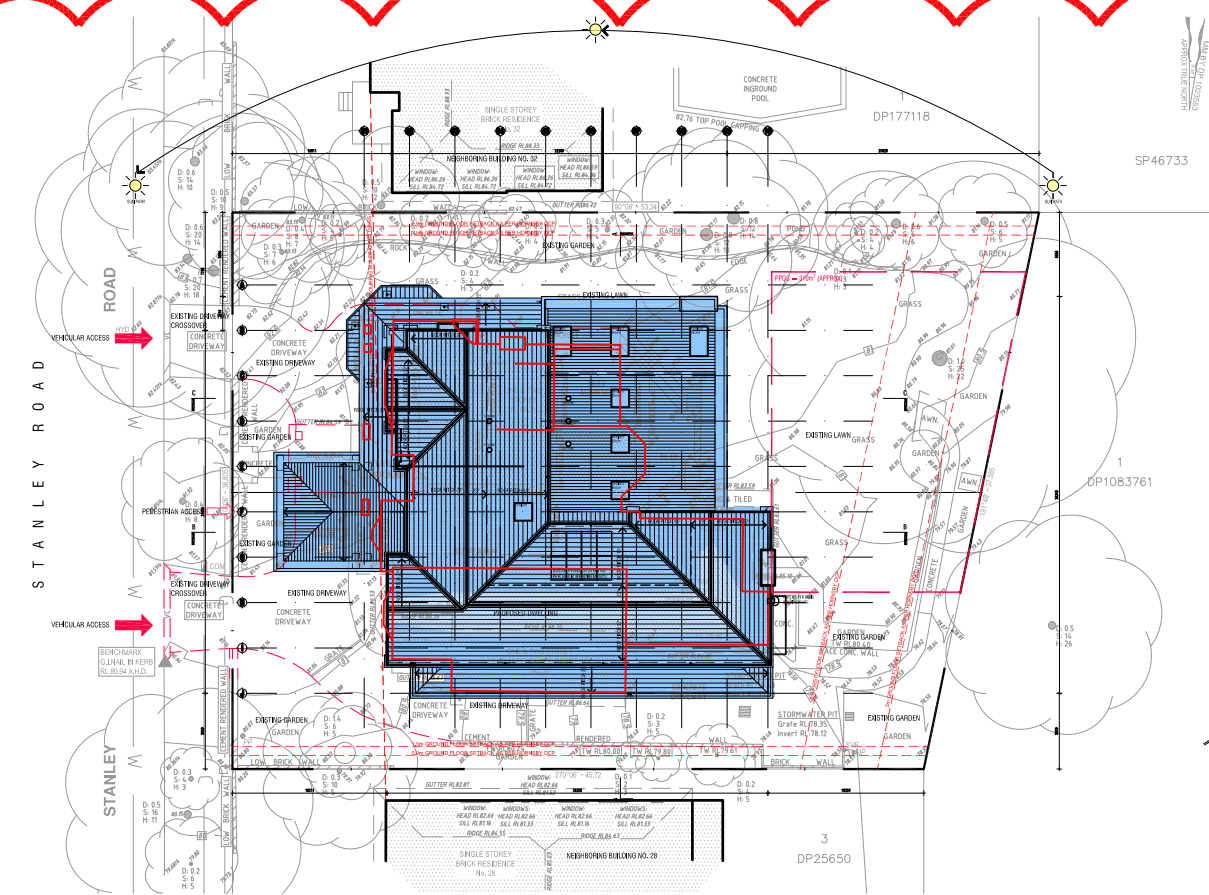
01 | SITE ANALYSIS PLAN
1:200@A1



02 | EXISTING LANDSCAPE AREA
1:500@A1



03 | PROPOSED LANDSCAPE AREA
1:500@A1



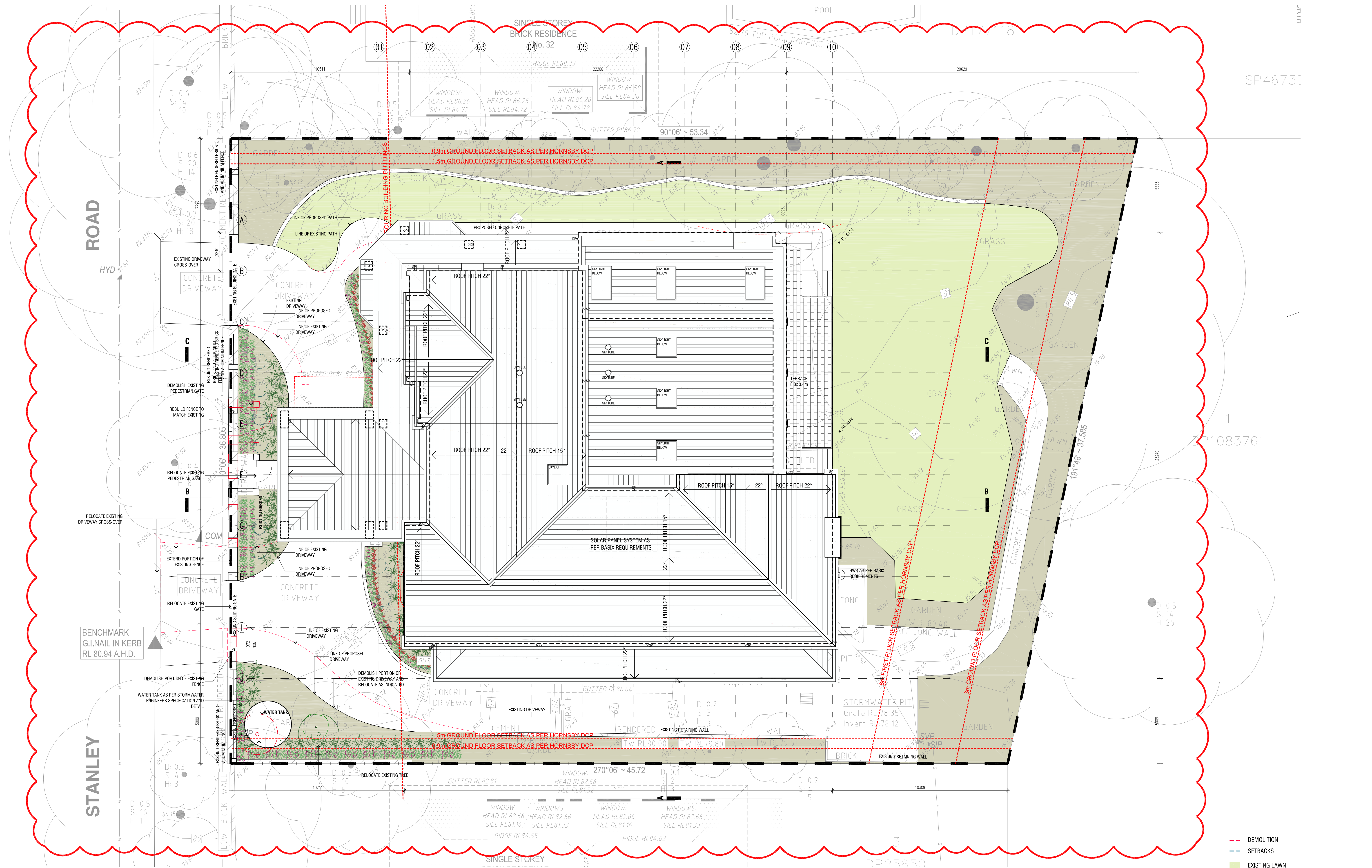
04 | PROPOSED AREA OF ROOF ABOVE THE 9.0m HEIGHT LIMIT
1:500@A1

SUMMARY
THERMAL PERFORMANCE SPECIFICATIONS: (21983 - Stanley Rd)
The following specifications take precedence over other plan notations for the construction of this building.
NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC - Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:
- Building Fabric Thermal Insulation
(NOTE: If steel framing is used a thermal break may be required)
- Building Sealing
- Building Services
- Condensation provisions
(NOTE: Ventilation requirements of Section 3.8.7.3 b must also be complied with and this means bathrooms should not be exhausted into roofspaces unless they are ventilated.)
WINDOWS (total product specification - glass + frame)
U-value 5.40 (or less than) & SHGC 0.58 (+/-5%) (Default: Low-e Clear glass in AL frame)
EXTERNAL WALL (Medium colour)
Cavity brick - R1.5 Bulk insulation (generally)
Cavity brick - No insulation (Garage only)
SKYLIGHTS
VELUX - Double Glazed OPAL (U = 2.60 & SHGC = 0.24)
INTERNAL WALL
Cavity Panel - No Insulation (generally)
Cavity Brick - No Insulation (generally)
Cavity Brick - R1.5 Bulk insulation (between Garage & Living areas/Basement)
EXTERNAL FLOOR
Concrete Slab on Ground - No insulation
Suspended Concrete (Open Sub-Floor) - R1.5 bulk insulation
CEILING SPACE with ROOF ABOVE
Plasterboard - R4.0 bulk insulation
ROOF (Dark colour) (Non-ventilated)
Tile Roofing - Reflective airgap
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)
Refer to current HERS Certificate to validate these thermal specification details.

