

14 Windermere Avenue, Northmead

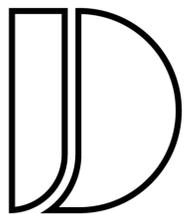
Proposed Child Care Centre

DRAWING SCHEDULE:

- A000 - COVER PAGE
- A001 - CALCULATIONS PAGE / LEP MAPS
- A002 - SITE CONTEXT PLAN
- A003 - DEMOLITION PLAN
- A004 - SITE ANALYSIS PLAN
- A005 - LOWER GROUND FLOOR PLAN
- A006 - GROUND FLOOR PLAN
- A007 - FIRST FLOOR PLAN
- A008 - NORTH (STREETSCAPE) & EAST ELEVATIONS
- A009 - WEST & SOUTH ELEVATIONS
- A010 - SECTION
- A011 - PERSPECTIVES
- A012 - CUT AND FILL PLAN
- A013 - SHADOW DIAGRAMS
- A014 - COVERED OUTDOOR AREA DIAGRAMS
- A015 - EMERGENCY EVACUATION PLAN - LOWER GROUND FLOOR
- A016 - EMERGENCY EVACUATION PLAN - FIRST FLOOR
- A017 - COLOUR AND FINISHES SCHEDULE

GENERAL NOTES

1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE FROM DRAWINGS.
2. ALL BUILDING WORKS SHALL BE IN ACCORDANCE WITH THE RELEVANT NATIONAL CONSTRUCTION CODE (NCC), BUILDING CODE OF AUSTRALIA (BCA), RELEVANT AUSTRALIAN STANDARDS (AS), INCLUDING AMENDMENTS AND THE REQUIREMENTS OF COUNCIL AND PRIVATE CERTIFIERS (PC) AND OTHER AUTHORITIES HAVING JURISDICTION.
3. THE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT DRAWINGS AND REPORTS FOR COORDINATION AND INFORMATION.
4. THRESHOLDS AND DOORWAYS ARE FLUSH FOR WHEELCHAIR ACCESS IN ACCORDANCE WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY. REFER TO ACCESS CONSULTANT REPORT FOR DISPENSATIONS AND POTENTIAL PERFORMANCE SOLUTION PROPOSED.
5. DRAWINGS ARE NOT COORDINATED BY JANSSEN DESIGNS. CONDITIONS AND DOCUMENTS NEED TO BE COORDINATED AND CHECKED TO CONFIRM THEY SATISFY THE AUSTRALIAN STANDARDS, SPECIALIST DISABILITY ACCOMMODATION, DESIGN FOR DISABILITY ACCOMMODATION, DEVELOPMENT APPLICATION REQUIREMENTS, THE NCC, BCA CODES AND CONTROLS THAT APPLY TO THIS PROJECT. A COORDINATED CONSTRUCTION SET MAY VARY FROM THE PRODUCED DRAWINGS. JANSSEN DESIGNS DOES NOT ACCEPT ANY LIABILITY, DIRECT OR INDIRECT, FOR ANY LOSS LIABILITY OR LOSS SUFFERED OR INCURRED BY ANY PERSON OR THIRD PARTY PLACING ANY RELIANCE ON THE SERVICES OR DOCUMENTS OR ADVICE ARISING IN CONNECTION WITH THE SERVICE.
6. ALL STRUCTURAL ELEMENTS ARE SHOWN INDICATIVELY AND ARE TO BE CONFIRMED WITH THE DESIGN, DETAIL AND SPECIFICATION OF THE STRUCTURAL ENGINEER.
7. ALL STRUCTURAL FRAMING, LOADING, BEARING, RETAINING AND FIXING OF ELEMENTS ARE TO THE DESIGN, DETAIL AND SPECIFICATION OF THE STRUCTURAL ENGINEER.
8. ALL SERVICES ELEMENTS INCLUDING HYDRAULICS, ELECTRICAL, MECHANICAL, FIRE AND COMMUNICATION SERVICES SHOWN ARE INDICATIVE ONLY. REFER TO SERVICES CONSULTANT SEPARATE DOCUMENTATION AND SPECIFICATION FOR DETAILED DESIGN.
9. ANY DISCREPANCIES BETWEEN ARCHITECTURAL CONSULTANT DOCUMENTATION ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
10. ALL CONCRETE AND METALWORK ITEMS, SUCH AS SHOP DRAWINGS, TO BE ORGANISED AND REVIEWED BY THE CLIENT.
11. ALL SITE AND BUILDING GRID SET-OUT IS TO BE CONDUCTED AND VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF CONSTRUCTION WITH ANY DISCREPANCIES NOTIFIED TO THE CLIENT FOR CLARIFICATION.



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Nominated Architect: Jake Janssen NSW ARB 11575

AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Cover Page

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA	Issue: A	Date: 15.6.2022	Scale: 1:100	Drawing #: A000	Project #: 10176
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COMPLIANCE TABLE

TOTAL SITE AREA	1,322.00m ²
MAX BUILDING HEIGHT	9M
PROPOSED BUILDING HEIGHT	8.9M - COMPLIES
MAXIMUM FLOOR SPACE RATIO	0.5:1 661m ²
PROPOSED FLOOR SPACE RATIO	0.49:1 659m ²

CHILDCARE

NUMBER OF CHILDREN:

- 0-2 YEARS - 20 PLACES
- 2-3 YEARS - 30 PLACES
- 3-6 YEARS - 38 PLACES

TOTAL - 88 PLACES

NUMBER OF TEACHERS:

- 0-2 YEARS - 5 TEACHERS @ 1:4 RATIO
- 2-3 YEARS - 6 TEACHERS @ 1:5 RATIO
- 3-6 YEARS - 4 TEACHERS @ 1:10 RATIO

INDOOR PLAY AREA:

- 0-2 YEARS - 70m² @ 3.50m² / KID
- 2-3 YEARS - 100m² @ 3.33m² / KID
- 3-6 YEARS - 165m² @ 4.30m² / KID

TOTAL INTERNAL AREA: 310.3m² | 3.52m² PER CHILD - COMPLIES

OUTDOOR PLAY AREA:

TOTAL AREA - 627m² @ 7.125m² / KID - COMPLIES

MINIMUM REQUIRED INTERNAL STORAGE VOLUME: 17.6m³ | 0.2m³ PER CHILD
 PROPOSED INTERNAL STORAGE VOLUME: 34.56m³ | 0.39m³ PER CHILD - COMPLIES

MINIMUM REQUIRED OUTDOOR STORAGE VOLUME: 26.4m³ | 0.3m³ PER CHILD
 PROPOSED OUTDOOR STORAGE VOLUME: 35.69m³ | 0.40m³ PER CHILD - COMPLIES

ZONING - R2 LOW DENSITY RESIDENTIAL



FLOOR SPACE RATIO - 0.5:1 (AS PER CHILDCARE DESIGN GUIDELINE)



MAXIMUM BUILDING HEIGHT - 9M



HERITAGE - N/A



BUSHFIRE - N/A

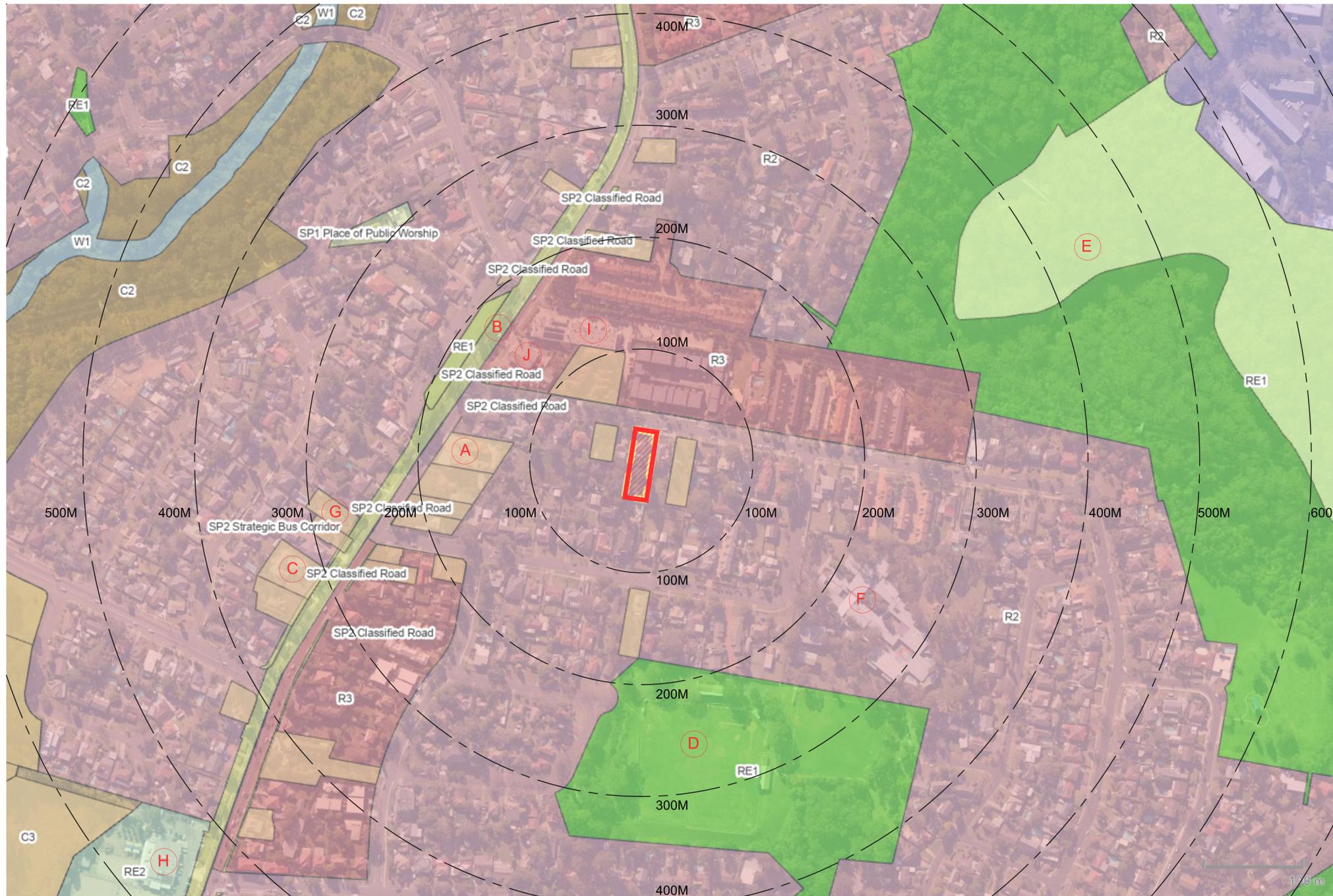


AMENDMENTS			Project Title: Proposed Child Care Centre	DRAWING TITLE: Calculations and LEP Controls	CLIENT DETAILS: Barakat
ISSUE	DESCRIPTION	DATE			

LOCAL GOVERNMENT AREA: Parramatta Council			
ADDRESS: 14 Windermere Avenue, Northmead	Issue For: DA	Issue: A	Project #: 10176
Date: 15.6.2022	Scale: 1:100	Drawing #: A001	

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



LANDMARKS

- A - CUPA JOES DRIVE THRU
- B - WINDSOR ROAD
- C - NORTHMEAD EARLY EDUCATION CENTRE
- D - NORTHMEAD RESERVE
- E - EXCELSIOR RESERVE
- F - THE HILLS SCHOOL
- G - MYRAI MEDICAL CENTRE
- H - NBC SPORTS CLUB
- I - COULTER SWIMMING NORTHMEAD
- J - SHELL PETROL STATION

SITE CONTEXT PLAN -
N.T.S.



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AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Site Context Plan

ADDRESS:
14 Windermere Avenue,
Northmead

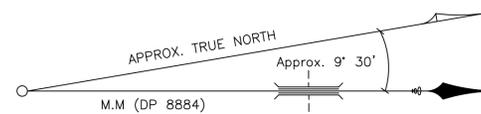
CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA	Issue: A
Date: 15.6.2022	Scale: 1:100
Drawing #: A002	Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



LOT 472
DP 870423

LOT 36B
DP 103440

LOT 35
DP 8884
1322.0m²
(STATED BY DP 8884)
1324.4m²
(BY CALCULATION)

LOT 48
DP 8884

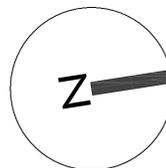
LOT 49
DP 8884

LOT 34
DP 8884

DEMOLITION PLAN -
1:100 @ A1

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AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Demolition Plan

ADDRESS:
14 Windermere Avenue,
Northmead

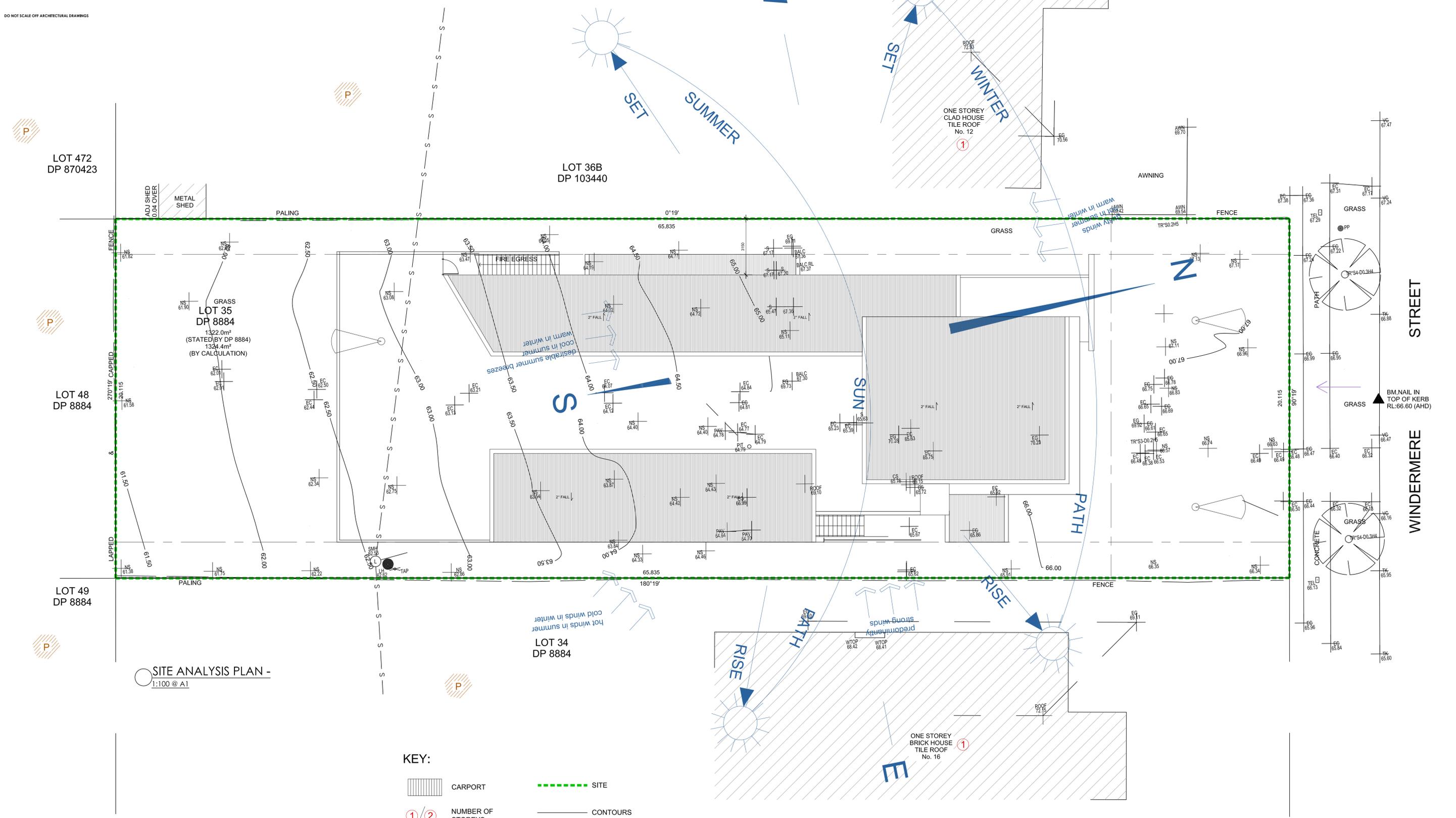
CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Paramatta Council

Date:	Scale:	Drawing #:	Project #:
15.6.2022	1:100	A003	10176

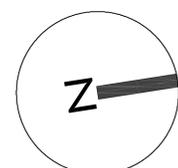
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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



SITE ANALYSIS PLAN -
1:100 @ A1

- KEY:**
- CARPORT
 - SITE
 - NUMBER OF STOREYS
 - CONTOURS
 - OVERLOOKING
 - PRIVATE OPEN SPACE
 - PEDESTRIANS & VEHICLE ACCESS POINTS
 - EXISTING TREES
 - VIEWS



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Site Analysis Plan

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Paramatta Council

ADDRESS:
14 Windermere Avenue,
Northmead

Issue For: DA
Issue: A

Date: 15.6.2022
Scale: 1:100
Drawing #: A004
Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

LOT 36B
DP 103440

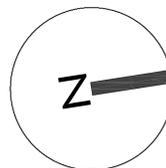
ACOUSTIC BARRIER - TYPE 1 -
1:25 @ A1

LOT 48
DP 8884

LOT 49
DP 8884

LOT 34
DP 8884

LOWER GROUND FLOOR PLAN -
1:100 @ A1

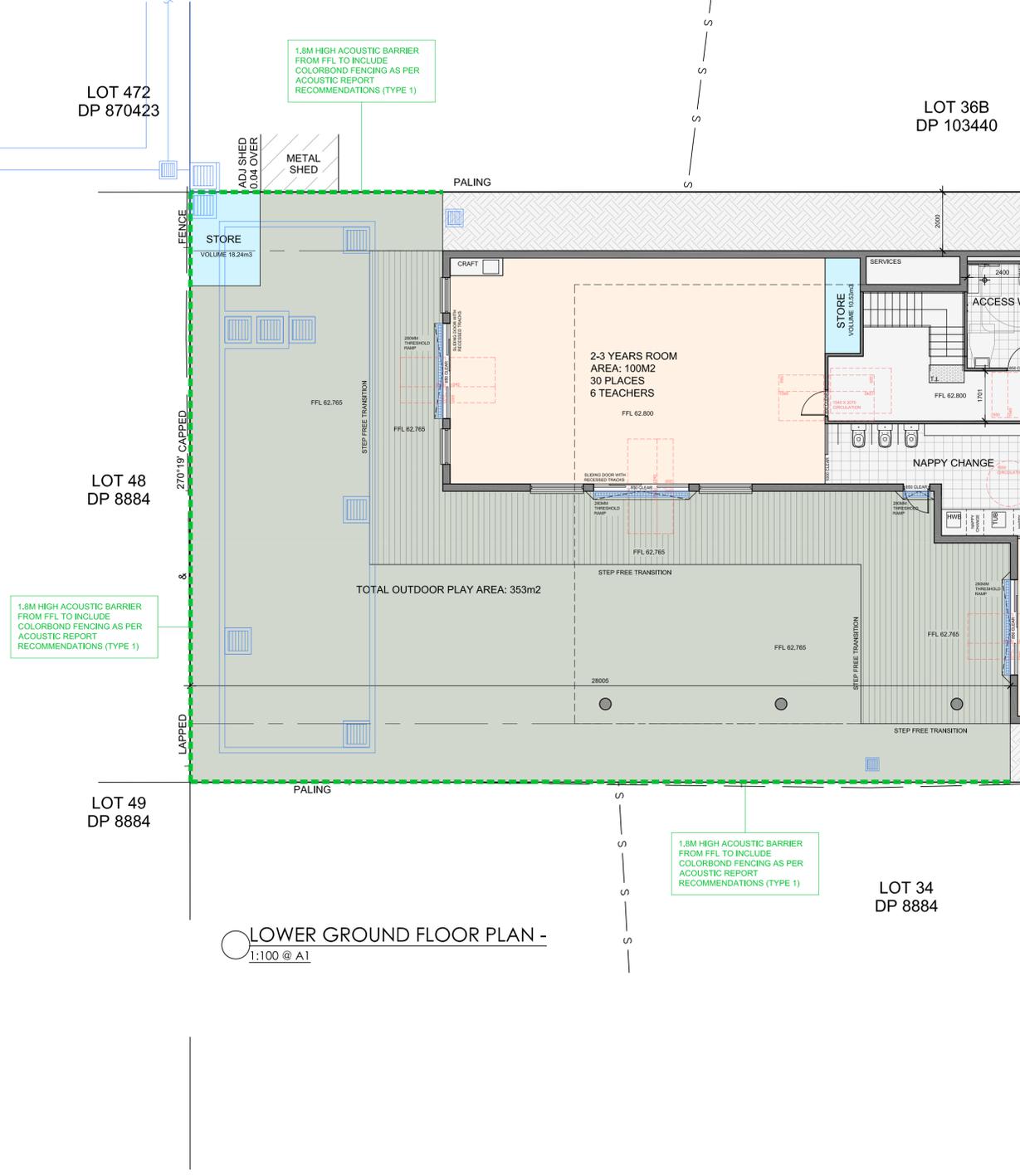
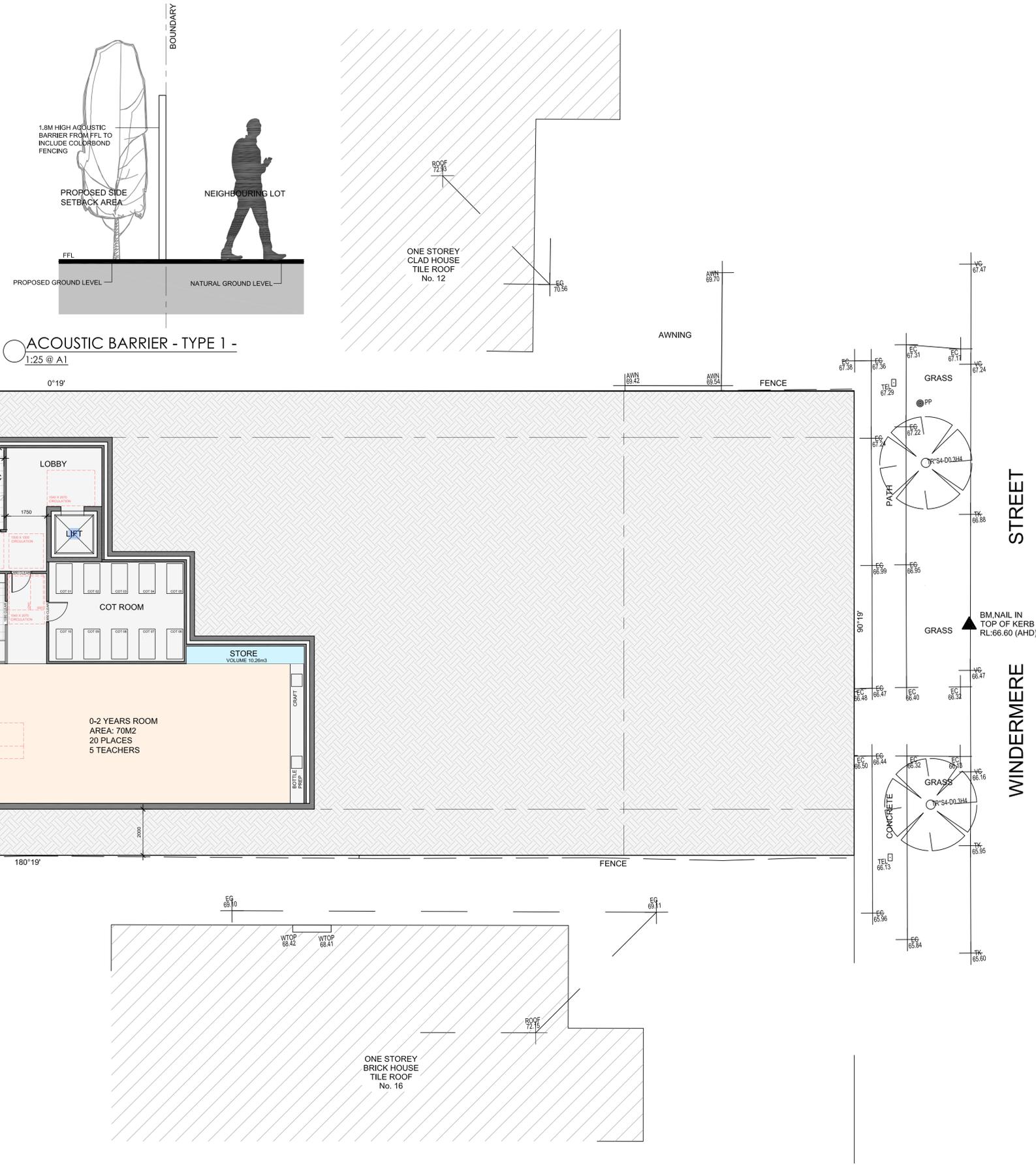


AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Lower Ground Floor Plan
ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat
LOCAL GOVERNMENT AREA:
Paramatta Council
Issue For: DA
Issue: A
Date: 13.6.2022
Scale: 1:100
Drawing #: A005
Project #: 10176



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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

LOT 36B
DP 103440

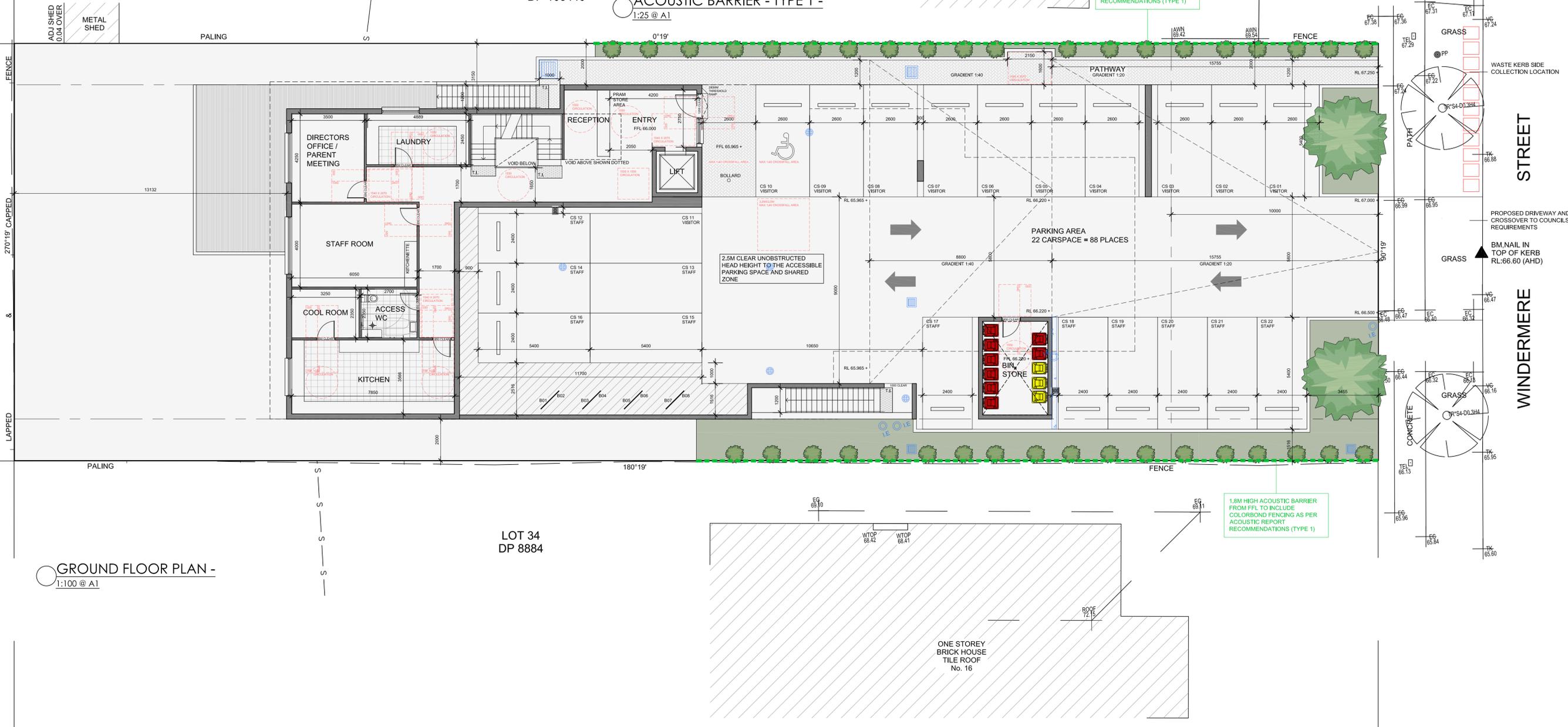
LOT 48
DP 8884

LOT 49
DP 8884

LOT 34
DP 8884

GROUND FLOOR PLAN -
1:100 @ A1

ACOUSTIC BARRIER - TYPE 1 -
1:25 @ A1



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Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Ground Floor Plan

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Paramatta Council

Date: 15.6.2022
Scale: 1:100
Issue For: DA
Issue: A
Drawing #: A006
Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

LOT 48
DP 8884

LOT 49
DP 8884

LOT 36B
DP 103440

LOT 34
DP 8884

FIRST FLOOR OUTDOOR PLAY AREA
ACOUSTIC TREATMENT- TYPE 2

1:25 @ A1

SELECTED SOFTFALL TO FIRST FLOOR EXTERNAL AREA

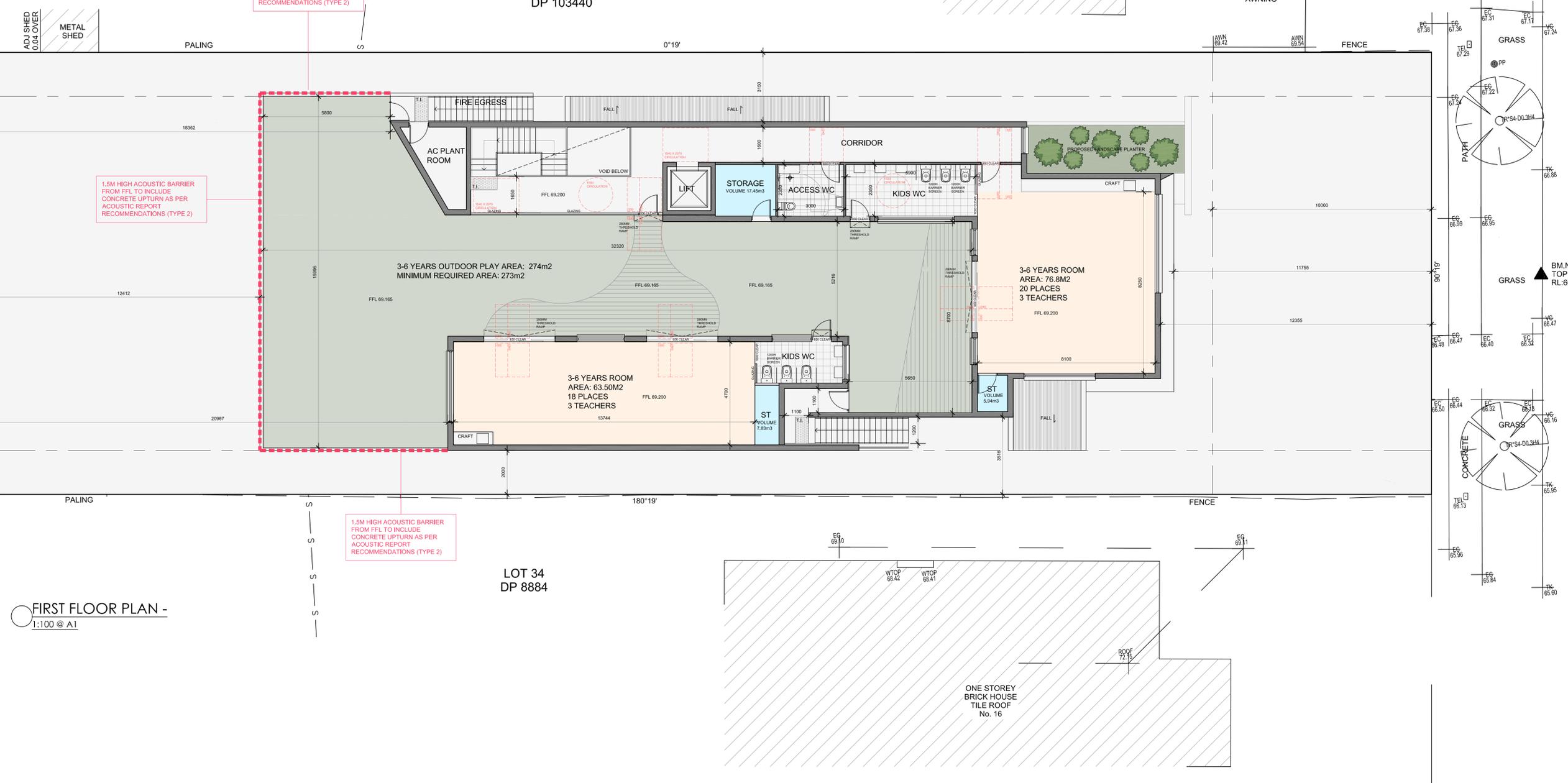
CONCRETE SLAB TO STRUCTURAL ENGINEERS DETAILS

PROPOSED 1.5M HIGH (FROM FFL) CONCRETE UPTURN BALUSTRADE TO COMPLY WITH RECOMMENDATIONS OUTLINED IN THE ACOUSTIC REPORT.

ROOF 72.95

ONE STOREY CLAD HOUSE TILE ROOF No. 12

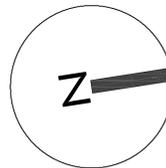
AWNING



FIRST FLOOR PLAN -
1:100 @ A1

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Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
First Floor Plan

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA
Issue: A
Date: 15.6.2022
Scale: 1:100
Drawing #: A007
Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

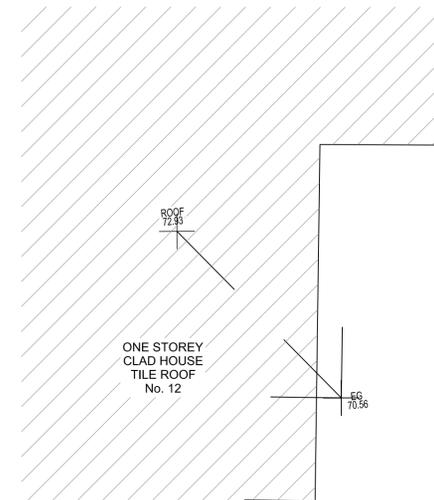
LOT 36B
DP 103440

LOT 48
DP 8884

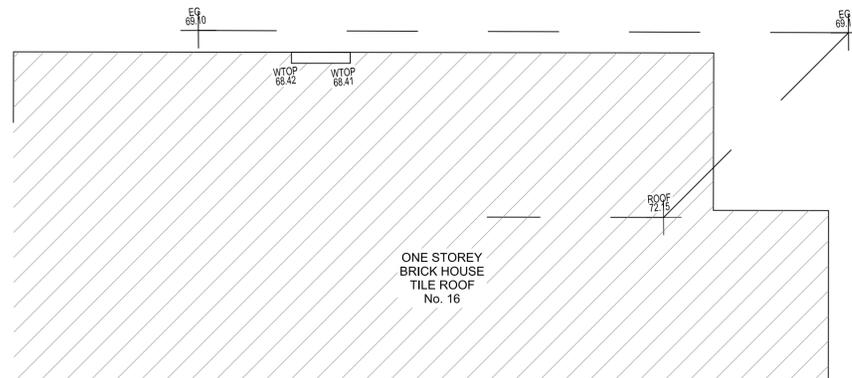
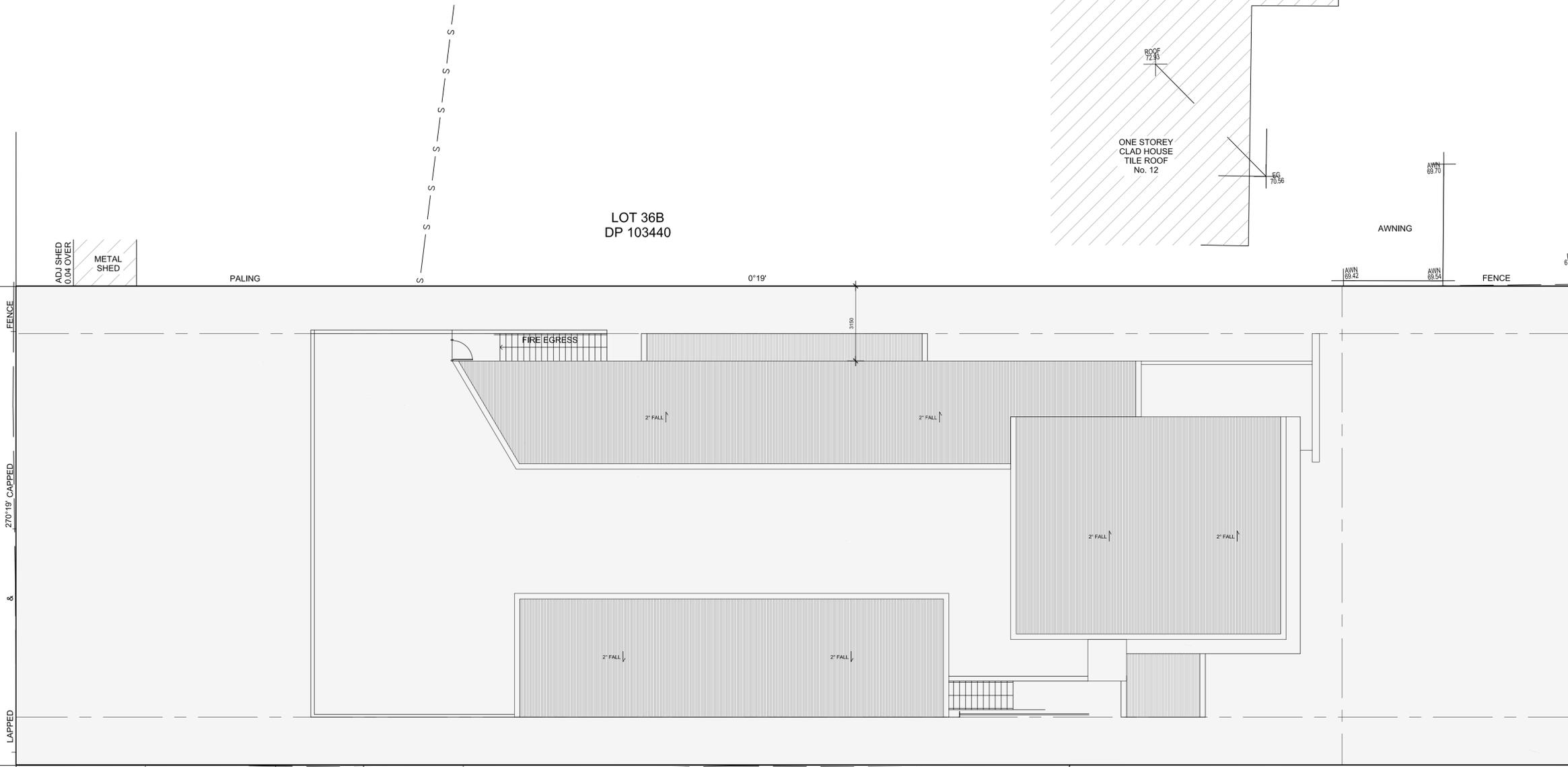
LOT 49
DP 8884

LOT 34
DP 8884

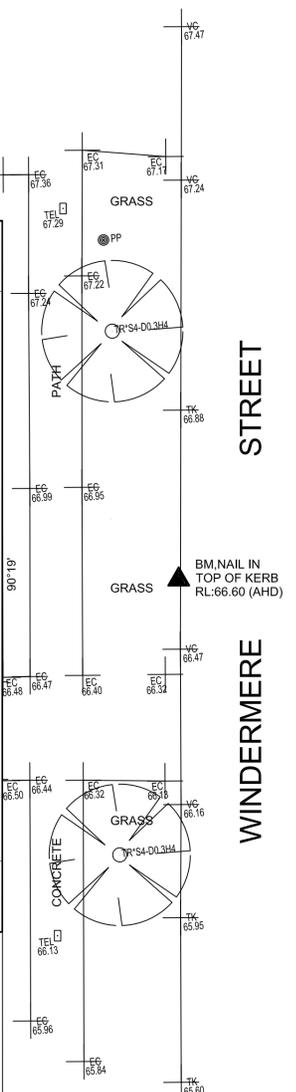
ROOF PLAN -
1:100 @ A1



ONE STOREY CLAD HOUSE
TILE ROOF
No. 12



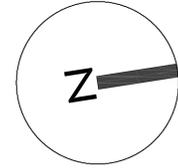
ONE STOREY BRICK HOUSE
TILE ROOF
No. 16



WINDERMERE STREET

**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Roof Plan

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

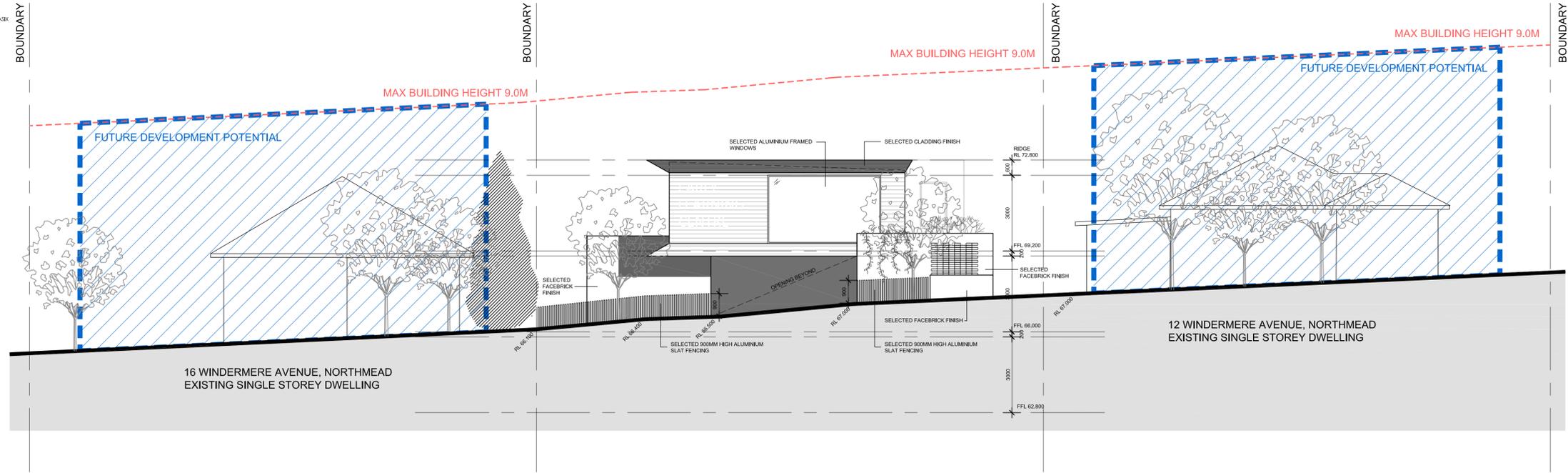
LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA
Issue: A

