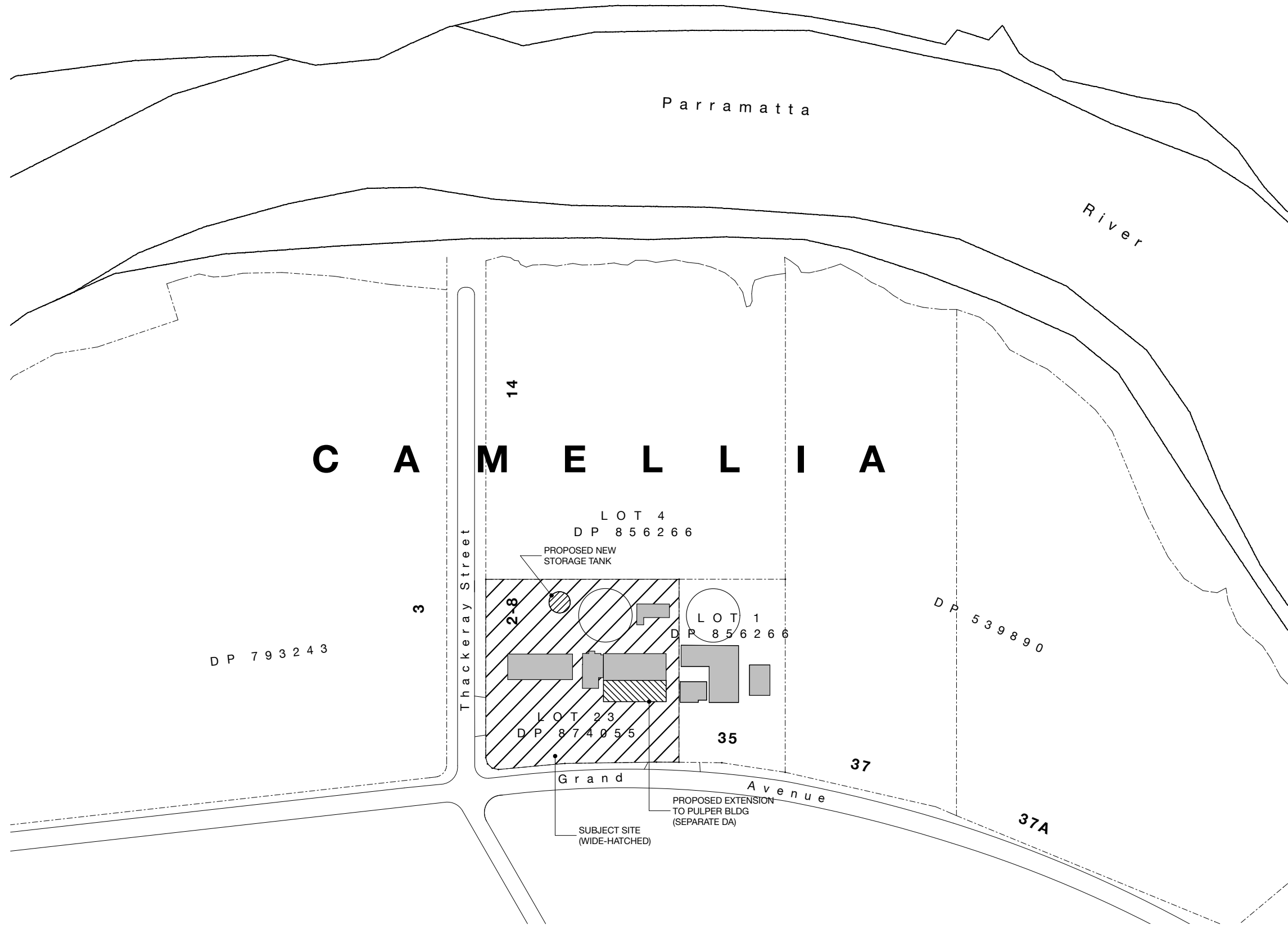
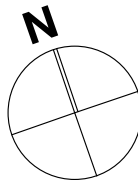
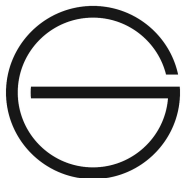