CONSTRUCTION AS PER BASIX CERTIFICATE	
FLOOR - CONCRETE SLAB ON GROUND	598m²
FLOOR - SUSPENDED FLOOR/ OPEN SUB FLOOR	23m²
FLOOR - SUSPENDED FLOOR ABOVE GARAGE	ALL OR PART OF FLOOR AREA

AREAS	
SITE AREA:	1815m²
MAXIMUM SITE COVERAGE - HORNSBY DCP	30%
PROPOSED SITE COVERAGE	539.5m² or 29.7%
REQUIRED LANDSCAPE - PARRAMATTA DCP	40%
EXISTING LANDSCAPE	887.4m² or 48%
NEW LANDSCAPE	766.5m² or 42.2%

DEVELOPMENT APPLICATION



01 | SITE PLAN/ ROOF PLAN
1:100@A1

DEVELOPMENT APPLICATION



- -	DEMOLITION/ OUTLINE OF EXISTING HOUSE
F	FIXED WINDOW
F-FR	FIXED FROSTED WINDOW
B	BIFOLD DOOR
A	AWNING WINDOW
A-FR	AWNING FROSTED WINDOW

P R E L I M I N A R Y



01 | STREETScape ELEVATION FROM STANLEY ROAD
1:100@A1

-- DEMOLITION/ OUTLINE OF EXISTING HOUSE

DEVELOPMENT APPLICATION

DO NOT SCALE THIS DRAWING. DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON SITE. CONCEPT ONLY. REFER ANY DISCREPANCIES TO THE ARCHITECT. NOT FOR DEVELOPMENT APPLICATION OR CONSTRUCTION. © COPYRIGHT

L
FORM
ARCHITECTS

E STUDIO@LFORM.COM.AU
WWW.LFORM.COM.AU T 0291146900
NOM ARCHITECT - ANTONINO LALLI
REG NO. 7033 ABN 73 140 945 307

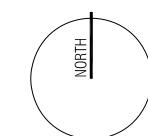
30 STANLEY ROAD, EPPING

PROJECT

STREETScape ELEVATION

DRAWING

AA	05.11.21	FOR DEVELOPMENT APPLICATION
BB	18.05.22	ROOF HEIGHT LOWERED
CC	25.08.22	SECTION 8.2 REVIEW - REVISED ROOF
ISSUE	DATE	AMENDMENT