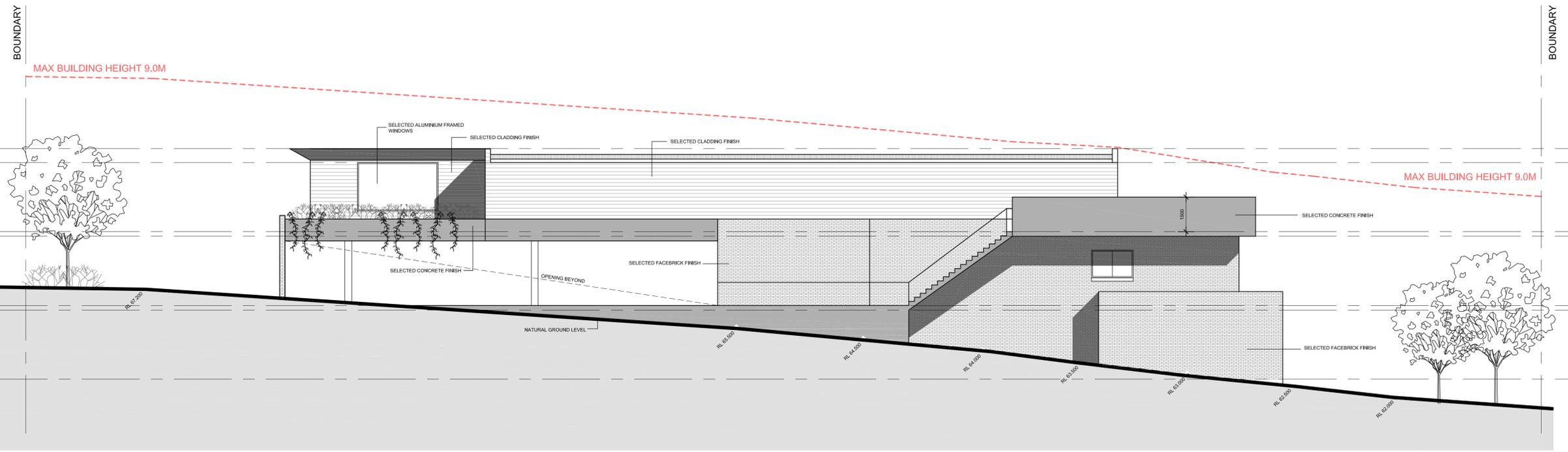
Date: 13.6.2022
Scale: 1:100
Drawing #: A007
Project #: 10176

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS OF PRACTICE. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURRET POSITION. FRONT GARDEN TAP ON METER ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE RAINWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS. ARE TO BE USED IN THE DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. CONSULTOR MUST READ ALL PLANS IN CONJUNCTION WITH THE ABSA & BASR REPORT.

DO NOT SCALE OF ARCHITECTURAL DRAWINGS



NORTH ELEVATION -
1:100 @ A1



EAST ELEVATION -
1:100 @ A1

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Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
North (Streetscape) &
West Elevations

ADDRESS:
14 Windermere Avenue,
Northmead

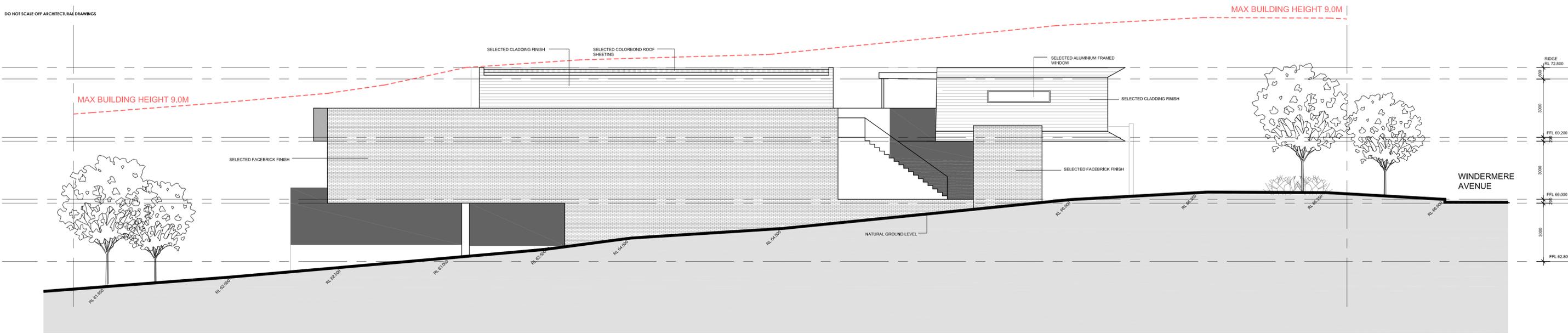
CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA	Issue: A
Date: 15.6.2022	Scale: 1:100
Drawing #: A008	Project #: 10176

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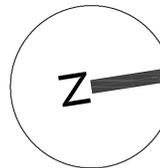
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



WEST ELEVATION -
1:100 @ A1



SOUTH ELEVATION -
1:100 @ A1



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

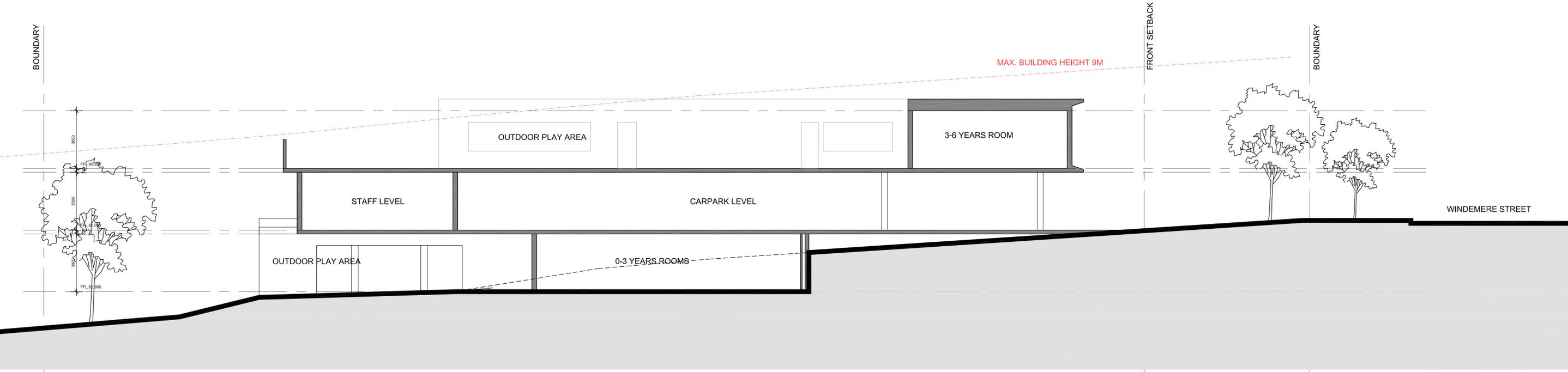
Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
West & South Elevations
ADDRESS:
14 Windermere Avenue,
Northmead

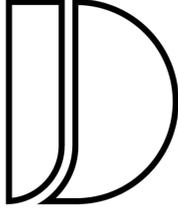
CLIENT DETAILS:
Barakat
LOCAL GOVERNMENT AREA:
Parramatta Council
Issue For: DA
Issue: A
Date: 13.6.2022
Scale: 1:100
Drawing #: A007
Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



SECTION A-A -
1:100 @ A1



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Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

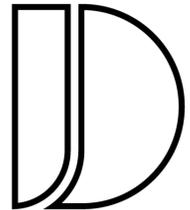
DRAWING TITLE:
Section

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA	Issue: A
Date: 15.6.2022	Scale: 1:100
Drawing #: A10	Project #: 10176



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DESIGNS**

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Nominated Architect: Jake Janssen NSW ARB 11575

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Perspectives

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

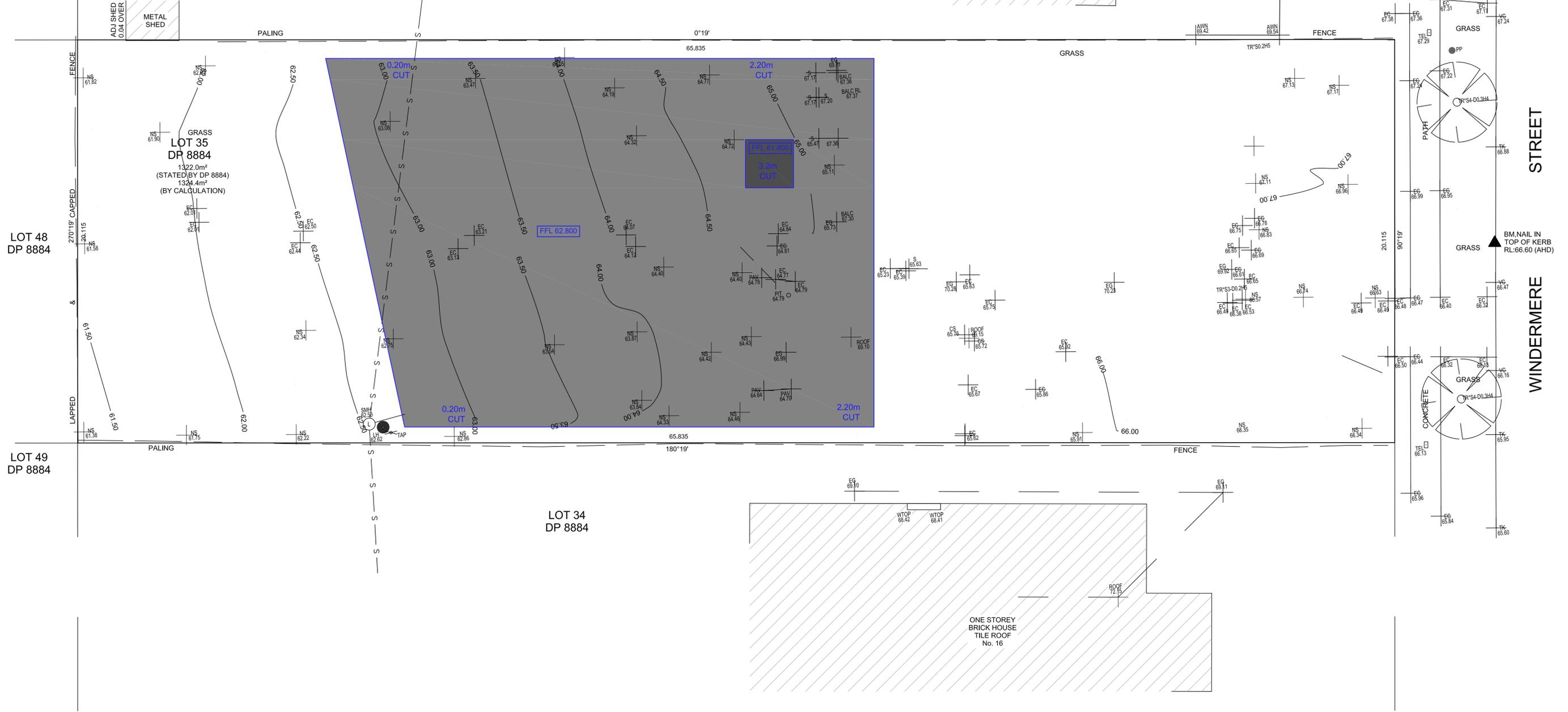
Issue For: DA	Issue: A
Date: 15.6.2022	Scale: 1:100
Drawing #: AD11	Project #: 10176

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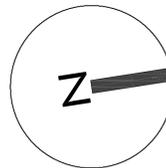
DO NOT SCALE OF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

LOT 36B
DP 103440



LEGEND:



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

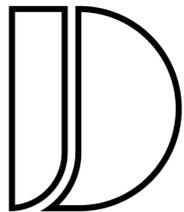
DRAWING TITLE:
Cut and Fill Plan

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

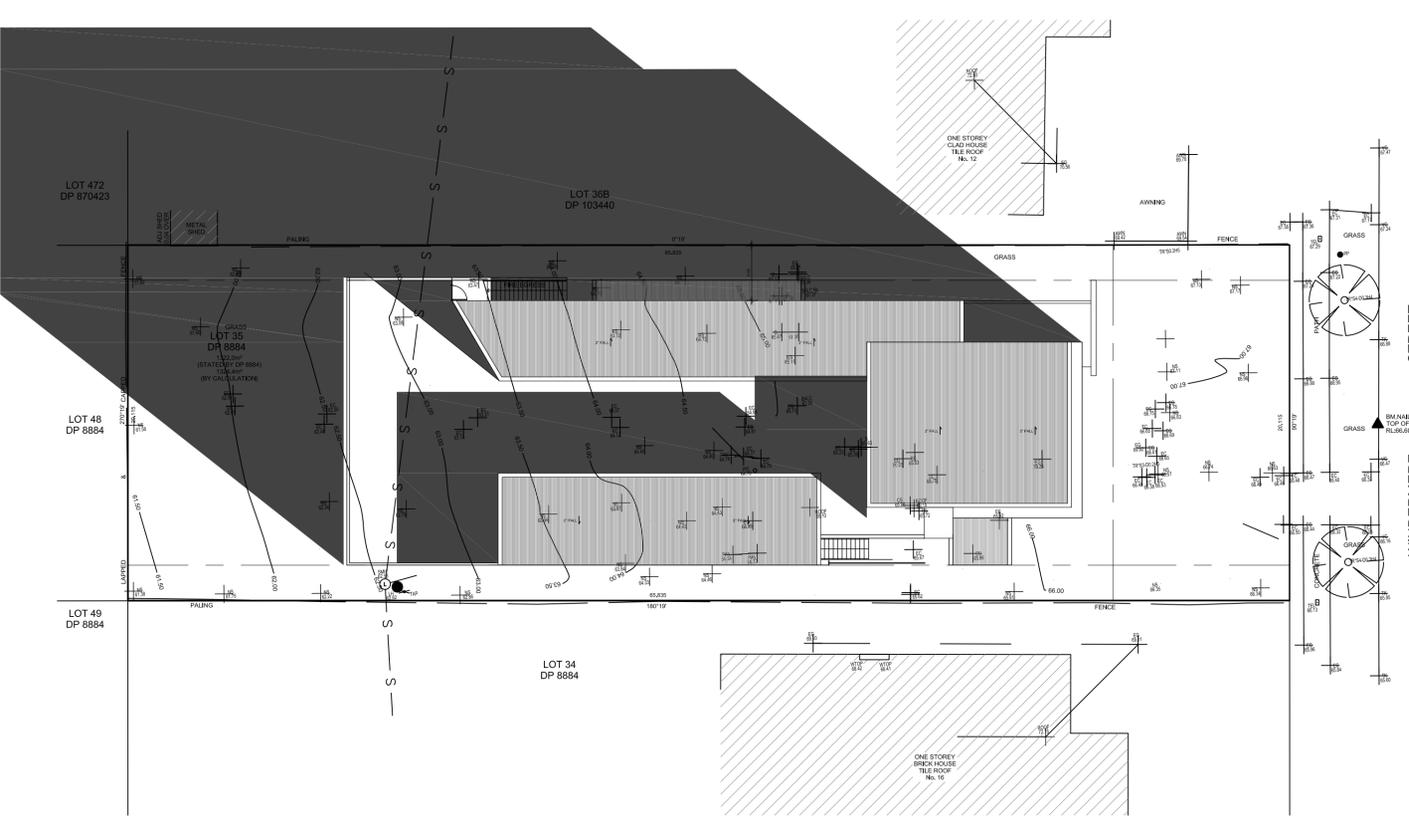
LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA	Issue: A
Date: 13.6.2022	Scale: 1:100
Drawing #: AD12	Project #: 10176

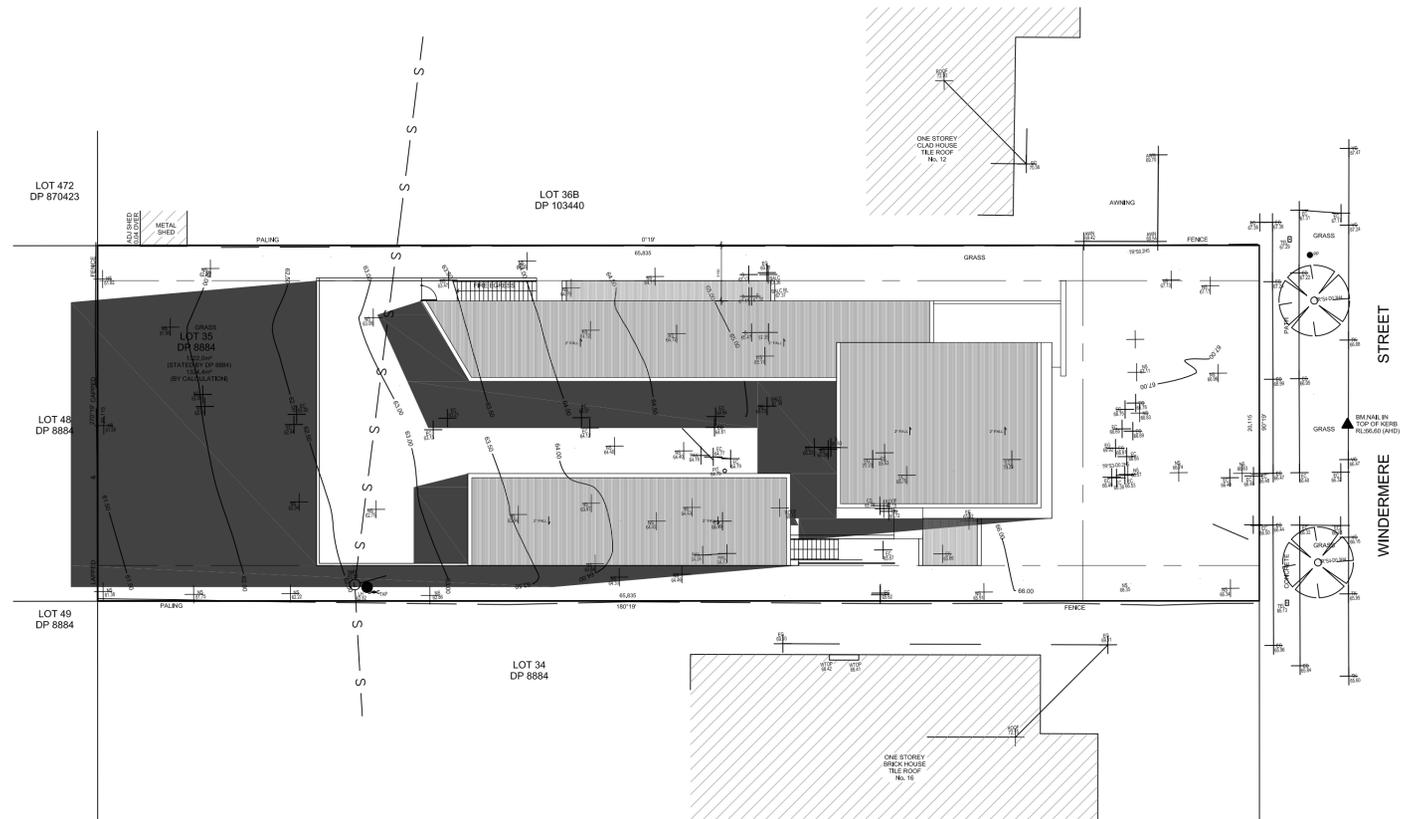


**JANSSSEN
DESIGNS**

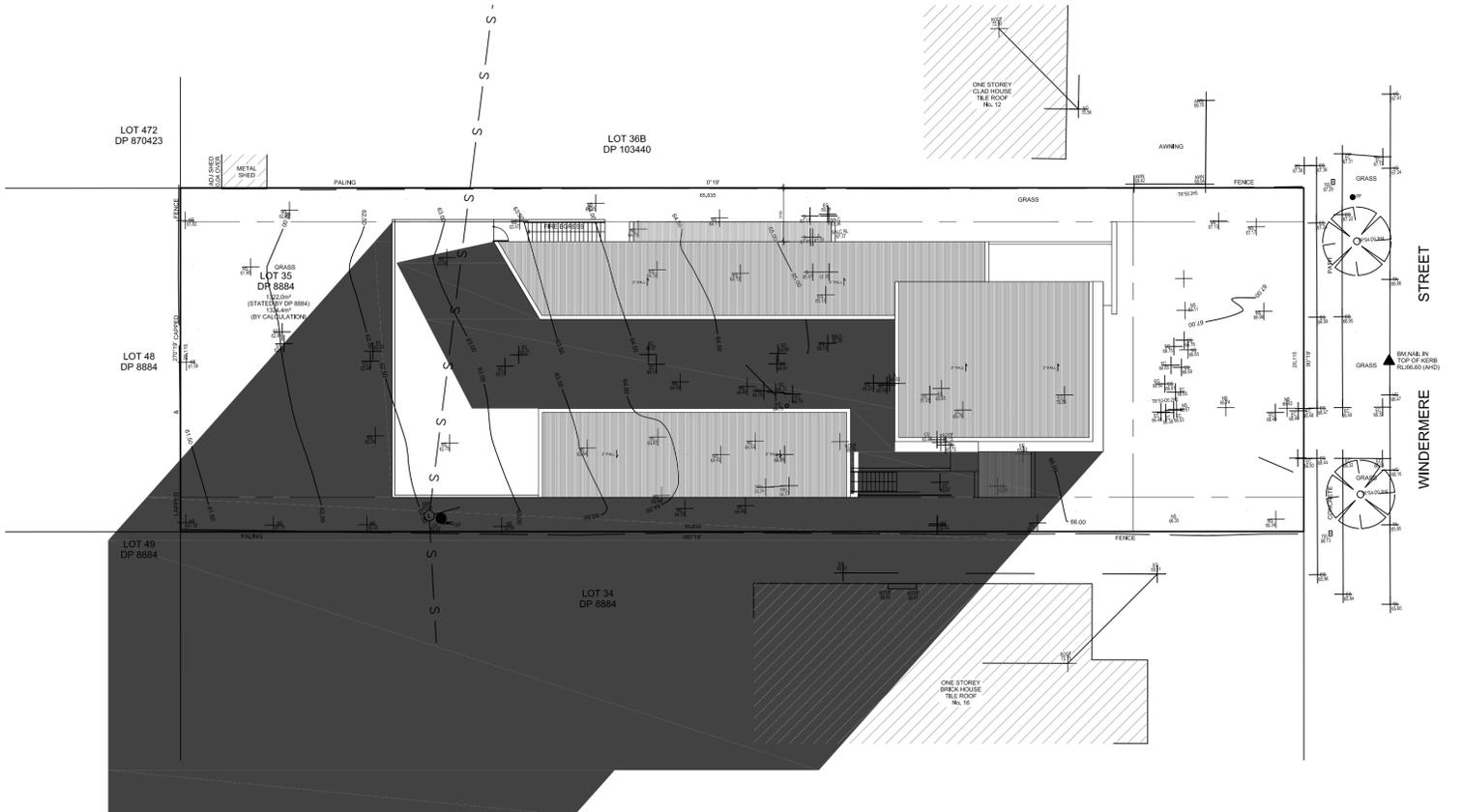
Info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