SCALE
1:2000
@ A3



0 m 50 100 200 500



REV	ID	Issue Date	Comment
A	11-MAR-22	FOR CONSULTANTS	

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E info@gately.com.au

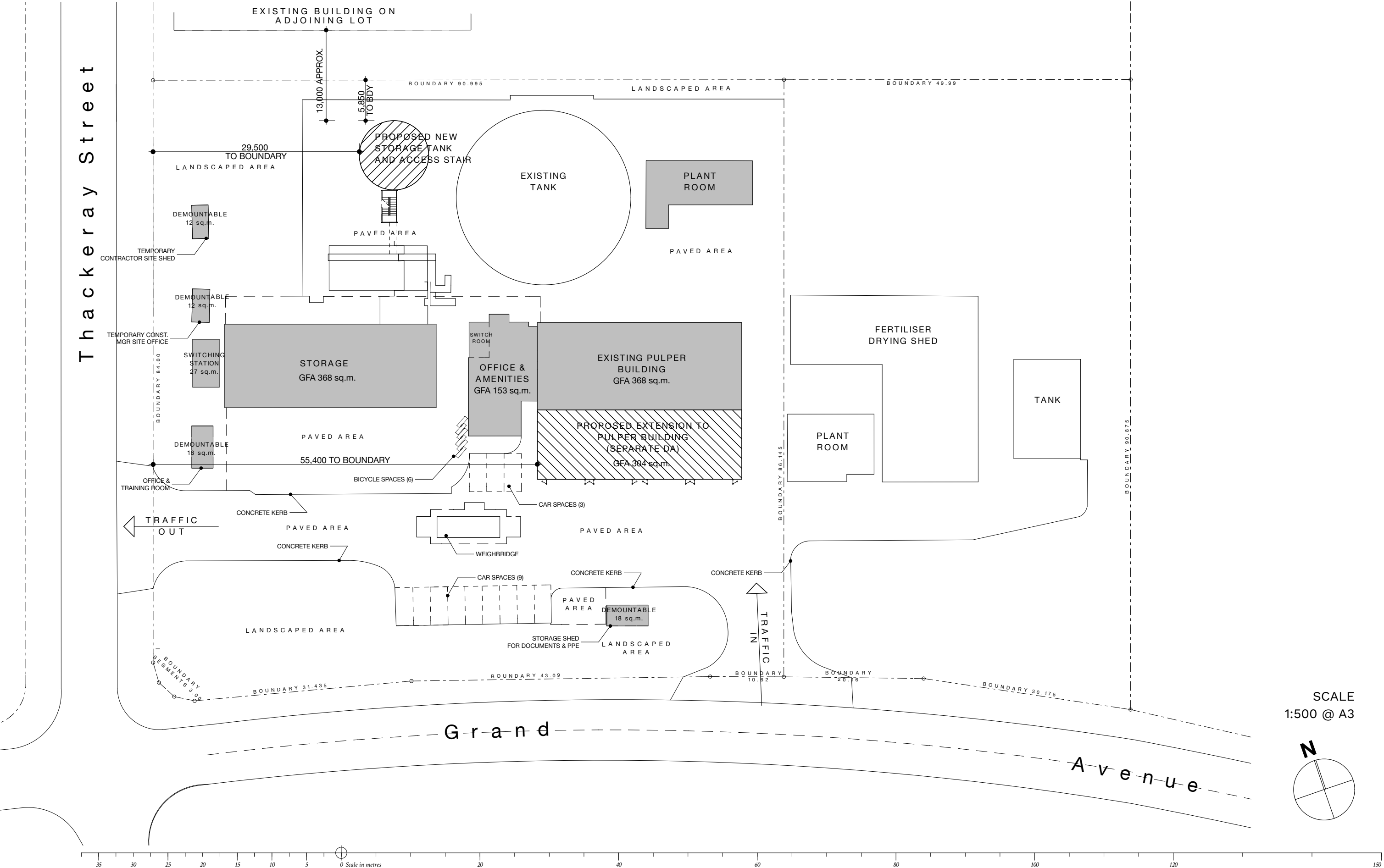
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PROJECT NAME: **Proposed new storage tank**
SITE: EarthPower Technologies
35 Grand Avenue Camellia NSW 2142
DRAWING TITLE: **Location plan**

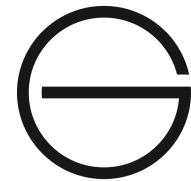
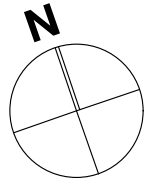
DRAWN BY:
CHECKED BY:
PLOT DATE:
PROJECT NO.

11-Mar-22
ERT

REVISION NO. **A**
DRAWING NO.