NOV 2020

DATE

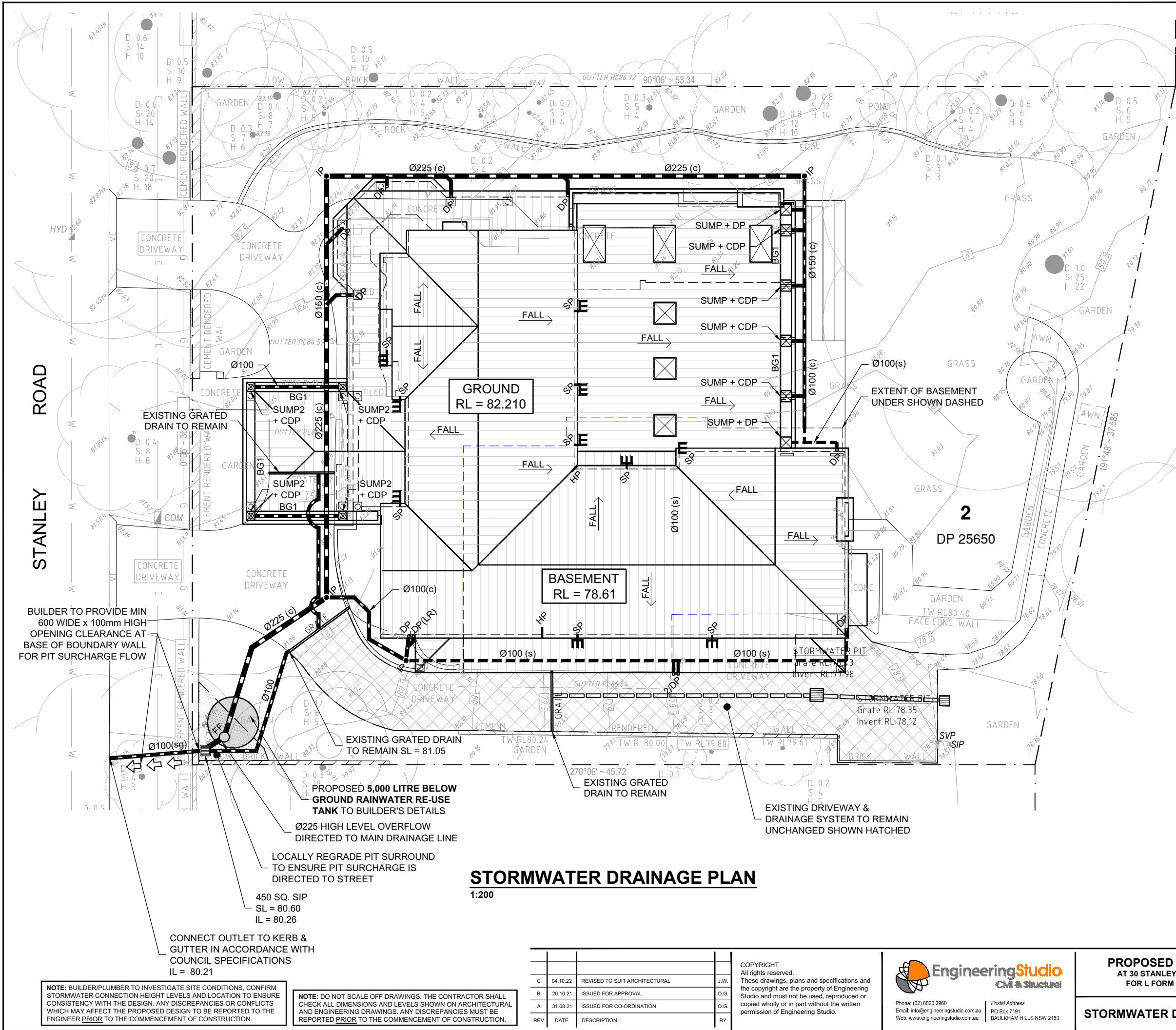
1:100@ A1

SCALE

1901 S82-SR-302 CC

PROJECT NO. DRAWING NO.

ISSUE



STORMWATER DESIGN SUMMARY

COUNCIL: CITY OF PARRAMATTA COUNCIL	
100 YEAR, 5 MIN STORM	= 244 mm/h
20 YEAR, 5 MIN STORM	= 185 mm/h
TOTAL SITE AREA	= 1815.0 m ²
PROPOSED ROOF AREA	= 689.7 m ²
IMPERVIOUS PATHS & DRIVEWAYS	= 36.3 m ²
EXISTING IMPERVIOUS AREA TO REMAIN	= 256.4 m ²
TOTAL IMPERVIOUS SITE AREA	= 982.4 m ²
IMPERVIOUS SITE PERCENTAGE	= 54%

100% NEW ROOF AREA DIRECTED TO 5,000 LITRE BELOW GROUND RE-USE RAINWATER TANK TO BUILDERS DETAILS. HIGH LEVEL OVERFLOW DIRECTED TO BOUNDARY PIT & STREET KERB & GUTTER VIA GRAVITY.

ON-SITE DETENTION NOT REQUIRED FOR PROPOSED DEVELOPMENT ON SINGLE RESIDENTIAL LOTS IN ACCORDANCE WITH 'PARRAMATTA CITY COUNCIL STORMWATER DISPOSAL POLICY'.

STORMWATER DRAINAGE NOTES

- ALL DRAINAGE LINES SHALL BE uPVC (CLASS SH) STORMWATER DRAINAGE PIPE, U.N.O.
- ALL DRAINAGE LINES SHALL BE LAID @ 1% FALL MIN, U.N.O.
- FIRST FLUSH RAINWATER DEVICES TO BE FITTED TO DRAINAGE LINES TO BUILDER'S DETAIL, TYPICAL
- MINIMUM EFFECTIVE EAVES GUTTER SLOPE = 1:500 U.N.O.
- MINIMUM EFFECTIVE EAVES GUTTER SIZE = HALF ROUND 150 OR 8200 mm² EQUIVALENT

LEGEND

	Ø100 OR 100 x 75 RECTANGULAR DOWN PIPE, U.N.O.
	INSPECTION POINT
	HIGH POINT IN EAVES GUTTER
	RAINWATER SPREADER
	FIRST FLUSH RAINWATER DEVICE TO BUILDERS DETAIL
	PROPOSED FINISHED SURFACE LEVEL
	CHARGED PIPE
	PROPOSED BELOW GROUND PIPELINE
	PROPOSED SUSPENDED PIPELINE
	EXISTING PIPELINE
	SUBSOIL DRAINAGE LINE
	PROPOSED SURFACE INLET PIT
	OVERLAND FLOW PATH
BG1	450W x 120D BOX GUTTER
SUMP1	450W x 120D x 600L RAINWATER SUMP WITH 250W x 70D SIDE OVERFLOW
BG2	500W x 115D BOX GUTTER
SUMP2	500W x 70D x 450L RAINWATER SUMP WITH 190W x 70D SIDE OVERFLOW

STORMWATER DRAINAGE PLAN

1:200

REV	DATE	DESCRIPTION	BY
C	04.10.22	REVISED TO SUIT ARCHITECTURAL	J.W.
B	20.10.21	ISSUED FOR APPROVAL	O.G.
A	31.08.21	ISSUED FOR CO-ORDINATION	O.G.