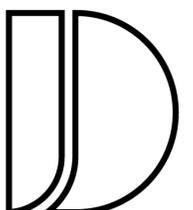
SHADOW DIAGRAM 9AM JUNE 21ST -
1:200 @ A1



SHADOW DIAGRAM 12NOON JUNE 21ST -
1:200 @ A1



SHADOW DIAGRAM 3PM JUNE 21ST -
1:200 @ A1



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DESIGNS**

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Nominated Architect: Jake Janssen NSW ARB 11575

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

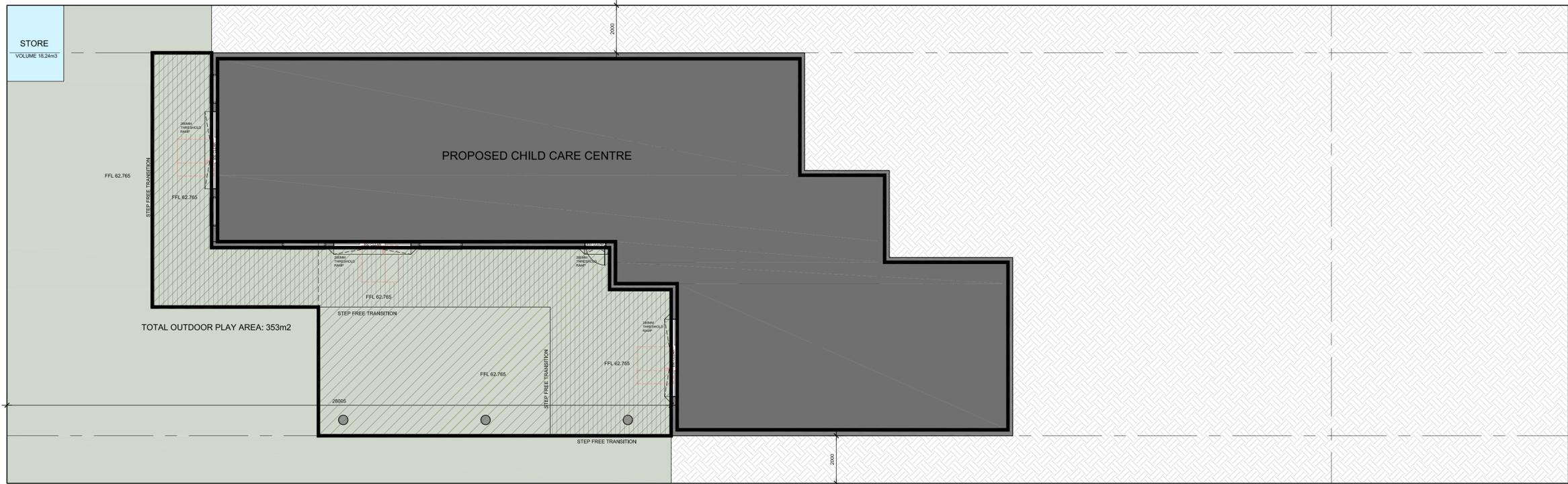
Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Shadow Diagrams
ADDRESS:
14 Windermere Avenue,
Northmead

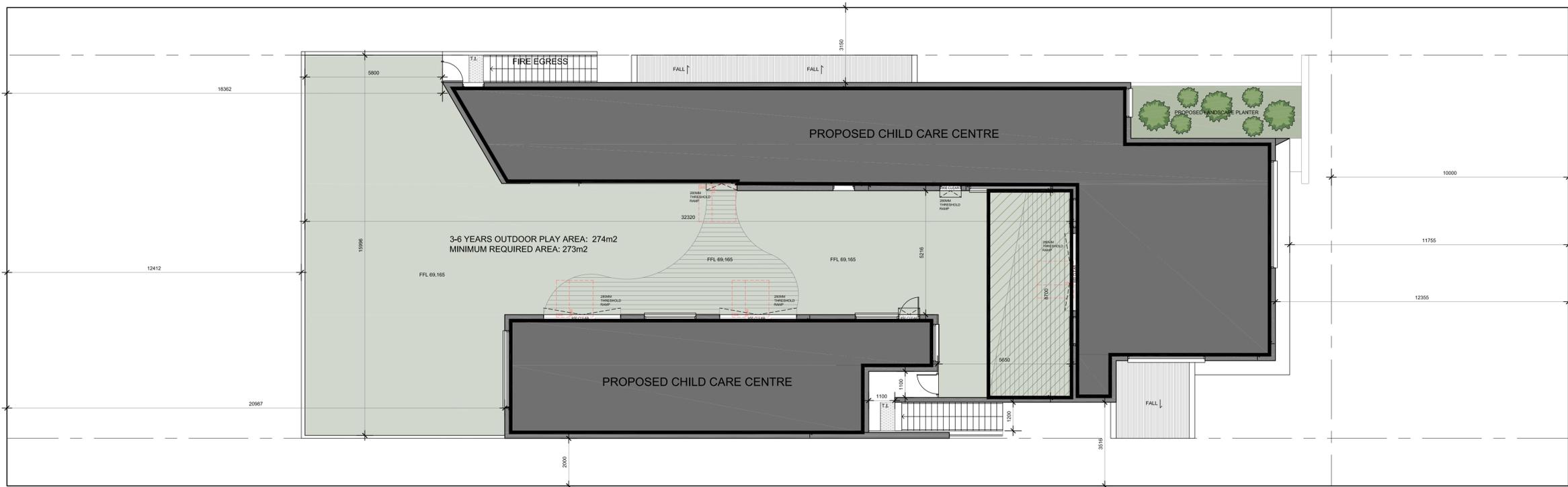
CLIENT DETAILS:
Barakat
LOCAL GOVERNMENT AREA:
Paramatta Council
Issue For: DA
Issue: A
Date: 15.6.2022
Scale: 1:100
Drawing #: AD13
Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



COVERED OUTDOOR AREA DIAGRAM - LOWER GROUND FLOOR
1:100 @ A1

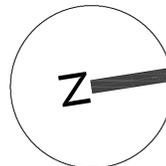


COVERED OUTDOOR AREA DIAGRAM - UPPER GROUND FLOOR
1:100 @ A1

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

HATCHED AREA IDENTIFIES OUTDOOR PLAY SPACE
HATCHED AREA IDENTIFIES EXTENT OF COVERED OUTDOOR PLAY SPACE



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Covered Outdoor Area Diagrams
ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat
LOCAL GOVERNMENT AREA:
Parramatta Council
Issue For: DA
Issue: A
Date: 15.6.2022
Scale: 1:100
Drawing #: A014
Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

LOT 48
DP 8884

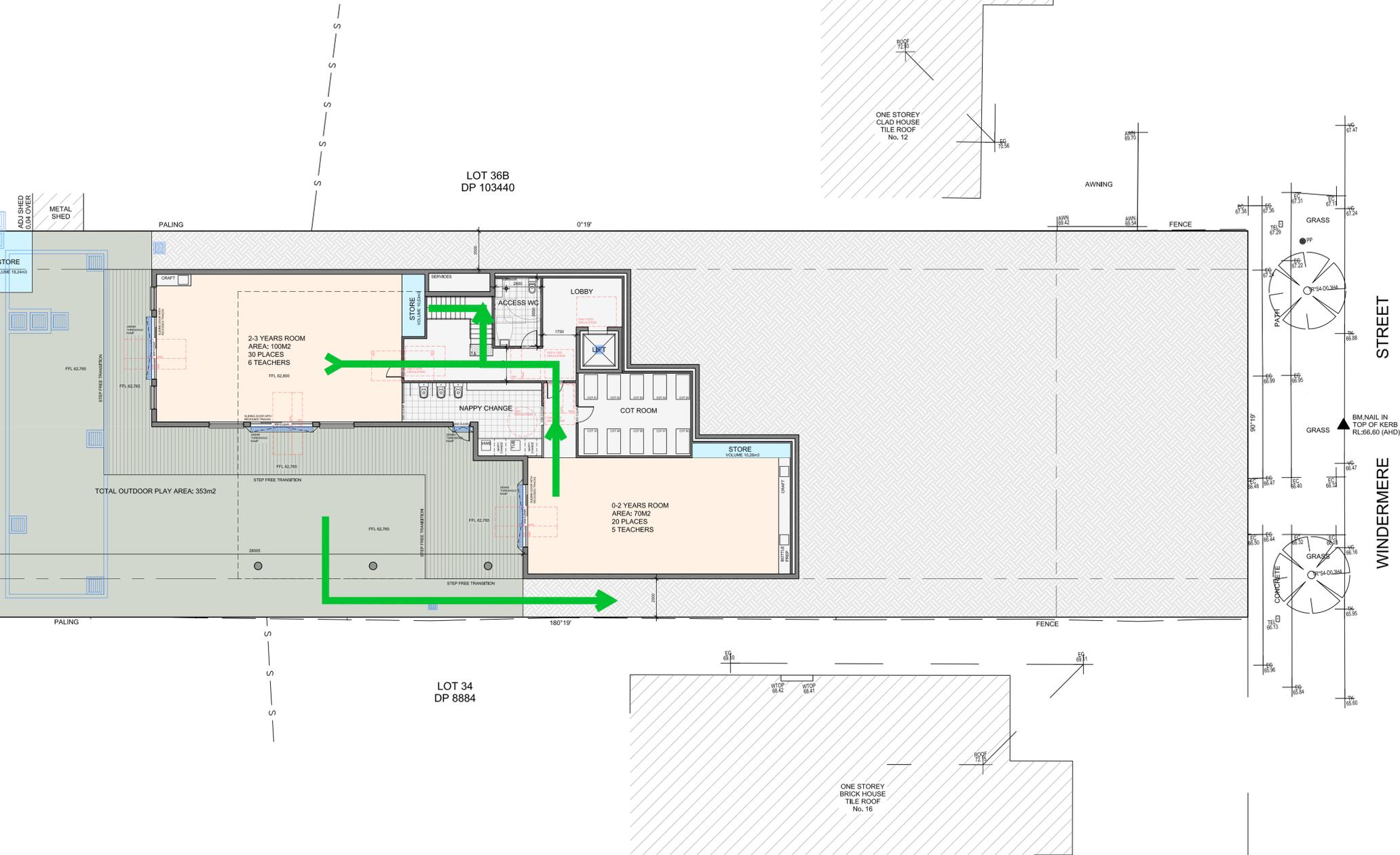
LOT 49
DP 8884

LOT 36B
DP 103440

LOT 34
DP 8884

ONE STOREY CLAD HOUSE
TILE ROOF
No. 12

ONE STOREY BRICK HOUSE
TILE ROOF
No. 16



LOWER GROUND FLOOR PLAN -
N.T.S.

EMERGENCY PROCEDURES

R Remove
Anyone in immediate danger

A Alert others & raise the alarm
Advise all occupants, Contact Emergency Services,
Contact Chief Warden

C Contain
The emergency to an area

E Evacuate
To a safer place

IN AN EMERGENCY

P POLICE

FIRE

+ AMBULANCE

DIAL 000

LEGEND

Exit

Evacuation route

Alternate route

Note: For Development Application Purposes Only

**JANSSSEN
DESIGNS**

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Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Emergency Evacuation
Plan - Lower Ground Floor

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA	Issue: A
Date: 15.6.2022	Scale: N.T.S.
Drawing #: A015	Project #: 10176

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

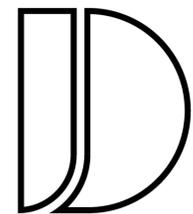
LOT 36B
DP 103440

LOT 48
DP 8884

LOT 49
DP 8884

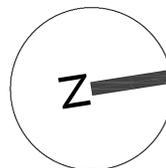
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DP 8884

GROUND FLOOR PLAN -
1:100 @ A1



**JANSSSEN
DESIGNS**

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Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Emergency Evacuation Plan - Ground Floor

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA
Issue: A

Date: 15.6.2022
Scale: 1:100
Drawing #: A000
Project #: 10176

EMERGENCY PROCEDURES

R Remove Anyone in immediate danger

A Alert others & raise the alarm Advise all occupants, Contact Emergency Services, Contact Chief Warden

C Contain The emergency to an area

E Evacuate To a safer place

IN AN EMERGENCY

P POLICE

FIRE

+ AMBULANCE

DIAL 000

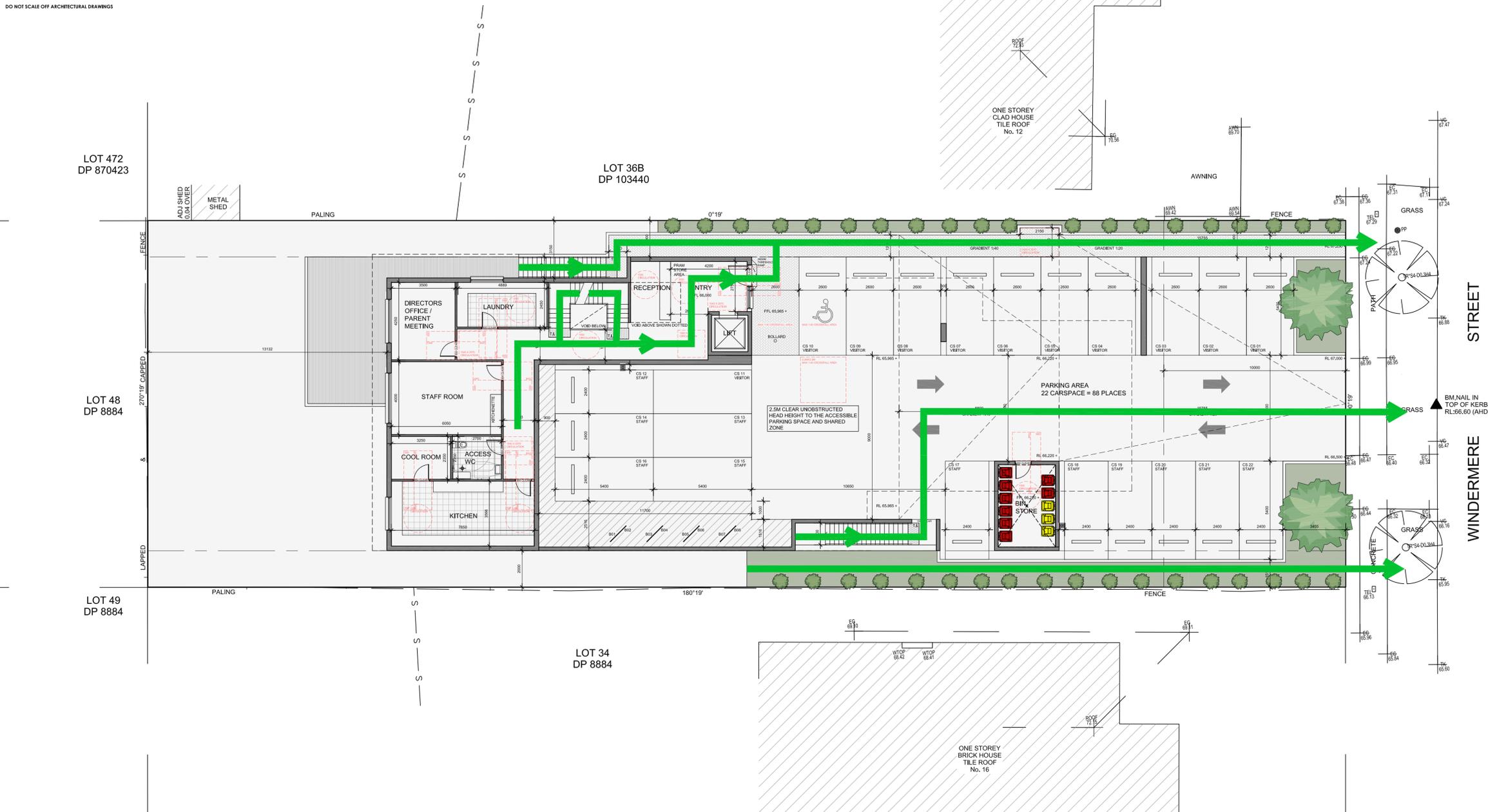
LEGEND

Exit

Evacuation route

Alternate route

Note: For Development Application Purposes Only



STREET
WINDERMERE

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DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

LOT 472
DP 870423

LOT 36B
DP 103440

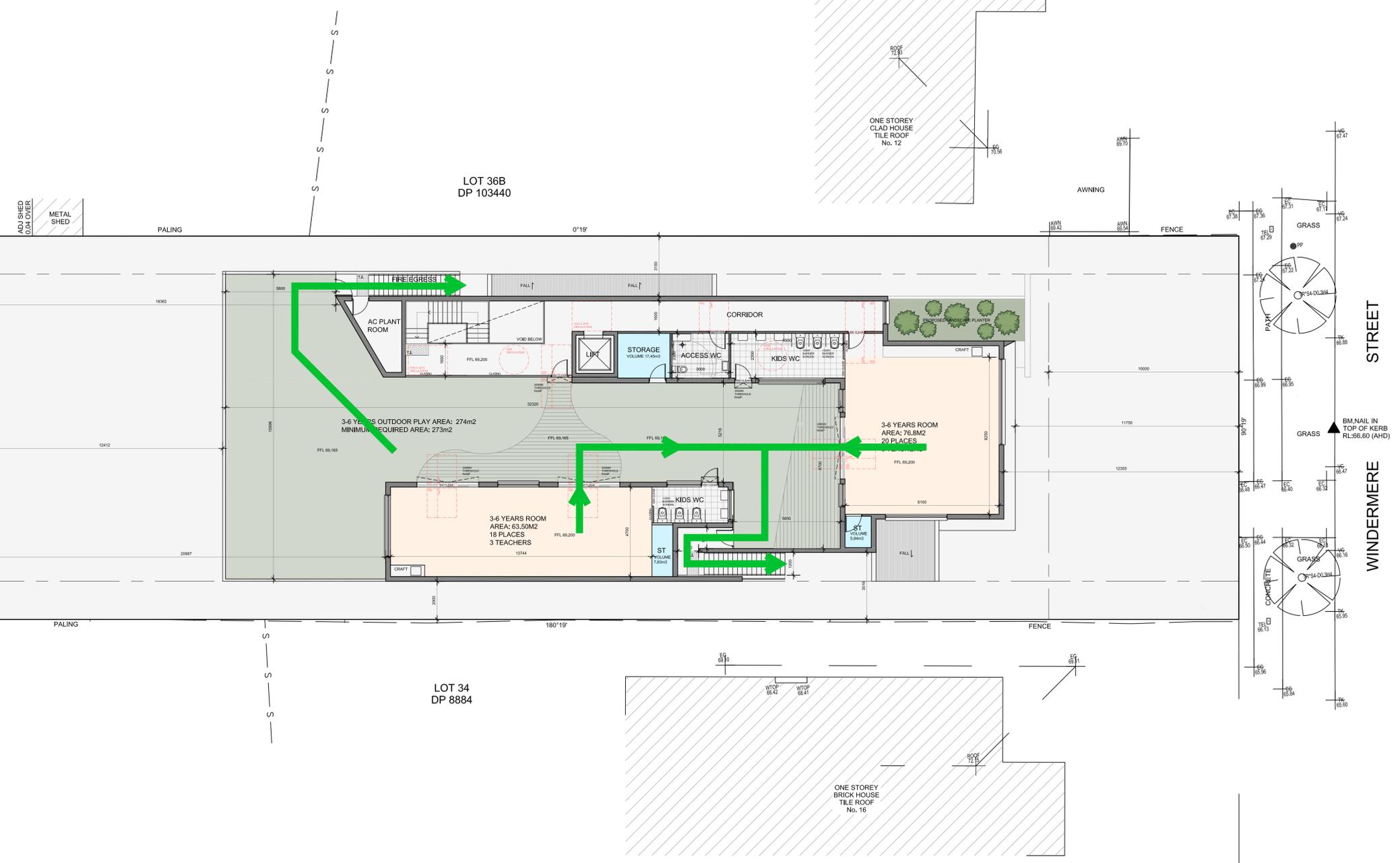
LOT 48
DP 8884

LOT 49
DP 8884

LOT 34
DP 8884

ONE STOREY CLAD HOUSE
TILE ROOF
No. 12

ONE STOREY BRICK HOUSE
TILE ROOF
No. 16



FIRST FLOOR PLAN -
N.T.S.