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Engineering Studio and must not be used, reproduced or copied wholly or in part without the written permission of Engineering Studio.



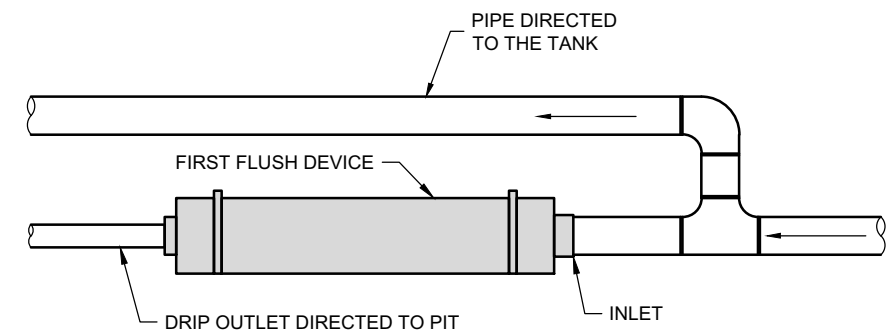
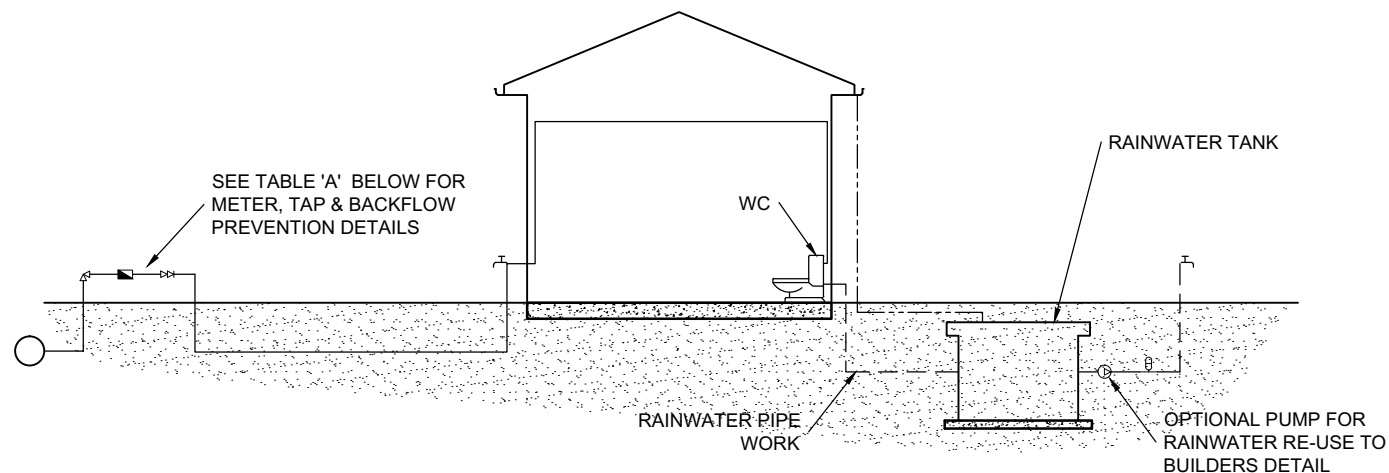
Phone: (02) 8020 2960
Email: info@engineeringstudio.com.au
Web: www.engineeringstudio.com.au

Postal Address
PO Box 7191
BAULKHAM HILLS NSW 2153

PROPOSED RESIDENCE
AT 30 STANLEY ROAD, EPPING
FOR L FORM ARCHITECTS

STORMWATER DRAINAGE PLAN

JOB NUMBER: 210518	DWG NUMBER: C02.01	ORIGINAL SIZE: A3
DESIGNED BY: O.G.	DATE: SEPTEMBER 2021	
DRAWN BY: O.G.	SCALE: 1:200 U.N.O.	