EMERGENCY PROCEDURES

R Remove
Anyone in immediate danger

A Alert others & raise the alarm
Advise all occupants, Contact Emergency Services,
Contact Chief Warden

C Contain
The emergency to an area

E Evacuate
To a safer place

IN AN EMERGENCY

P POLICE

FIRE

+ AMBULANCE

DIAL 000

LEGEND

Exit

Evacuation route

Alternate route

Note: For Development Application Purposes Only

**JANSSSEN
DESIGNS**

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Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Emergency Evacuation
Plan - First Floor

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA
Issue: A

Date: 15.6.2022
Scale: N.T.S.
Drawing #: A016
Project #: 10176

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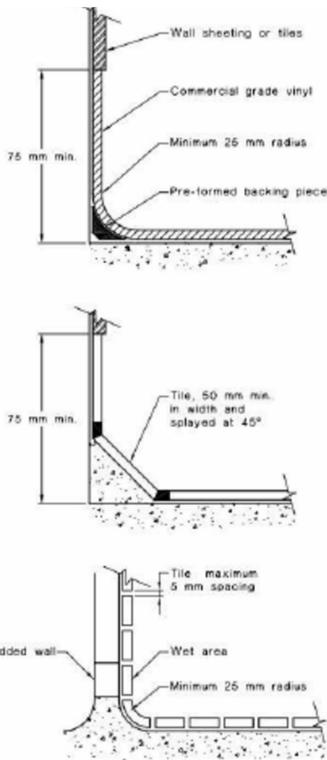
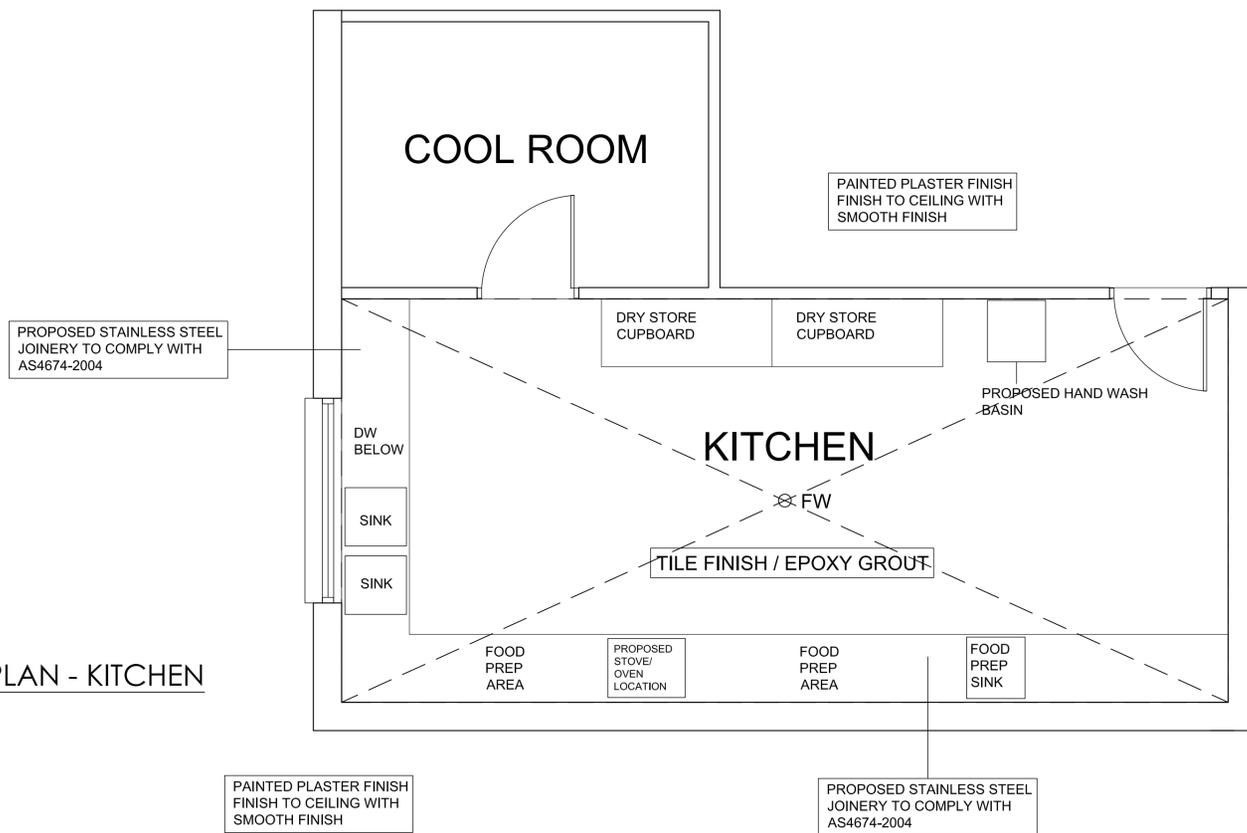


FIGURE 3.1 TYPICAL COVING METHODS

COVING DETAILS

AS4674-2004 2.6 LIGHTING

2.6.1 GENERAL REQUIREMENTS

ALL FOOD PREMISES SHALL HAVE NATURAL OR ARTIFICIAL LIGHTING IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (BCA), WITH THE FOLLOWING EXCEPTIONS:

- A. WHERE NATURAL LIGHTING IS PROVIDED THE LIGHTING SHALL ALSO COMPLY BE EQUIVALENT TO THE LEVELS FOR ARTIFICIAL LIGHTING.
- B. WHERE ARTIFICIAL LIGHTING IS PROVIDED THE LIGHTING SHALL ALSO COMPLY WITH THE REQUIREMENTS OF AS1680.1 AND AS/NZS1680.2.4

SUBDUED LIGHTING MAY BE PROVIDED IN DINING AND DRINKING AREAS, PROVIDED THAT THERE IS LIGHTING AVAILABLE THAT COMPLIES WITH THE ABOVE REQUIREMENTS DURING CLEANING AND INSPECTION OPERATIONS.

THE EXPOSED SURFACE OF ALL CONDUITS INSTALLED ON THE SURFACE OF WALLS OR CEILINGS SHALL BE SMOOTH.

2.6.2 LIGHT FITTINGS

IN AREAS WHERE OPEN FOOD IS HANDLED OR STORED, LIGHT FITTINGS SHALL BE -

- A. DESIGNED AND CONSTRUCTED TO PREVENT CONTAMINATION OF FOOD SHOULD THE GLOBE OR TUBE SHATTER; AND
- B. FREE FROM ANY FEATURES THAT WOULD HARBOUR DIRT, DUST OR INSECTS OR MAKE THE FITTING DIFFICULT TO CLEAN.

LIGHT FITTINGS, WHETHER INTENDED TO PROVIDE LIGHT OR HEAT, THAT ARE PART OF EQUIPMENT USED TO PROCESS OR DISPLAY OPEN FOOD SHALL COMPLY WITH THE REQUIREMENTS FOR LIGHT FITTINGS ABOVE.

2.5 VENTILATION

2.5.1 GENERAL REQUIREMENTS

ALL FOOD PREMISES SHALL HAVE EITHER NATURAL OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

EQUIPMENT INSTALLED IN AREAS OF THE PREMISES, AFTER THE MECHANICAL EXHAUST VENTILATION SYSTEM HAS BEEN DESIGNED AND INSTALLED IN THAT AREA, SHALL NOT BE LOCATED SO AS TO IMPAIR THE EFFICIENCY OF THE MECHANICAL EXHAUST VENTILATION OR OF NATURAL VENTILATION.

2.5.2 MECHANICAL VENTILATION AND FILTRATION

IN ADDITION TO THE REQUIREMENTS OF AS/NZS 1668.1 AND AS 1668.2, AN EXTRACTION SYSTEM SHALL BE PROVIDED WHERE THERE IS ANY DISHWASHER AND OTHER WASHING AND SANITIZING EQUIPMENT THAT VENTS STEAM INTO THE AREA TO THE EXTENT THAT THERE IS, OR IS LIKELY TO BE, CONDENSATION ON WALLS AND CEILINGS.

CHILD CARE CENTRE KITCHEN

THE PREMISES ARE TO BE CONSTRUCTED AND FITTED OUT STRICTLY IN ACCORDANCE WITH THE AUSTRALIAN/NEW ZEALAND FOOD SAFETY STANDARDS CODE 3.2.3 'FOOD PREMISES & EQUIPMENT' AND AUSTRALIAN STANDARD 4674.2004 DESIGN, CONSTRUCTION & FIT OUT OF FOOD PREMISES.

FITOUT OF FOOD PREPARATION AREA

A RIGID SMOOTH FACED IMPERVIOUS CEILING SHALL BE PROVIDED OVER THE FOOD PREPARATION, COOKING AND SERVING AREAS. THE SURFACE FINISH SHALL BE FREE OF OPEN JOINTS, CRACKS, CREVICES OR OPENINGS WITH INTERSECTION OF THE WALLS AND CEILING BEING TIGHT JOINTED, SEALED AND DUSTPROOF.

THE CEILING SHALL BE PAINTED WITH A LIGHT COLOURED WASHABLE PAINT.

ALL FLUORESCENT LIGHT FITTINGS SHALL BE FITTED WITH A SMOOTH FACED DIFFUSER. LIGHTING SHALL BE EITHER:

- * RECESSED SO THAT THE DIFFUSER IS FLUSH WITH THE CEILING OR
- * DESIGNED TO ENSURE THAT NO HORIZONTAL SURFACE EXISTS WHICH WOULD ALLOW DUST & GREASE TO ACCUMULATE.

THE FLOOR IS TO BE CONSTRUCTED OF CONCRETE OR OTHER MATERIAL IMPERVIOUS TO MOISTURE, FINISHED TO A SMOOTH TROWELLED FINISH, COVED AT THE INTERSECTIONS WITH THE WALLS AND GRADED AND DRAINED TO APPROVED SEWERAGE CONNECTIONS.

COVING IS TO BE PROVIDED BETWEEN ALL WALLS AND THE FLOOR AND BETWEEN THE FLOOR AND ALL FITTINGS. THIS CAN BE ACHIEVED BY COVING TILES, CEMENT RENDER, OR BY TURNING VINYL FLOORING UP THE WALLS. IN THIS CASE A FILLET OR BACKING PIECE IS REQUIRED TO SUPPORT THE COVE.

FLOOR TO BE CONSTRUCTED OF MATERIAL IMPERVIOUS TO WATER, NON SLIP AND GRADED AND DRAINED TO FLOOR WASTE.

THE WALLS IN THE KITCHEN ARE TO BE TILED WITH CLOSE JOINTED, GLAZED TILES OF A LIGHT COLOUR TO A HEIGHT OF 450MM ABOVE ALL SINKS, TUBS, DRAINING BOARDS, WASH HAND BASINS AND PREPARATION BENCHES.

ALL WALLS WHERE NOT TILED SHALL BE CEMENT RENDERED TO A SMOOTH SURFACE AND PAINTED WITH A LIGHT COLOURED WASHABLE PAINT.

REFRIGERATION, FROZEN FOOD CABINETS, COOKING APPLIANCES, EQUIPMENT, FITTINGS, CUPBOARDS AND CABINETS ARE TO BE SUPPORTED ON ONE OF THE FOLLOWING SYSTEMS:

- * WHEELS OR COASTERS WHICH ALLOW THE FULLY LOADED FITTING TO BE EASILY MOVED.
- * LEGS WHICH PROVIDE A MIN. 150MM CLEARANCE FROM THE FLOOR TO THE UNDERSIDE OF THE FITTING.

ALL SHELVING TO BE INSTALLED ON APPROVED METAL BRACKETS KEPT AT LEAST 25MM CLEAR OF WALL.

FOOD PREPARATION BENCHES SHALL BE CONSTRUCTED OF STAINLESS STEEL.

THE TOP AND EXPOSED EDGES OF ALL BENCHES, COUNTERS AND SHELVING TO FINISHED IN A SMOOTH AND NON-ABSORBENT MATERIAL FREE OF JOINT.

ALL SERVICE PIPES, CONDENSATE PIPES AND ELECTRICAL CONDUITS MUST BE SEALED INTO THE WALLS, FLOORS OR PLINTHS.

A FREESTANDING WASH HAND BASIN IS TO BE PROVIDED IN AN APPROVED POSITION IN THE KITCHEN/FOOD PREPARATION AREA CONNECTED TO BOTH HOT AND COLD WATER AT A MINIMUM TEMPERATURE OF 40°C THROUGH A SINGLE OUTLET, AS REQUIRED BY CLAUSE 14(1) AND (2) OF THE AUSTRALIAN NEW ZEALAND FOOD STANDARDS CODE FOOD SAFETY STANDARD 3.2.3 PROVIDE AND MAINTAIN DISPENSABLE SOAP AND SINGLE USE TOWELS OR OTHER SUITABLE HAND DRYING FACILITIES NEAR THE WASH HAND BASIN.

ALL OPENINGS IN THE WALLS, FLOOR AND CEILING AND ALL EXTERNAL DOORS AND WINDOWS MUST BE VERMIN PROOF.

ALL WINDOWS AND DOORS TO THE EXTERNAL AIR ARE TO BE PROVIDED WITH FLY SCREENS.

A KITCHEN EXHAUST HOOD IS TO BE PROVIDED ABOVE ALL APPLIANCES OF HEATING CAPACITY GREATER THAN 8KW IN ACCORDANCE WITH AS 1668 PART 2. A TEST CERTIFICATE SHALL BE SUBMITTED TO THE PRINCIPAL CERTIFYING AUTHORITY WITH AN APPLICATION FOR AN OCCUPATION CERTIFICATE.

THE DOORS OF THE AIR-LOCK AND SANITARY COMPARTMENTS MUST BE CLOSE FITTING AND SELF CLOSING.

A LIQUID SOAP DISPENSER AND PAPER TOWEL DISPENSER MUST BE PROVIDED ABOVE OR ADJACENT TO THE HAND BASIN.

WASHING FACILITIES MUST BE PROVIDED AND COMPLY WITH THE FOOD PREMISES CODE.

NOT LESS THAN 100 LUX OF LIGHT TO BE AVAILABLE ON ALL SURFACES WHERE FOOD IS PREPARED, OR UTENSILS ARE WASHED AND STERILIZED IN ACCORDANCE WITH AS 1680.

AMENDMENTS			Project Title:	DRAWING TITLE:	CLIENT DETAILS:
ISSUE	DESCRIPTION	DATE			
			Proposed Child Care Centre	Kitchen Detail	Barakat

Project Title: Proposed Child Care Centre

DRAWING TITLE: Kitchen Detail

CLIENT DETAILS: Barakat

LOCAL GOVERNMENT AREA: Paramatta Council

ADDRESS: 14 Windermere Avenue, Northmead

Issue For: DA
 Issue: A

Date: 15.6.2022
 Scale: 1:25
 Drawing #: AD17
 Project #: 10176

14 Windermere Street, Northmead

PROPOSED CHILDCARE CENTRE

COLOUR AND FINISHES SCHEDULE



FINISHES SCHEDULE TABLE:

- BRICK WORK** - FB1 - PGH BRICKS - DRY PRESSED ARCHITECTURAL 'SILVER SHADOW' OR EQUAL TO.
- CLADDING** - C1 - JAMES HARDIE 'HARDIPLANK' WHITE OR EQUAL TO
- WINDOW FRAMES** - ALUMINIUM FRAMES WITH TERRAIN COLORBOND FINISH OR EQUAL TO.
- FASCIA** - COLORBOND FINISH WITH WHITE COLOUR OR EQUAL TO.
- ROOF SHEETING** - COLORBOND FINISH WITH WINDSPRAY COLOUR OR EQUAL TO.
- FENCING TO FRONT BOUNDARY** - ALUMINIUM FEATURE SLAT - TERRAIN OR EQUAL TO.

AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

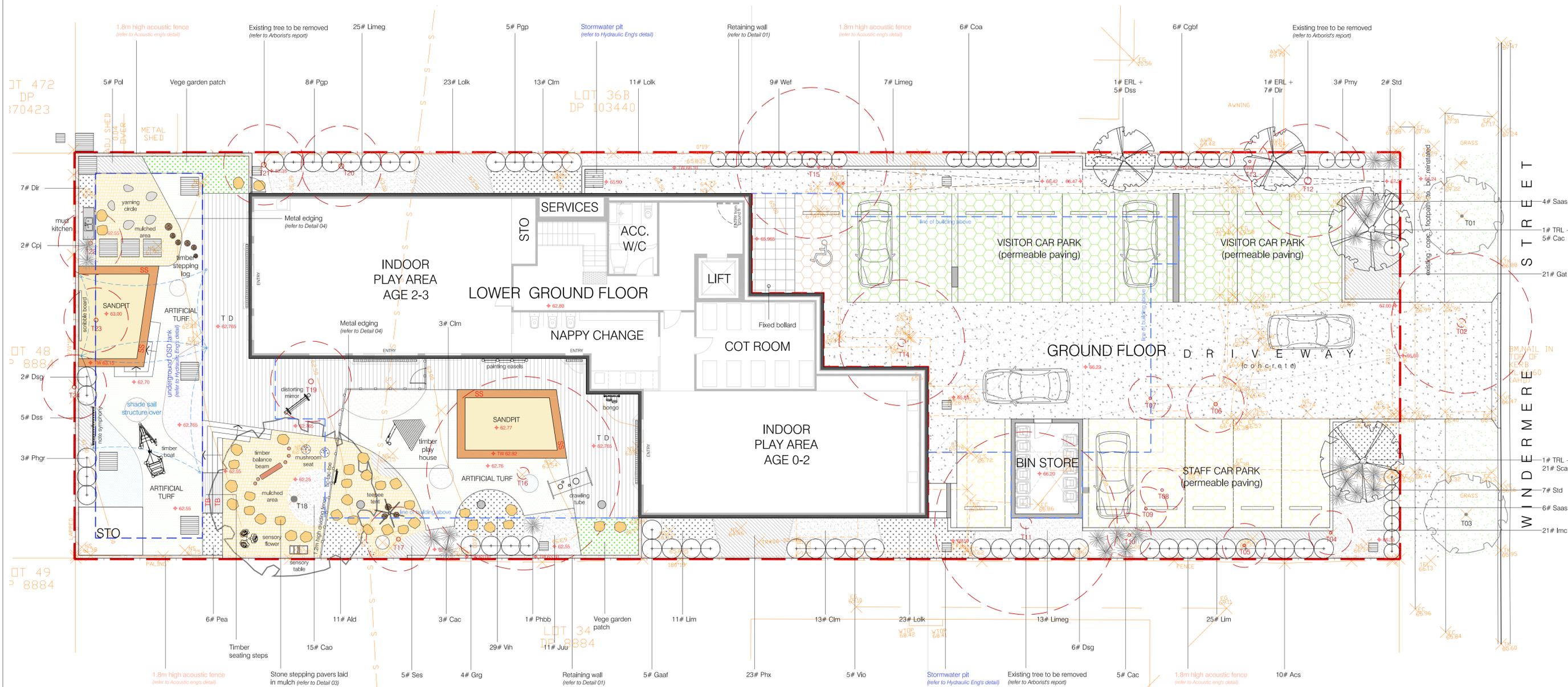
DRAWING TITLE:
Colour and Finishes Schedule

ADDRESS:
14 Windermere Avenue,
Northmead

CLIENT DETAILS:
Barakat

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA	Issue: A
Date: 13.6.2022	Scale: A018
Project #: 10176	



LANDSCAPE + PLAY ITEM LAYOUT PLAN: lower ground + ground floor scale: 1:100

LEGEND

- | | | | | | |
|--|---|--|--|--|---|
| Proposed small tree planting
<i>(refer to proposed plant schedule)</i> | Proposed accent planting
<i>(refer to proposed plant schedule)</i> | Proposed bark mulched area | Proposed 200mm high conc. hob | Proposed 1.8m & 1.5m acoustic barrier
<i>(refer to Acoustic report)</i> | Proposed pebble seat |
| Existing street tree to be protected & retained
<i>(refer to Arborist's report)</i> | Proposed turf area
<i>(refer to proposed plant schedule)</i> | Proposed sandstone log edging around sandpit | Proposed conc. paving | Proposed retaining wall | Proposed underground OSD tank
<i>(refer to Hydraulic eng's detail)</i> |
| Existing trees to be removed
<i>(refer to Arborist's report)</i> | Proposed artificial turf | Proposed external tile paving
<i>(refer to proposed plant schedule)</i> | Proposed permeable paving in parking areas | Proposed on-structure planter | Proposed grated drains
<i>(refer to Hydraulic eng's detail)</i> |
| Proposed shrub planting
<i>(refer to proposed plant schedule)</i> | Proposed sandpit | Proposed timber deck
<i>(refer to proposed plant schedule)</i> | Proposed stone stepping paver | Proposed pebble seat | Design levels |
| Proposed groundcover planting
<i>(refer to proposed plant schedule)</i> | Proposed synthetic softfall on outdoor play area | Proposed vegetable garden patch | Proposed dry pebble creek bed | Proposed shade structure over outdoor play area | Existing levels |



14 Windermere Avenue, NORTHMEAD NSW



dwg title
landscape +
play item layout plan:
lower ground & ground
floor

scale: 1:100 @a1
dwg no.: DA-L101
Client:
BARAKAT

revision	date
A da submission	25/11/22

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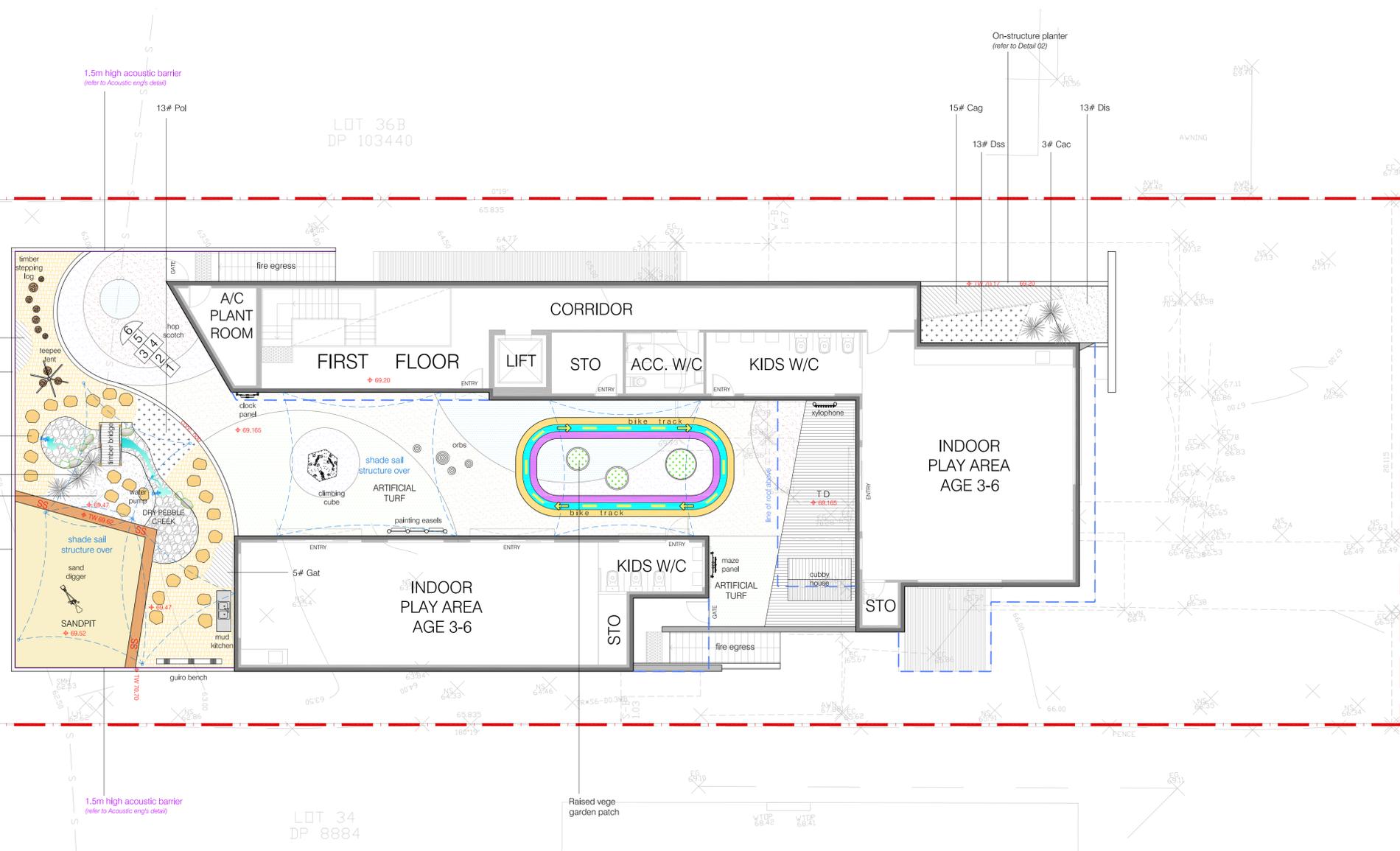
JT 472
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LOT 36B
DP 103440

JT 48
DP
8884

JT 49
DP
8884

W I N D E R M E R E
S T R E E T



LANDSCAPE + PLAY ITEM LAYOUT PLAN: first floor

scale: 1:100

LEGEND

- | | | | | | | | | | | | |
|--|--|--|---|--|--|--|--|--|--|--|---|
| | Proposed small tree planting
<i>(refer to proposed plant schedule)</i> | | Proposed accent planting
<i>(refer to proposed plant schedule)</i> | | Proposed bark mulched area | | Proposed 200mm high conc. hob | | Proposed 1.8m & 1.5m acoustic barrier
<i>(refer to Acoustic report)</i> | | Proposed pebble seat |
| | Existing street tree to be protected & retained
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| | Proposed shrub planting
<i>(refer to proposed plant schedule)</i> | | Proposed sandpit | | Proposed timber deck
<i>(refer to proposed plant schedule)</i> | | Proposed stone stepping paver | | Proposed pebble seat | | Design levels |
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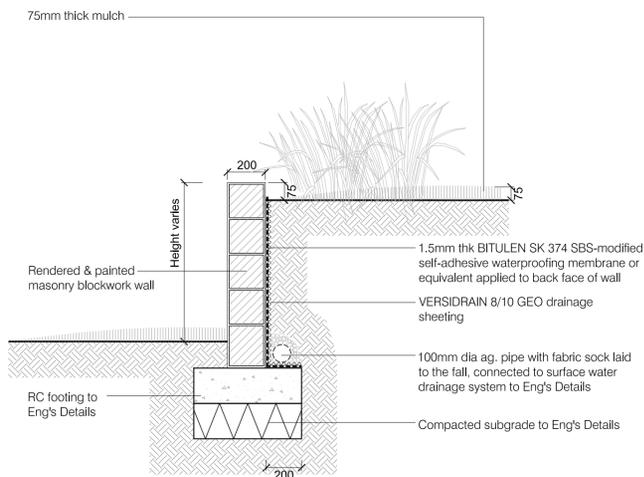
14 Windermere Avenue, NORTHMEAD NSW



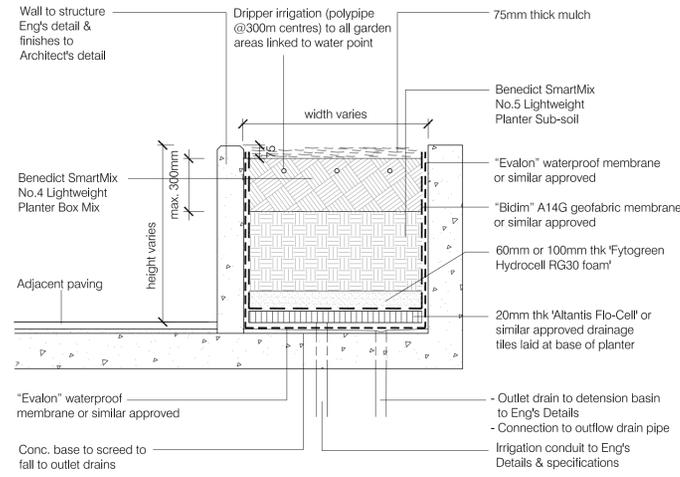
dwg title	scale: 1:100 @a1	revision	date
landscape + play item layout plan: first fr	dwg no.: DA-L102	A da submission	25/11/22
	Client: BARAKAT		

membership # 001263
mob: 0401 352 334
email: kobby@canvaslandscape.com.au

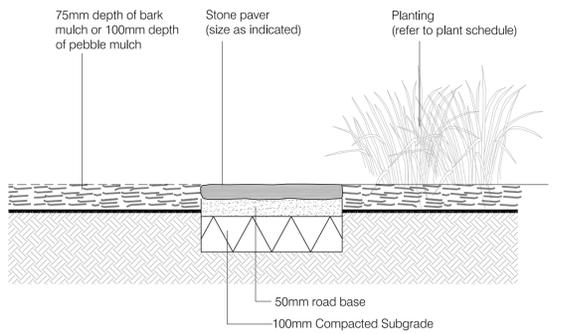
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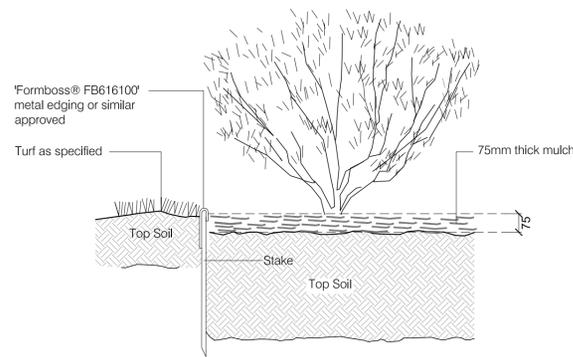
TYPICAL DETAIL 01: retaining wall scale: 1:20



TYPICAL DETAIL 02: on-structure planter scale: 1:20



TYPICAL DETAIL 03: stone stepping paver scale: 1:10



TYPICAL DETAIL 04: metal edging scale: 1:10

MAINTENANCE PROGRAM

The typical range of maintenance tasks required over a 12 month period is summarised in the table. Any information provided in the table must be assessed in the light of the weather and general site conditions. For example, watering frequency depends on the soil drainage and rainfall; fertiliser type and frequency needs to be adjusted to suit the plant requirements and the soil fertility and pH.

MULCH
Mulch will need to be topped up periodically to maintain a min. depth of 75mm. Mulch should be kept at least 50mm away from plant stems to reduce the risk of 'collar rot'.

WEEDS
Weeds in mulched beds will need to be controlled by hand pulling or by the use of non residual herbicides. When using herbicides be very careful to avoid spray drifting onto valuable plants. The smallest contact with the chemicals can cause damage.

PLANT MAINTENANCE
Deep watering once or twice a week is more beneficial to plants than frequent light watering. Frequent watering will produce shallow roots and make the plant less stable and susceptible to drought. Maintain moisture to the bottom of the rootball for the first 3 months. To help safeguard plants remove labels immediately after planting. Where plants are susceptible to damage by vehicles to pedestrians, maintain protective fences until plants are well established. Replace dead plants fortnightly until such time as alternative maintenance procedures are in place.

LAWN MAINTENANCE
Once lawn has been established, carry out watering and fertilising as suggested in the typical maintenance program. In summer, through watering, two or three times each week will encourage roots to go deeper in search of water. Mow grass as required to maintain an even tidy appearance.

Maintenance Task	Frequency											
	January	February	March	April	May	June	July	August	September	October	November	December
Grass												
Mowing lawn		WEEKLY				AS REQUIRED				WEEKLY		
Watering lawn		TWICE WEEKLY				AS REQUIRED				TWICE WEEKLY		
Fertilising lawn												
Weed control												
Top dressing												
Aerating												
Re-seeding												
Trees & Shrubs												
Watering		WEEKLY				AS REQUIRED					WEEKLY	
Fertilising												
Pruning												
Mulching												
Weed control												
Thinning												
Insect & disease control												

PROPOSED PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT
TREES				
ELR	<i>Elaeocarpus reticulatus</i>	Blue-berry Ash	100L	8m
TRL	<i>Tristanopsis laurina</i>	Water Gum	45L	8m
SCREEN & BARRIER SHRUBS				
Acs	<i>Acmena smithii var. minor</i>	Dwarf Lillypilly	25L	3m
Cgbf	<i>Callistemon 'Great Balls of Fire'</i>	Great Balls of Fire Bottlebrush	200mm	1.5m
Coa	<i>Cornea alba</i>	White Correa	200mm	1.5m
Dsg	<i>Duranta 'Sheena's Gold'</i>	Golden Dew Drop (Hedge)	25L	2m
Gaaf	<i>Gardenia augusta 'Florida'</i>	Gardenia 'Florida'	200mm	1.5m
Grg	<i>Grevillea 'Robyn Gordon'</i>	Robyn Gordon Grevillea	200mm	1.5m
Pgp	<i>Pittosporum 'Green Pillar'</i>	Green Pillar Pittosporum	5L	3m
Phgr	<i>Photinia glabra 'Rubens'</i>	Photinia	25L	2m
Pmy	<i>Philotheca myoporoides</i>	Wax Flower	200mm	1.5m
Saas	<i>Syzygium australe 'Aussie Southern'</i>	Syzygium 'Aussie Southern'	5L	2m
Vio	<i>Viburnum odoratissimum 'Emerald Lustre'</i>	Emerald Lustre	300mm	2m
Wef	<i>Westringia fruticosa</i>	Coastal rosemary	200mm	1.5m
ACCENT PLANTS				
Cac	<i>Cordylina australis 'Cabernett'</i>	Cordylina Cabernett	200mm	1.2m
Cpi	<i>Cordylina 'Pink Joy'</i>	Pink Joy Cordylina	200mm	1.2m
Phbb	<i>Phormium 'Bronze Baby'</i>	Bronze Baby Flax	200mm	0.8m
Std	<i>Strelitzia reginae dwarf</i>	Dwarf Bird-of-Paradise	200mm	0.6m

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT
GROUND COVERS				
Ald	<i>Alternanthera dentata</i>	Ruby leaf alternanthera	200mm	0.5m
Cag	<i>Casuarina glauca 'cousin it'</i>	Cousin It	200mm	0.3m
Cao	<i>Calathea ornata</i>	Prayer/Peacock Plant	200mm	0.4m
Cim	<i>Civrea miniata</i>	Kaffir Lily	140mm	0.4m
Die	<i>Dichondra repens</i>	Kidney Weed	200mm	0.1m
Dir	<i>Dianella revoluta 'little rev'</i>	Black Anther Flax Lily	200mm	0.3m
Dis	<i>Dichondra silver falls</i>	Dichondra	200mm	0.2m
Dss	<i>Dianella silver streak</i>	Silver Streak Flax Lily	200mm	0.4m
Gat	<i>Gazania tomentosa</i>	Gazania	200mm	0.2m
Imc	<i>Imperata cylindrica</i>	Blady Grass	200mm	0.6m
Juu	<i>Juncus usitatus</i>	Tussock Rush	200mm	0.9m
Lim	<i>Lilium muscari 'Variegata'</i>	Variegated Lily Turf	150mm	0.3m
Limeg	<i>Lilium muscari 'Evergreen Giant'</i>	Giant Lily Turf	200mm	0.6m
Loik	<i>Lomandra longifolia 'Katirus'</i>	Spiry-headed Mat-rush 'Katirus'	200mm	0.7m
Pea	<i>Penstemon alopecurioides</i>	Black Lea	200mm	0.8m
Phx	<i>Philodendron 'Xanadu'</i>	Xanadu	200mm	1m
Pol	<i>Poa labillardieri</i>	Tussock Grass	200mm	0.8m
Scs	<i>Scaevola 'Purple Fanfare'</i>	Purple Fan Flower	200mm	0.3m
Ses	<i>Senecio serpens</i>	Dwarf Blue Chalk Sticks	200mm	0.2m
Vih	<i>Vilfa hederacea</i>	Native Violet	200mm	0.1m
TURF GRASS				
As noted	<i>Stenotaphrum secundatum</i>	Sir Water Buffalo	roll	

NOTE.

native plant species

PROPOSED PLANTING & SAMPLE PLAY ITEMS IMAGE PALETTE



14 Windermere Avenue, NORTHMEAD NSW

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dwg title	scale: 1:10 & 20 @a1	revision	date
landscape typical details, proposed plant schedule & maintenance program	dwg no.: DA-L103	A da submission	25/11/22
Client: BARAKAT			

membership # 001263
mob: 0401 352 334
email: kobby@canvaslandscape.com.au

PROPOSED CHILDCARE CENTRE AT 14 WINDERMERE AVENUE, NORTHMEAD NSW 2152

GENERAL NOTES

- G1 ALL WORKS SHALL BE IN ACCORDANCE WITH B.C.A AND AS3500.3.
- G2 ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- G3 THE BUILDER SHALL ENSURE THAT THE STORMWATER ENGINEERS DRAWINGS CORRESPOND TO THE ARCHITECTURAL, STRUCTURAL, AND LANDSCAPING DRAWINGS. IF THERE EXISTS ANY DISCREPANCIES BETWEEN THE DRAWINGS, THE BUILDER SHALL REPORT THE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORKS.
- G4 PRIOR TO COMMENCING ANY WORKS, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTS INTO THE COUNCILS KERB/DRAINAGE SYSTEM MATCHED THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER.
- G5 THE DRAINAGE CONTRACTOR IS TO LOCATE AND RELOCATE AS NECESSARY ALL SERVICES ON SITE.
- G6 ALL LEVELS SHALL RELATE TO THE ESTABLISHED BENCH MARK. THIS IS TYPICALLY METRES TO AUSTRALIAN HEIGHT DATUM (AHD).
- G7 ALL DOWNPIPES TO BE 100MM DIAMETER UNLESS NOTED OTHERWISE.
- G8 ALL DOWN PIPES TO HAVE LEAF GUARDS.
- G9 ALL LINES ARE TO BE 100MM DIAMETER uPVC AT A MINIMUM 1.0% SLOPE UNLESS NOTED OTHERWISE. LINES ARE TO BE SEWER-GRADE AND SEALED.
- G10 ALL PIPES TO HAVE MINIMUM 150MM COVER IF LOCATED WITHIN PROPERTY.
- G11 ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- G12 ALL SUB-SOIL DRAINAGE SHALL BE OF A MINIMUM 100MM DIAMETER AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT OR STORMWATER ENGINEER.
- G13 ALL RETAINING WALLS SHALL BE CONSTRUCTED COMPLETELY WITHIN THE PROPERTY BOUNDARY LIMITS TO DETAILS PREPARED BY THE STRUCTURAL ENGINEER. WALLS FORMING THE ON-SITE DETENTION SYSTEM SHALL BE OF MASONARY/BRICK/CONCRETE CONSTRUCTION AND WATER TIGHT.
- G14 ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON-SITE DETENTION STORAGE SHALL BE OF A NON-FLOTABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. PINE PARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- G15 ALL DRAINAGE WORKS ARE TO AVOID TREE ROOTS. ROOT BARRIER TO BE INSTALLED ADJACENT TO TREE ZONES WHERE DRAINAGE MAY BE AT RISK.
- G16 ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
- G17 COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.

RAINWATER TANKS

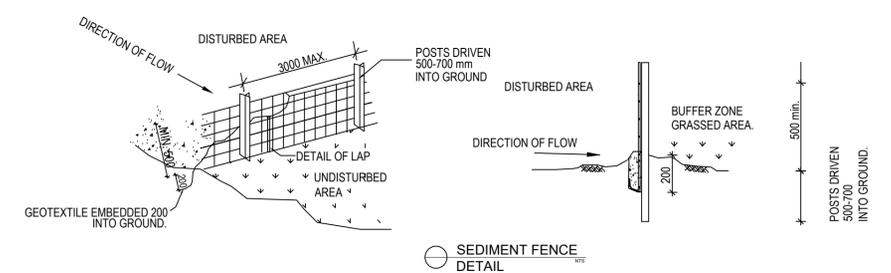
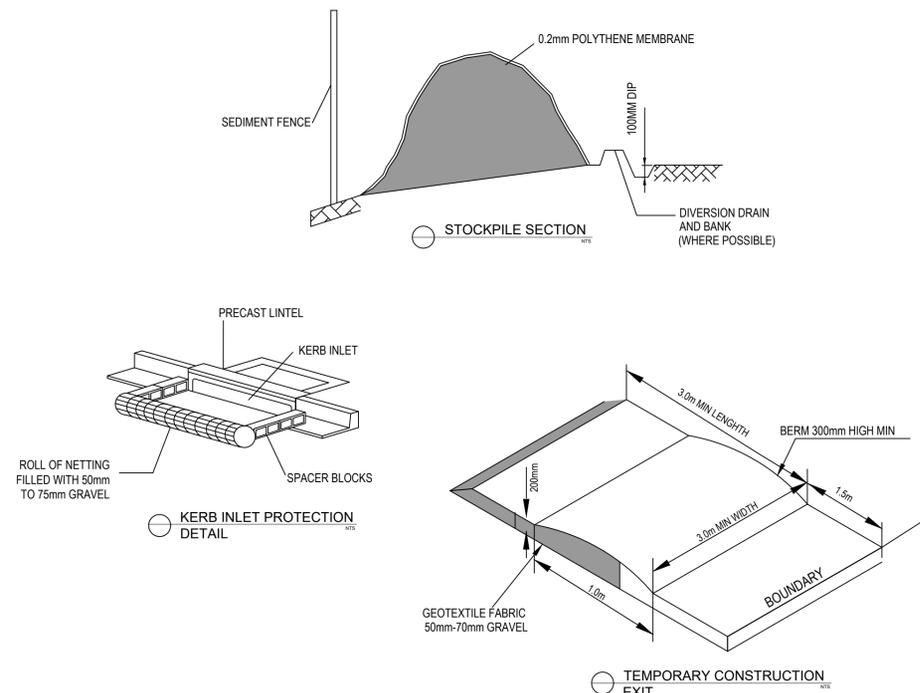
- R1 RAINWATER TANK, DRAINED ROOF AREAS AND REUSE PLUMBING TO COMPLY WITH BASIX REQUIREMENTS AND CERTIFICATE.
- R2 ADEQUATE SCREENING TO PREVENT MOSQUITO BREEDING AND ENTRY OF ANIMAL OR FLOATING MATTER.
- R3 A 'FIRST FLUSH' DIVERSION TO REMOVE ROOF CONTAMINANTS MUST BE PROVIDED.
- R4 TANKS TO BE PUMPED TO TOP-UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIOD WHEN THE TANK IS 80% EMPTY.
- R5 PUMP TO BE SUITABLY SOUNDPROOFED.
- R6 A SIGN IS TO BE INSTALLED NEAR THE RAINWATER TANK HIGHLIGHTING "NOT FOR HUMAN CONSUMPTION".