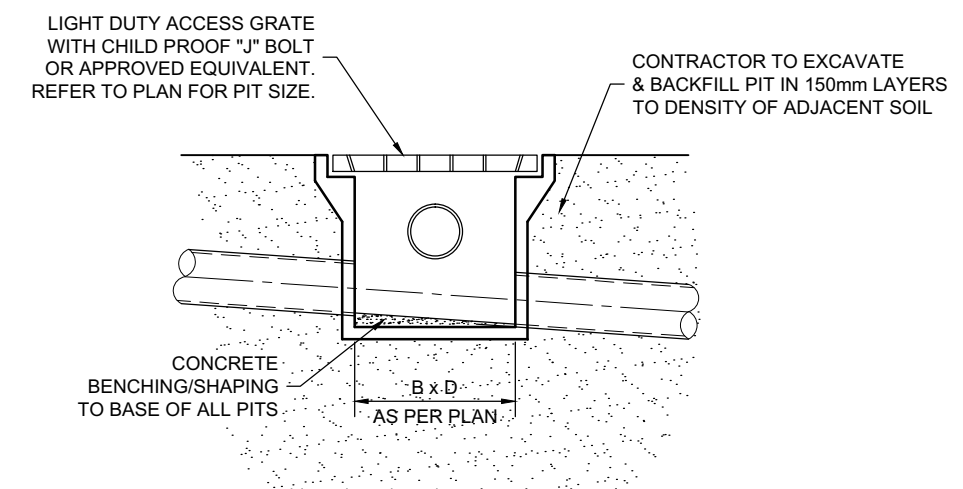


TYPICAL FIRST FLUSH DETAIL
N.T.S.

TABLE A			
RAINWATER TANK LOCATION	METER SIZE (mm)	TYPE OF TAP	TYPE OF BACKFLOW PREVENTION
ABOVE GROUND	20	BALL VALVE	DUAL CHECK VALVE (COMBINED WITH METER)
	25	BALL VALVE	DUAL CHECK VALVE
	> 32	BALL VALVE	DUAL CHECK VALVE
BELOW GROUND	20	BALL VALVE	TESTABLE DOUBLE CHECK VALVE
	25	BALL VALVE	TESTABLE DOUBLE CHECK VALVE
	> 32	BALL VALVE	TESTABLE DOUBLE CHECK VALVE

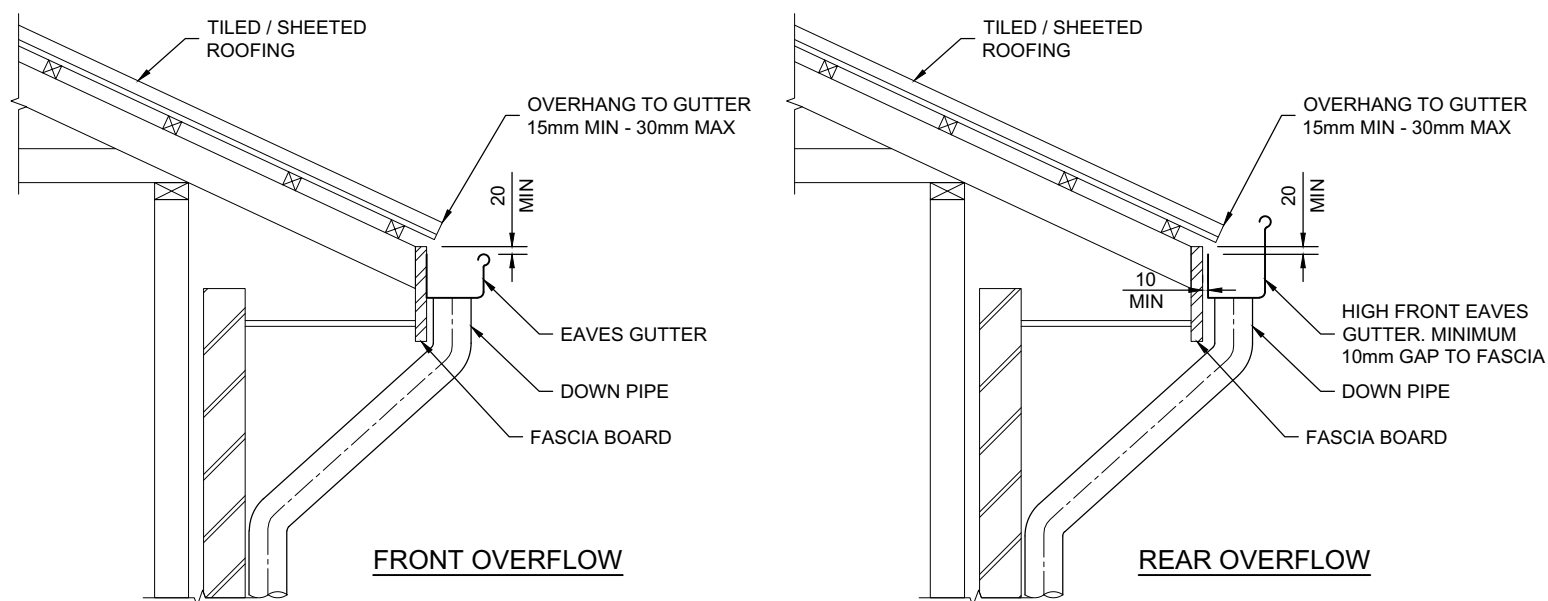
LEGEND	
	PRESSURE VESSEL
	METER
	BALL VALVE RIGHT ANGLE TYPE
	DUAL CHECK VALVE
	PUMP
	GARDEN TAP
	DRINKING WATER SUPPLY PIPES
	RAINWATER SUPPLY PIPES
	DOWN PIPES