LEGEND

- PRESSURE PIPE (CHARGED LINE) 
- GRAVITY PIPE AT MIN. 1% SLOPE U.N.O. 
- AG. LINE AT MIN. 1% SLOPE 
- DOWNPIPE MIN. Ø100 U.N.O. 
- GRATED PIT
SL: SURFACE LEVEL
IL: INVERT LEVEL 
- CLEANING EYE (INSPECTION EYE) 
- OVERLAND FLOW PATH 
- GRATED TRENCH 
- EXISTING RL 
- DESIGN RL 

SEDIMENT & EROSION CONTROL

- S1 PLANS ARE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. EXACT MEASURES USED SHALL BE DETERMINED ON SITE IN CONJUNCTION WITH PROGRAM OF CONTRACTORS WORKS.
- S2 IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO NOMINATE THE LOCATIONS AND TYPES OF SEDIMENT AND EROSION CONTROL MEASURE TO BE ADOPTED. THESE MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CLEARING OR EARTHWORKS AND MAINTAINED UNTIL THE WORKS ARE COMPLETED AND NO LONGER POSE AN EROSION HAZARD, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
- S3 IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO IDENTIFY AND MARK TREES WHICH ARE TO BE PRESERVED. NOTWITHSTANDING THE ABOVE, THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO MINIMISE DISTURBANCE TO EXISTING VEGETATION AND GROUND COVER OUTSIDE THE MINIMUM AREAS REQUIRED TO COMPLETE THE WORKS AND SHALL BE RESPONSIBLE FOR RECTIFICATION, AT ITS OWN COST, OF ANY DISTURBANCE BEYOND THOSE AREAS.
- S4 PROVIDE GULLY GRATE INLET SEDIMENT TRAPS AT ALL GULLY PITS.
- S5 PROVIDE SILT FENCING ALONG PROPERTY LINE AS DIRECTED BY SUPERINTENDENT.
- S6 ADDITIONAL CONTROL DEVICES TO BE PLACED WHERE DIRECTED BY THE PRINCIPLE.
- S7 ALTERNATIVE DESIGNS TO BE APPROVED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- S8 WASH DOWN/RUMBLE AREA TO BE CONSTRUCTED WITH PROVISIONS RESTRICTING ALL SILT AND TRAFFICKED DEBRIS FROM ENTERING THE STORMWATER SYSTEM.
- S9 NO WORK OR STOCKPILING OF MATERIALS TO BE PLACED OUTSIDE OF SITE WORK BOUNDARY.
- S10 APPROPRIATE EROSION AND SEDIMENT CONTROLS TO BE USED TO PROTECT STOCKPILES AND MAINTAINED THROUGHOUT CONSTRUCTION.
- S11 IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE DUE CARE OF NATURAL VEGETATION. NO CLEARING IS TO BE UNDERTAKEN WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT.
- S12 TO AVOID DISTURBANCE TO EXISTING TREES, EARTHWORKS WILL BE MODIFIED AS DIRECTED ON SITE BY THE SUPERINTENDENT.



SEDIMENT FENCE

- F1 FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
- F2 WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150MM AND FOLDED.
- F3 POSTS SHALL NOT BE SPACED MORE THAN 3.0 METRES APART.
- F4 FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14MM GAUGE, 150MM MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES
- F5 INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, SPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCY SPILLWAYS AT SPACINGS NO GREATER THAN 40M ON FLAT TERRAIN DECREASING TO 20M SPACINGS ON STEEP TERRAIN

NOTE
DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS FOR LEVELS, STEPS, DIMENSIONS AND SETOUT. VERIFY DIMENSIONS ON SITE. THE ENGINEER SHALL BE NOTIFIED OF ANY VARIATIONS TO THAT SHOWN ON STRUCTURAL PLANS BEFORE COMMENCEMENT OF WORKS

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B	01.11.2022	ISSUED FOR DA	B.P
A	28.09.2022	ISSUED FOR DA	B.P

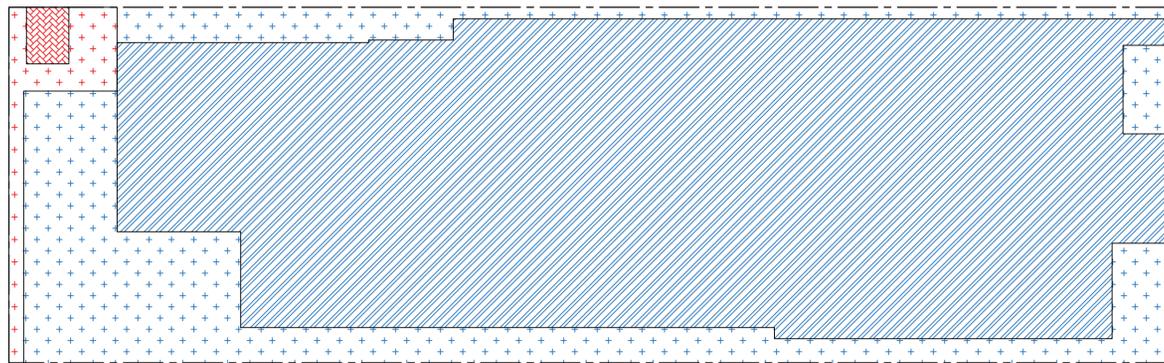
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PROPOSED CHILDCARE CENTRE
AT: 14 WINDERMERE AVE, NORTHMEAD NSW 2152

GENERAL NOTES

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
220214	C000	A1
DESIGNED BY:	DATE:	
B.P	28/09/2022	
DRAWN BY:	SCALE:	
B.P	AS SHOWN	



CONCEPT STORMWATER CATCHMENT PLAN
1:200

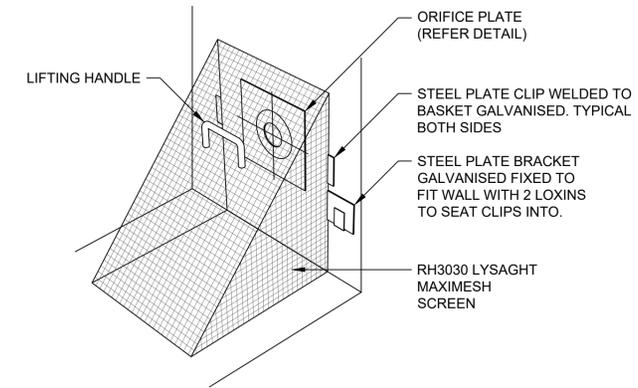
SITE AREA: 1324.4m²

- IMPERVIOUS AREA TO OSD: 962.7m²
- PERVIOUS AREA TO OSD: 319.8m²
- IMPERVIOUS AREA BYPASSING OSD: 7.7m²
- PERVIOUS AREA BYPASS OSD: 34.3m²

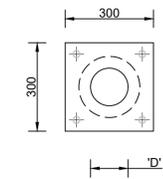
COLOURS:
"DANGER" AND BACKGROUND WHITE
ELLIPTICAL AREA RED
RECTANGLE CONTAINING ECLIPSE BLACK
OTHER LETTERING AND BORDER BLACK

MATERIALS:
POLYPROPYLENE

THE ON-SITE STORMWATER DETENTION SYSTEM SHALL BE INDICATED ON THE SITE BY FIXING A MARKER PLATE IN A PROMINENT POSITION. THIS PLATE IS TO BE OF MINIMUM SIZE 150MM X 100MM AND IS TO BE MADE FROM NON-CORROSIVE METAL OR 4MM THICK LAMINATED PLASTIC. IT IS TO BE FIXED TO THE NEAREST CONCRETE OR PERMANENT SURFACE IN A PROMINENT POSITION. THE WORDING ON THE MARKER PLATE IS TO BE:

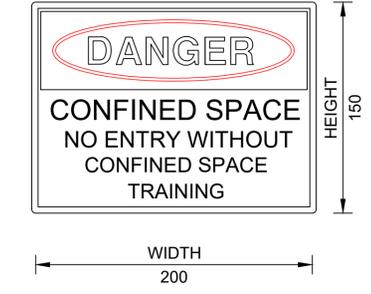


STAINLESS STEEL PLATE MIN. 3MM THICK (EPOXY AND DYNABOLTED TO PIT WALL USING 4M10 DYNABOLTS). ORIFICE OUTLET MACHINED TO 0.5MM ACCURACY



TYPICAL ORIFICE PLATE DETAIL NTS

TYPICAL OSD FILTER SCREEN DETAIL NTS



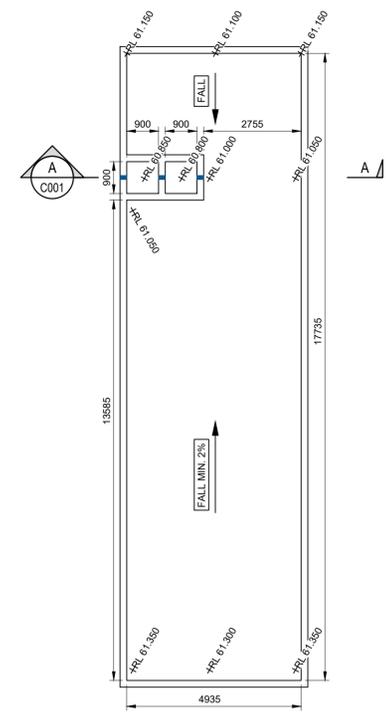
TYPICAL CONFINED SPACE WARNING SIGN NTS

THIS IS AN ON-SITE STORMWATER DETENTION SYSTEM REQUIRED BY COUNCIL. IT IS AN OFFENCE TO REDUCE THE VOLUME OF THE TANK OR BASIN OR TO INTERFERE WITH THE ORIFICE PLATE THAT CONTROLS THE OUTFLOW. THE BASE OF THE OUTLET CONTROL PIT AND THE DEBRIS SCREEN MUST BE CLEANED OF DEBRIS AND SEDIMENT ON A REGULAR BASIS BY THE OWNER. THIS PLATE MUST NOT BE REMOVED.

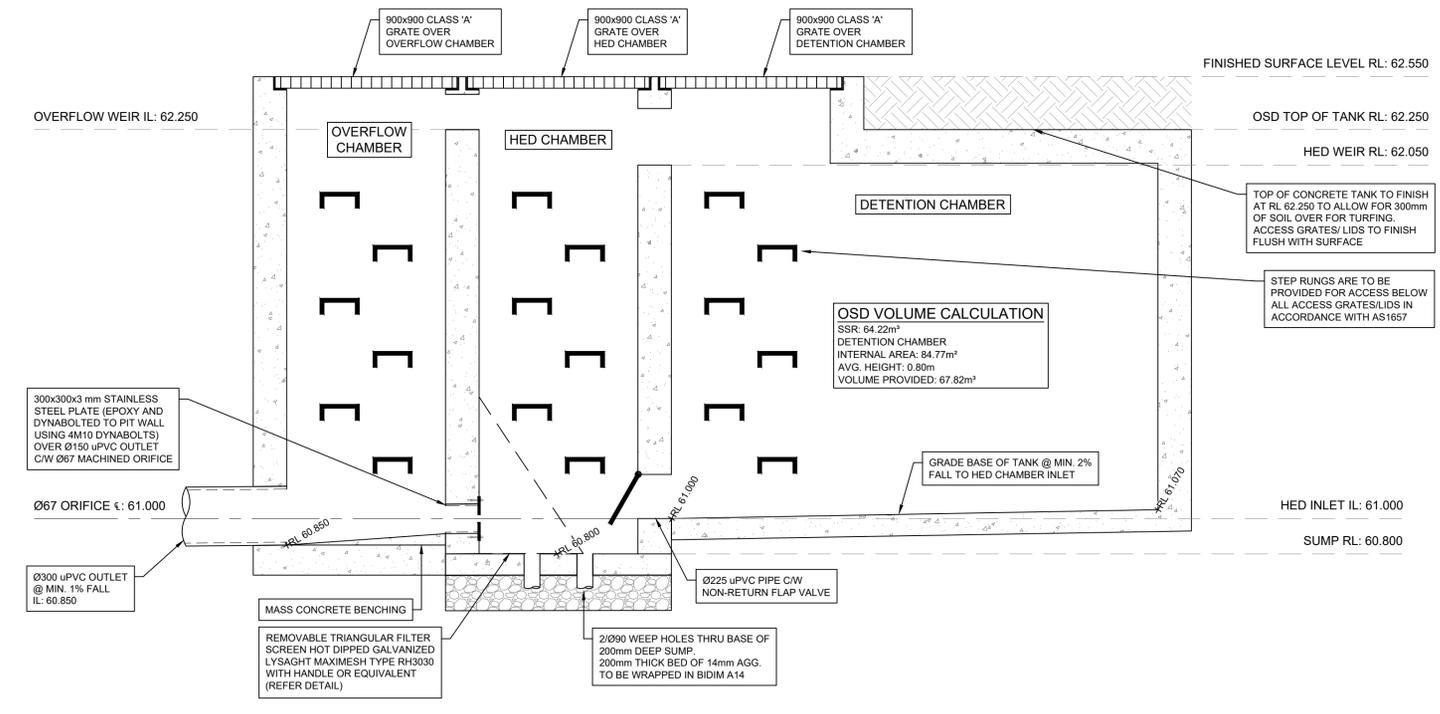
TYPICAL OSD SIGN NTS

On-Site Detention Calculation Sheet for Upper Parramatta River Catchment
3rd Edition

Project:	Proposed Childcare Centre		
Site Address:	14 Windermere Ave, Northmead NSW 2152		
Job No.:	220214		
Designer:	BP		
Telephone:	(02) 9098 4729		
Site Data			
L.G.A.	Parramatta City Council		
OSD Catchment	Former Hills Shire Council Area		
Site Area	0.13244 ha	1,324 m ²	
Total Roof Area	0.09704 ha	970 m ²	
Area of Site draining to OSD Storage	0.12825 ha	1,283 m ²	Satisfactory
Area Bypassing Storage	0.00419 ha		
Area Bypassing / Residual Site Area	3.2%		Satisfactory 15% Max
No. of Dwellings on Site	1		Satisfactory
Site Area per Dwelling	0.132 ha		
Roof Area per Dwelling	0.097 ha		
Basic OSD Parameters			
Basic SSR Vols	Detention Storage 470 m ³ /ha	Preliminary Storage 62.25 m ³	
Basic SRDs	PSD 80 L/s/ha	Basic PSD 10.60 L/s	
OSD Tank Bypass			
Residual Lot Capture in OSD Tank	97%		
Adjusted Detention Storage	485 m ³ /ha	Adjusted PSD 77 L/s/ha	
OSD Calculations			
Permissible Site Discharge		Final PSD 9.91 L/s	
RL of Top Water Level of Storage		62.250 m	
RL of High Early Discharge Weir		62.050 m	
RL of Orifice Centreline		61.000 m	
Number of Orifices		1	
Estimated Downstream Flood Level		56.50	100yr ARI
Downstream FL - RL of Orifice Centreline		-4.50	Satisfactory
Design Head to Orifice Centre		1.250 m	
Calculated Orifice Diameter		65 mm	Satisfactory
High Early Discharge Head to Orifice Centreline		1.050 m	
High Early Discharge Flow		9.079 L/s	Satisfactory
Average Discharge per Hectare		74.0 L/s/ha	
Additional Storage per Hectare		500.7 m ³ /s/ha	
Total Storage Volume Required		Final SSR 64.22 m ³	
Overflow Weir & Freeboard Calculation			
RL of Minimum Habitable Floor Level		62.800 m	
RL of Minimum Garage Floor Level		62.765 m	
Length of Overflow Weir		0.70 m	
Site Runoff Coefficient	Parramatta City Council	0.75	
Storm Intensity (5 min 100 yr ARI)		217 mm/h	
Peak Flow over Weir		58.0 L/s	
Depth of Flow over Weir		137 mm	
Freeboard to Habitable Floor		Satisfactory 413 mm	
Freeboard to Garage Floor		Satisfactory 378 mm	



CONCEPT OSD PLAN
1:100



OSD SECTION A
1:20

**CONCEPT ONLY
NOT FOR CONSTRUCTION**

NOTE
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B	01.11.2022	ISSUED FOR DA	B.P
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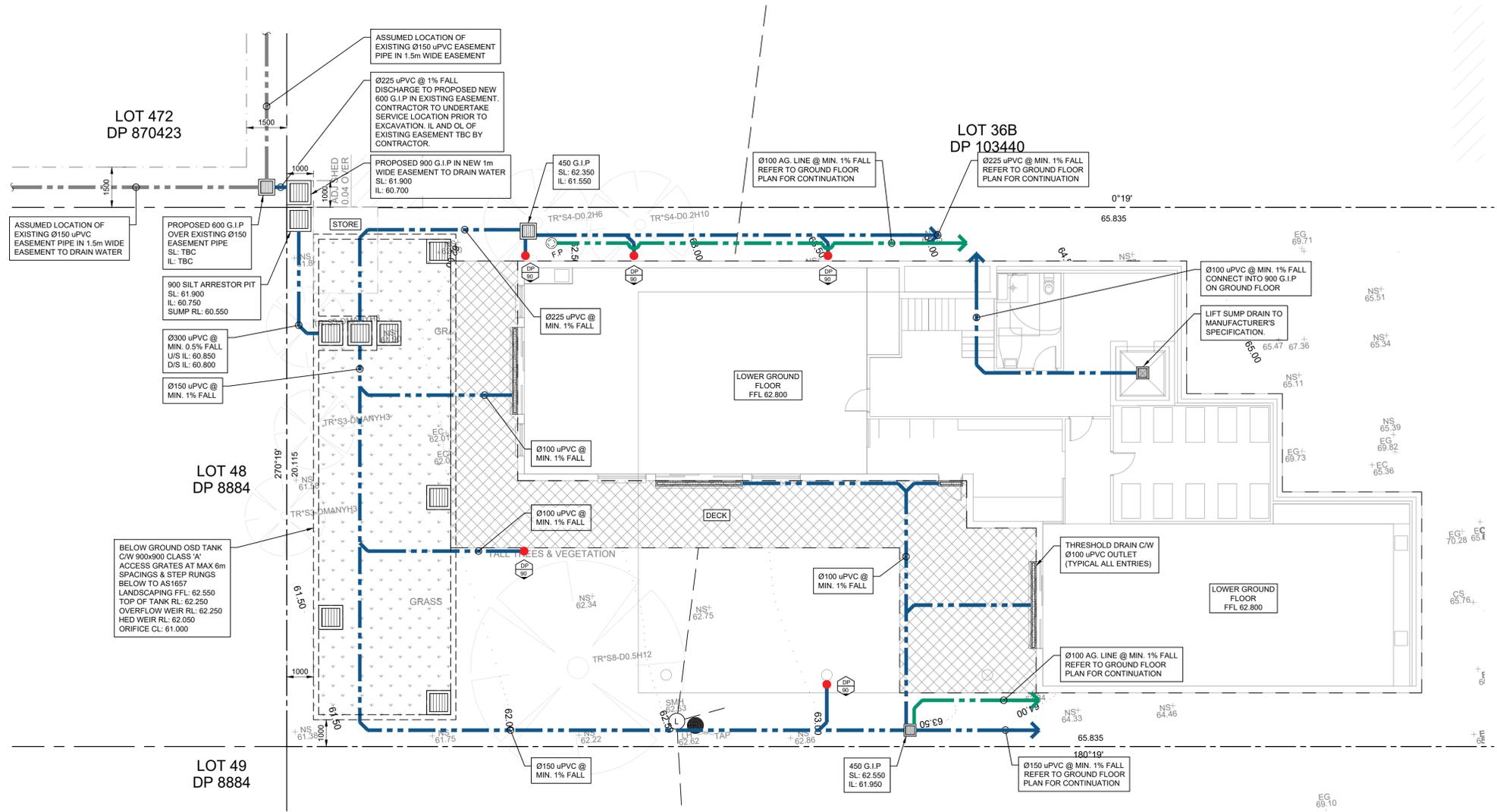
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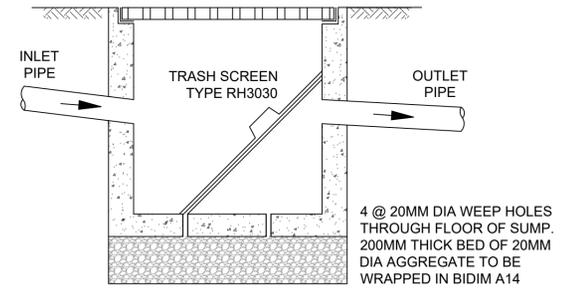
**PROPOSED
CHILDCARE CENTRE**
AT: 14 WINDERMERE AVE, NORTHMEAD NSW 2152

CONCEPT STORMWATER CATCHMENT PLAN / ON-SITE DETENTION DETAILS

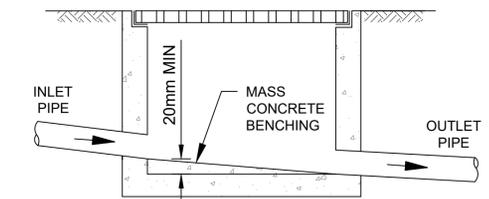
JOB NUMBER: 220214	DWG NUMBER: C001	ORIGINAL SIZE: A1
DESIGNED BY: B.P	DATE: 28/09/2022	
DRAWN BY: B.P	SCALE: AS SHOWN	



CONCEPT LOWER GROUND FLOOR STORMWATER DRAINAGE PLAN
1:100



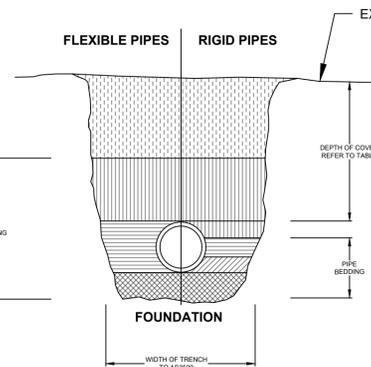
TYPICAL SILT ARRESTOR PIT DETAIL NTS



TYPICAL JUNCTION PIT DETAIL NTS

LEGEND - TRENCH BACKFILL

SYMBOL	FLEXIBLE PIPES	RIGID PIPES
[Pattern]	BACKFILL	BACKFILL
[Pattern]	PIPE OVERLAY	PIPE OVERLAY
[Pattern]	PIPE SIDE SUPPORT	SIDE ZONE
[Pattern]		HAUNCH ZONE
[Pattern]	PIPE UNDERLAY	BED ZONE

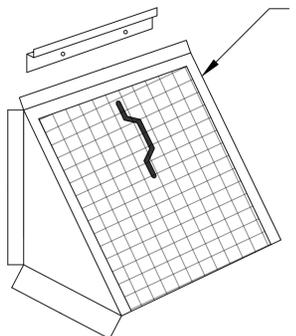


NOTE:
STORMWATER DRAINS CONSTRUCTED OF OTHER THAN CAST IRON, DUCTILE IRON OR GALVANISED STEEL HAVING COVER LESS THAN THAT SPECIFIED IN THE TABLE SHALL BE COVERED WITH AT LEAST 50mm OVERLAY AND SHALL BE PAVED WITH AT LEAST:
a. 100mm THICKNESS OF REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICULAR LOADING.