- DIAGRAM NOTES:
- DRAWING TO BE READ IN CONJUNCTION WITH SYDNEY WATER PLUMBING REQUIREMENTS
 - FOR TANKS 10,000 LITRES OR LESS, COUNCIL DEVELOPMENT CONSENT IS NOT REQUIRED, IF THEIR CONDITIONS FOR INSTALLATION ARE FOLLOWED.
 - FOR TANKS GREATER THAN 10,000 LITRES COUNCIL DEVELOPMENT CONSENT IS GENERALLY REQUIRED.
 - FOR TANKS MORE THAN 10,000 LITRES APPROVAL IS REQUIRED FOR BUILDING OVER SEWERS.
 - SYDNEY WATER'S APPROVAL IS REQUIRED FOR ANY TOP UP FROM DRINKING WATER SUPPLY, REGARDLESS OF TANK SIZE. NO DIRECT CONNECTION IS ALLOWED BETWEEN THE DRINKING WATER SUPPLY AND THE RAINWATER TANK SUPPLY.
 - RAINWATER PIPEWORK IS SHOWN ON THE DIAGRAM AS SUPPLYING INTERNAL AND EXTERNAL RAINWATER USES. CUSTOMERS MAY WANT ONE OR THE OTHER.
 - ANY DESIGNED ACCESS LID INTO RAINWATER RE-USE TANK IS TO HAVE A LOCKABLE LID. IF THE LID IS DESIGNED TO BE ACCESSED BY A MAINTENANCE PERSON, IT MUST BE AT LEAST 600 mm x 900 mm IN SIZE.

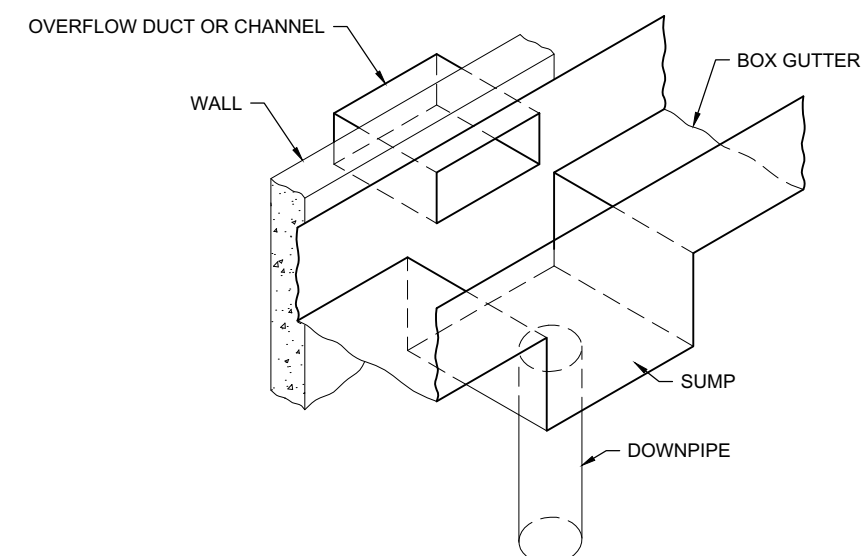


DUAL DRINKING WATER & RAINWATER SUPPLY DIAGRAM
N.T.S.

TYPICAL SURFACE INLET PIT DETAIL
1:20



TYPICAL EAVES GUTTER DETAIL
1:20



SUMP/SIDE OVERFLOW DEVICE
N.T.S.

NOTE: DO NOT SCALE OFF DRAWINGS. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LEVELS SHOWN ON ARCHITECTURAL AND ENGINEERING DRAWINGS. ANY DISCREPANCIES MUST BE REPORTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

REV	DATE	DESCRIPTION	BY
C	04.10.22	REVISED TO SUIT ARCHITECTURAL	J.W.
B	20.10.21	ISSUED FOR APPROVAL	O.G.
A	31.08.21	ISSUED FOR CO-ORDINATION	O.G.

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Engineering Studio and must not be used, reproduced or copied wholly or in part without the written permission of Engineering Studio.

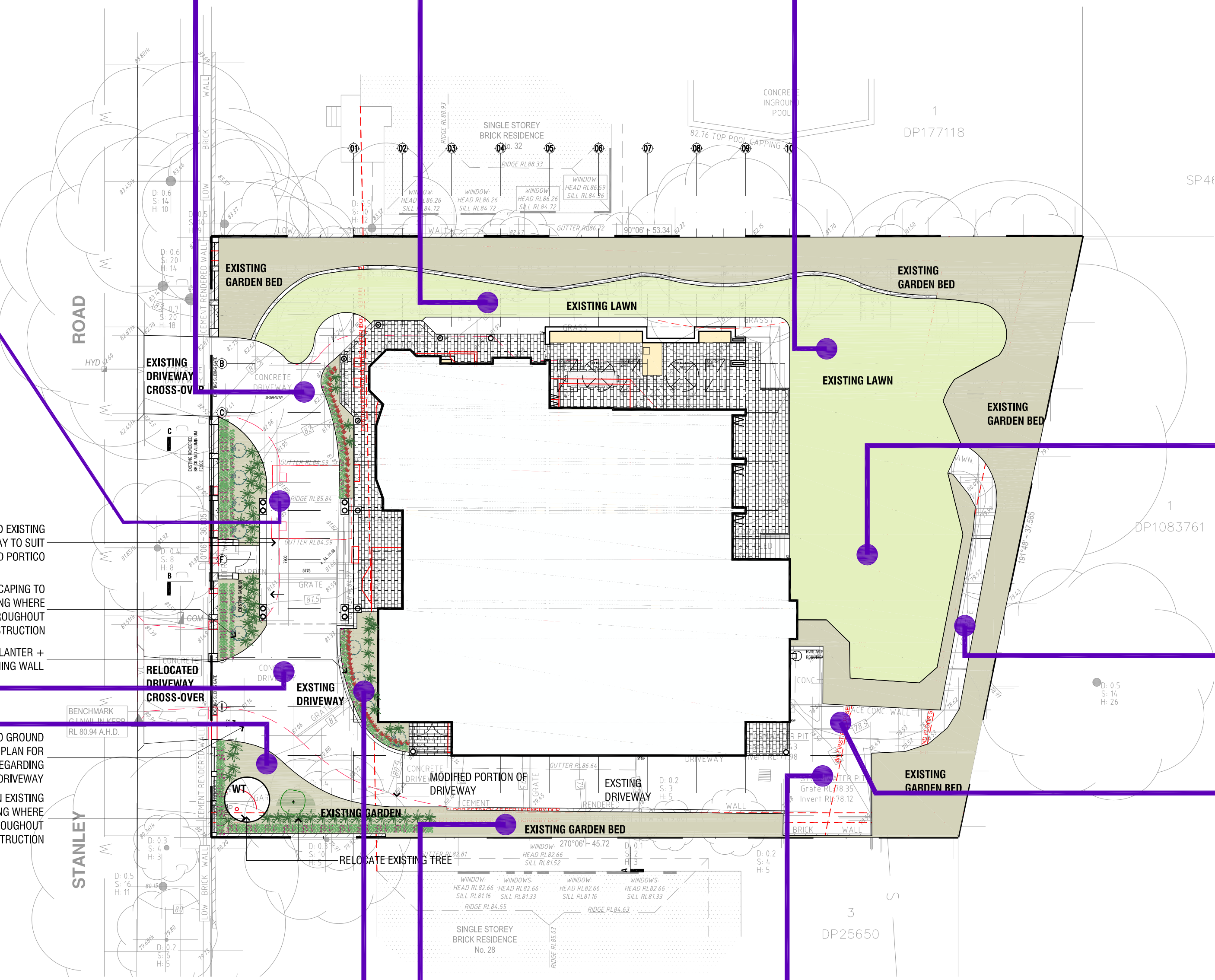
EngineeringStudio
CMI & Structural
Phone: (02) 8020 2960
Email: info@engineeringstudio.com.au
Web: www.engineeringstudio.com.au

Postal Address
PO Box 7191
BAULKHAM HILLS NSW 2153

PROPOSED RESIDENCE
AT 30 STANLEY ROAD, EPPING
FOR L FORM ARCHITECTS

STORMWATER DETAILS SHEET

JOB NUMBER: 210518	DWG NUMBER: C02.02	ORIGINAL SIZE: A3
DESIGNED BY: O.G.	DATE: SEPTEMBER 2021	
DRAWN BY: O.G.	SCALE: 1:20 U.N.O	



01 | LANDSCAPE PLAN
1:200@A1

LANDSCAPING CONCEPT -

- RETAIN ALL TREES
- RETAIN ALL PERIMETER, NORTH, EAST, SOUTH AND WEST PLANTS AND SCREENING PLANTS. WHERE LANDSCAPING IS MODIFIED MATCH SEAMLESSLY TO EXISTING LANDSCAPE

DEVELOPMENT APPLICATION