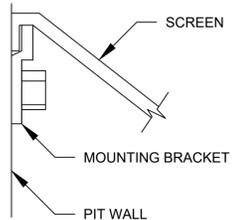
MINIMUM PIPE COVER (FROM FINISHED SURFACE TO TOP OF PIPE)

LOCATION	MINIMUM COVER (mm)	
	CAST/DUCTILE IRON GAL STEEL	OTHER AUTHORISED PRODUCTS (*)
1. NOT SUBJECT TO VEHICULAR LOADING:		
A. WITHOUT PAVEMENT:		
i. FOR SINGLE DWELLINGS -	100	100
ii. OTHER THAN SINGLE DWELLINGS -	100	300
B. WITH PAVEMENT OF BRICK/UNREINFORCED CONCRETE -	100**	100**
2. SUBJECT TO VEHICULAR LOADING:		
A. OTHER THAN ROADS:		
i. WITHOUT PAVEMENT -	300	450
ii. WITH PAVEMENT OF:		
- REINF. CONC. FOR HEAVY VEHICLES -	0**	100**
- BRICK/UNREINF. CONC LIGHT VEHICLES -	0**	75**
B. ROADS:		
i. SEALED	600	600
ii. UNSEALED	600	750
3. SUBJECT TO CONSTRUCTION VEHICLES OR IN EMBANKMENT CONDITIONS	600#	750#

*) INCLUDES OVERLAY ABOVE THE TOP OF THE PIPE OF NOT LESS THAN 50mm THICK
**) BELOW THE UNDERSIDE OF THE PAVEMENT
#) SUBJECT TO COMPLIANCE WITH AS1762, AS2033, AS/NZS 2566.1, AS3725 OR AS 4060



TYPICAL MULTI-PURPOSE FILTER SCREEN NTS



**CONCEPT ONLY
NOT FOR CONSTRUCTION**

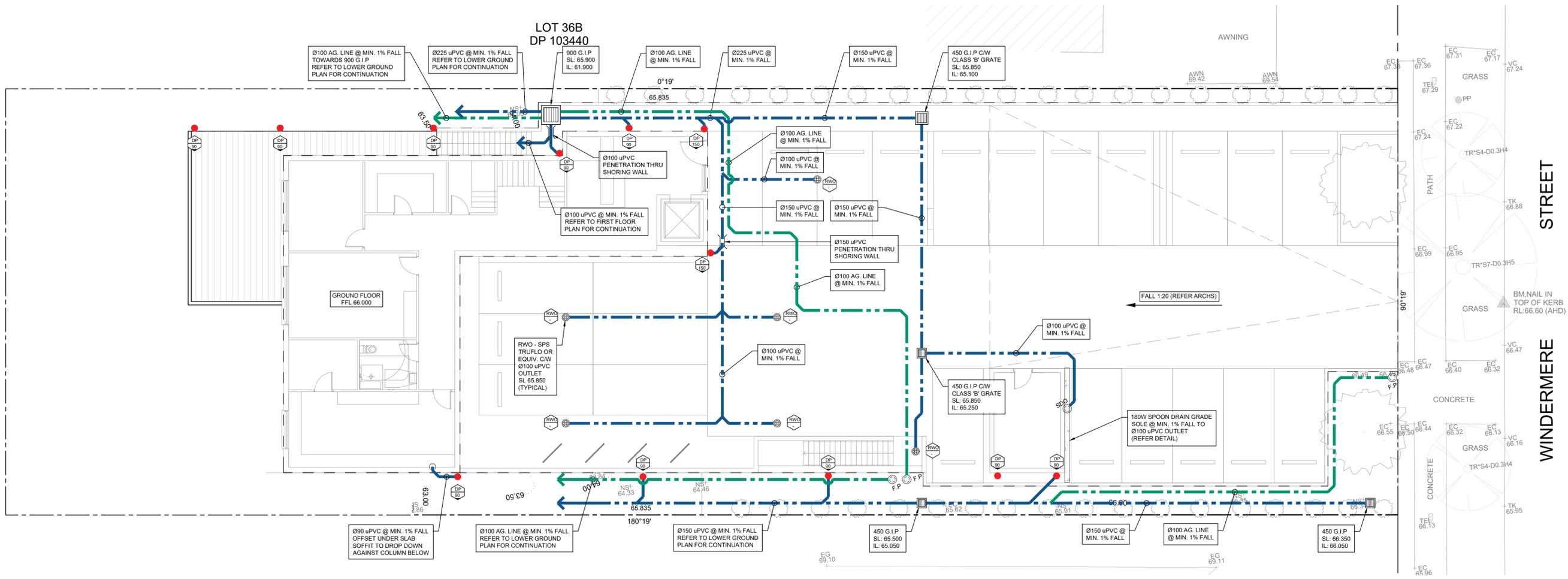
NOTE
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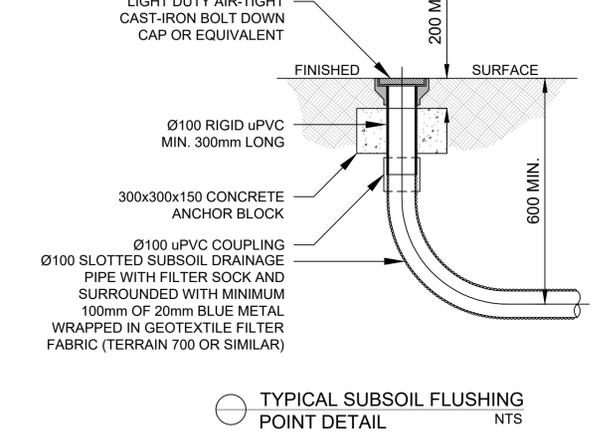
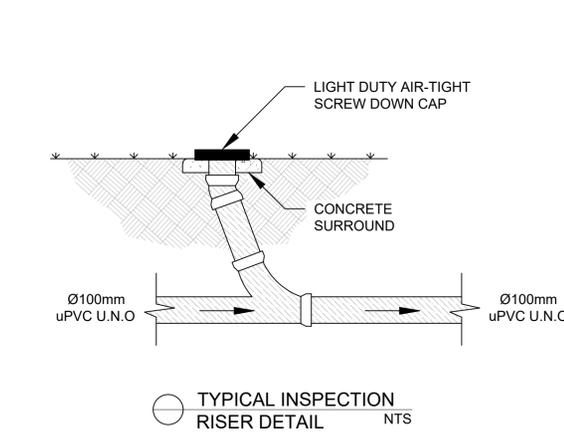
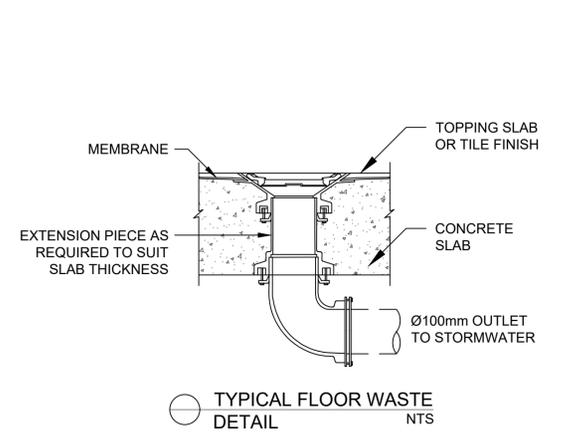
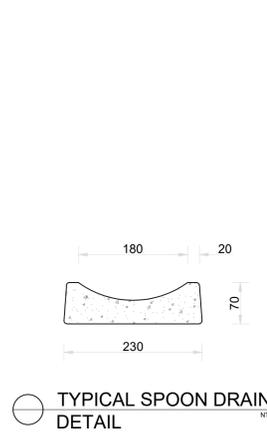
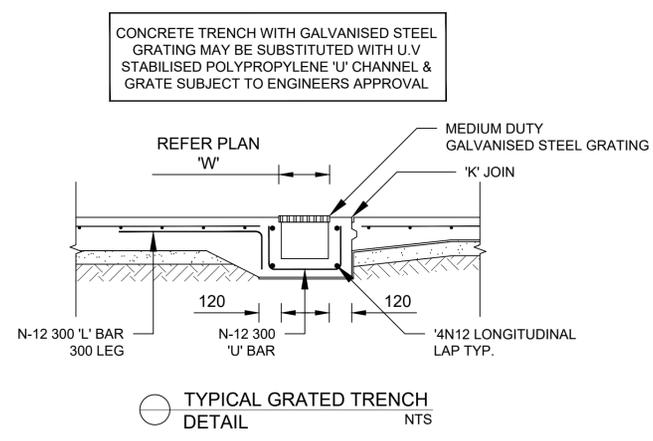
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PROPOSED CHILD CARE CENTRE AT: 14 WINDERMERE AVE, NORTHMEAD NSW 2152		JOB NUMBER: 220214	DWG NUMBER: C002	ORIGINAL SIZE: A1
CONCEPT LOWER GROUND FLOOR STORMWATER DRAINAGE PLAN / DETAILS		DESIGNED BY: B.P	DATE: 28/09/2022	
		DRAWN BY: B.P	SCALE: AS SHOWN	



CONCEPT GROUND FLOOR STORMWATER DRAINAGE PLAN
1:100



**CONCEPT ONLY
NOT FOR CONSTRUCTION**

NOTE
DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS FOR LEVELS, STEPS, DIMENSIONS AND SETOUT. VERIFY DIMENSIONS ON SITE. THE ENGINEER SHALL BE NOTIFIED OF ANY VARIATIONS TO THAT SHOWN ON STRUCTURAL PLANS BEFORE COMMENCEMENT OF WORKS

REV	DATE	DESCRIPTION	BY
B	01.11.2022	ISSUED FOR DA	B.P
A	28.09.2022	ISSUED FOR DA	B.P

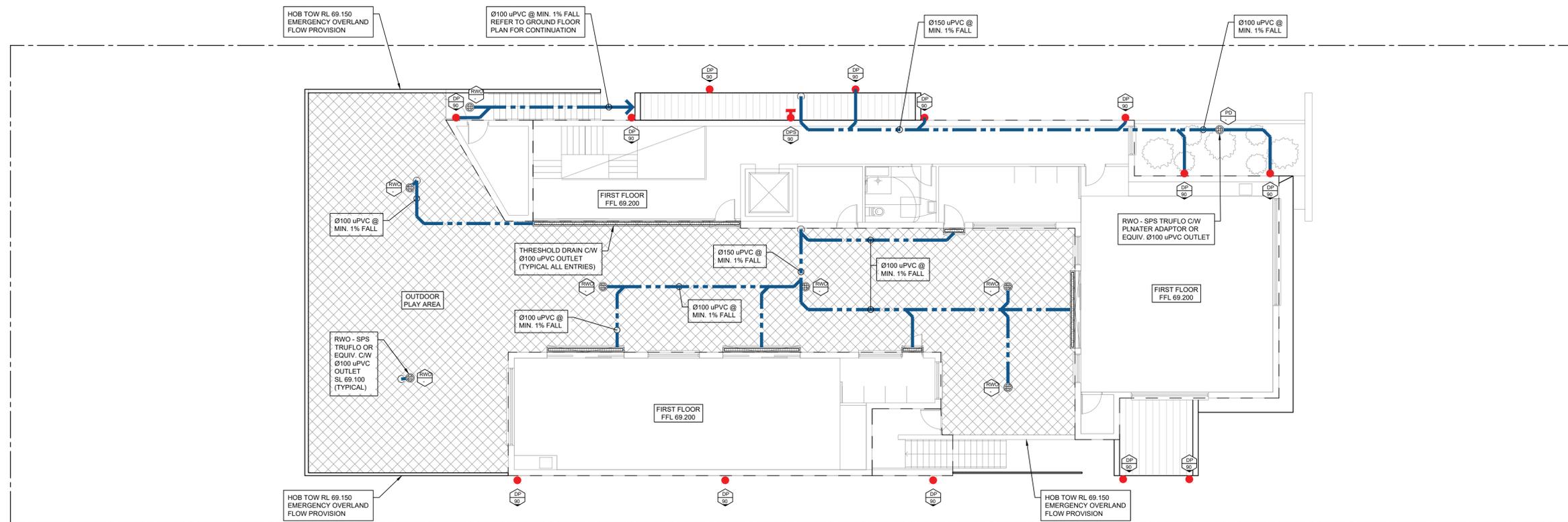
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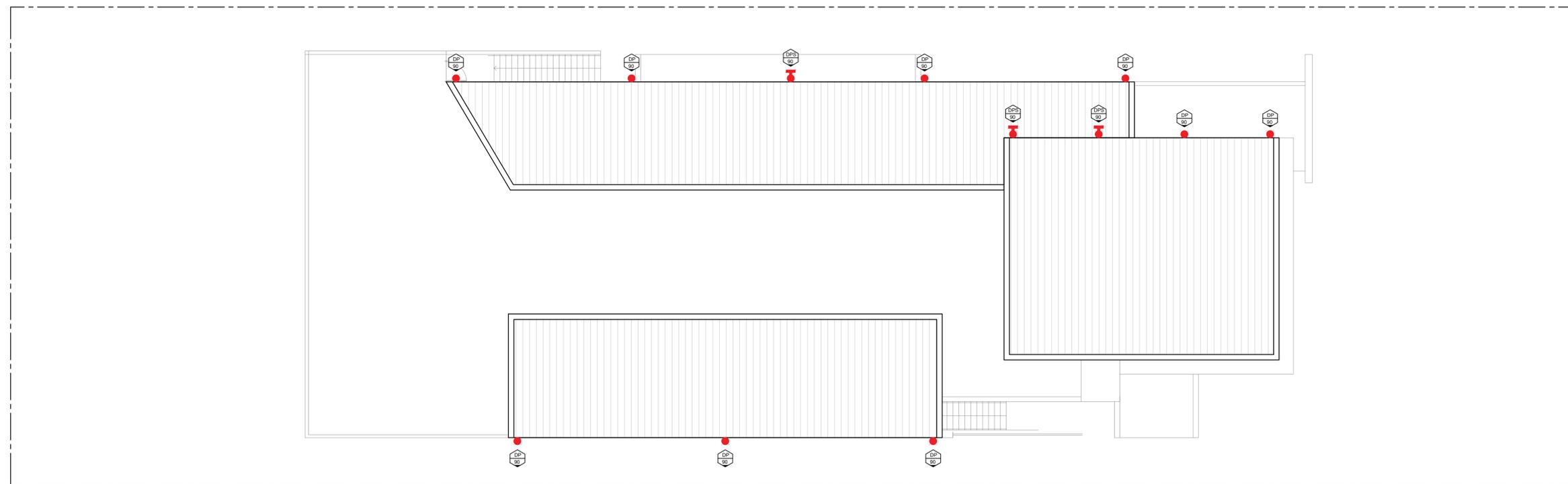
**PROPOSED
CHILDCARE CENTRE**
AT: 14 WINDERMERE AVE, NORTHMEAD NSW 2152

**CONCEPT GROUND FLOOR
STORMWATER DRAINAGE PLAN / DETAILS**

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
220214	C003	A1
DESIGNED BY:	DATE:	
B.P	28/09/2022	
DRAWN BY:	SCALE:	
B.P	AS SHOWN	



CONCEPT LOWER GROUND FLOOR STORMWATER DRAINAGE PLAN
1:100



CONCEPT ROOF STORMWATER DRAINAGE PLAN
1:100

**CONCEPT ONLY
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NOTE
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REV	DATE	DESCRIPTION	BY
B	01.11.2022	ISSUED FOR DA	B.P
A	28.09.2022	ISSUED FOR DA	B.P

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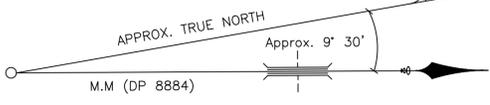
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Homebush NSW 2140
www.sdsengineering.com.au

**PROPOSED
CHILDCARE CENTRE**
AT: 14 WINDERMERE AVE, NORTHMEAD NSW 2152

**CONCEPT FIRST FLOOR / ROOF
STORMWATER DRAINAGE PLANS**

JOB NUMBER: 220214	DWG NUMBER: C004	ORIGINAL SIZE: A1
DESIGNED BY: B.P	DATE: 28/09/2022	
DRAWN BY: B.P	SCALE: AS SHOWN	

A1



LOT 472
DP 870423

LOT 36B
DP 103440

LOT 35
DP 8884
1322.0m²
(STATED BY DP 8884)
1324.4m²
(BY CALCULATION)

LOT 48
DP 8884

LOT 49
DP 8884

LOT 34
DP 8884

ONE STOREY
CLAD HOUSE
TILE ROOF
No. 12

ONE STOREY
BRICK HOUSE
TILE ROOF
No. 14

ONE STOREY
BRICK HOUSE
TILE ROOF
No. 16

WINDERMERE STREET

TRENT JAMES VELLA
(REGISTERED SURVEYOR)
SURVEYOR ID No. 8959

LEGEND:

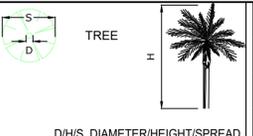
AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
BB	BOTTOM OF BANK
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTER LINE OF ROAD
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
IL	INVERT LEVEL
KO	KERB OUTLET
LH	LAMP HOLE
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
SL	SURFACE LEVEL
SILL	WINDOW SILL
SV	STOP VALE
TB	TOP OF BANK
TEL	TELSTRA PIT
TK	TOP OF KERB
TOW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
W	WINDOW
WM	WATER METER
WTOP	TOP OF WINDOW
W-B	WALL TO BOUNDARY



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DETAIL & BOUNDARY IDENTIFICATION SURVEY OF
LOT 35 IN DP 8884, LOCATED AT
No.14, WINDERMERE STREET, NORTHMEAD.



INSTRUCTING PARTY:	5 STAR	SURVEYED BY:	CN	DATUM:	AHD
LGA: CITY OF PARRAMATTA	AREA BY DP: 1322.0 m ²	DRAWN BY:	SU	CHECKED BY:	KU
SURVEY DATE: 10/12/2021	AREA BY CALC: 1324.4 m ²	SCALE:	1:100@A1	REF. NO.:	20041-21 DET/ID
DATE DRAWN: 14/12/2021	CONTOUR INTERVAL 0.5 m	REV. NO.:	00	SHEET:	1 OF 1

THE SUBJECT TITLE NOTES : AS AT 9/12/2021

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- AJ940270 MORTGAGE TO WESTPAC BANKING CORPORATION

NOTES:

- BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
ORIGIN OF LEVELS : SSM 2904, RL 69.871 (AHD), CLASS LB.
- USE STATED DIMENSIONS. DO NOT SCALE.
- THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
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