SCALE
1:500 @ A3



REV ID	Issue Date	FOR CONSULTANTS	Comment
A	11-MAR-22		

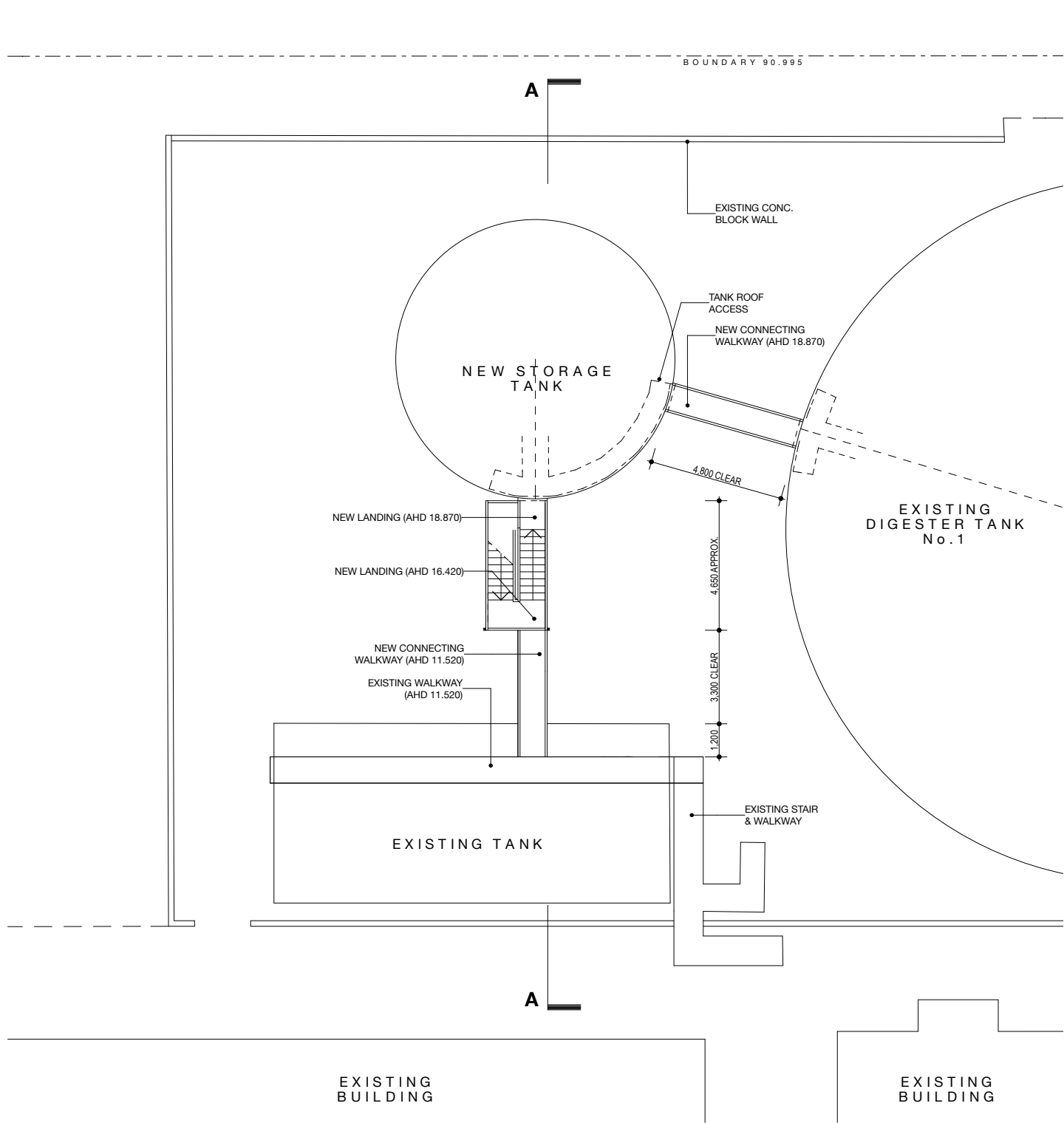
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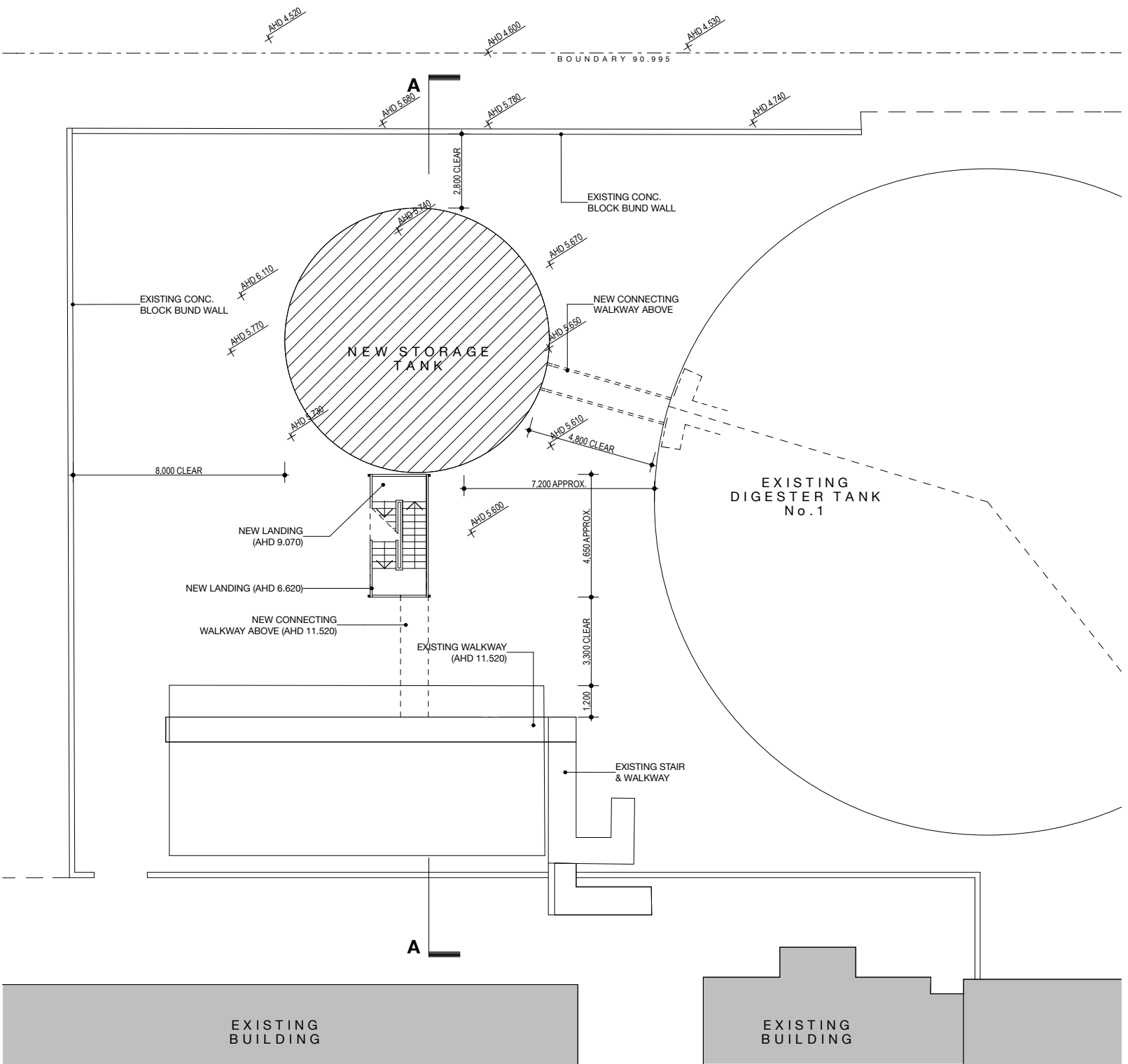
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EarthPower Technologies
SITE: 35 Grand Avenue Camellia NSW 2142
DRAWING TITLE: **Site plan**

DRAWN BY:
CHECKED BY:
PLOT DATE: 11-Mar-22
PROJECT NO. **ERT**

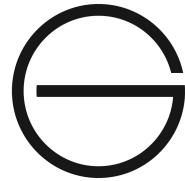
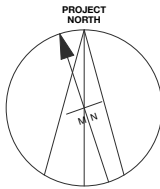
REVISION NO. **A**
DRAWING NO. **A12**



02 PLAN AT HIGH LEVEL
SCALE 1:200 @ A3



01 PLAN AT GROUND LEVEL
SCALE 1:200 @ A3



REV	DATE	DESCRIPTION
C	20-MAY-22	EXIST. GROUND LEVELS
B	21-MAR-22	FOR D.A.
A	11-MAR-22	FOR CONSULTANTS
REV	DATE	COMMENT

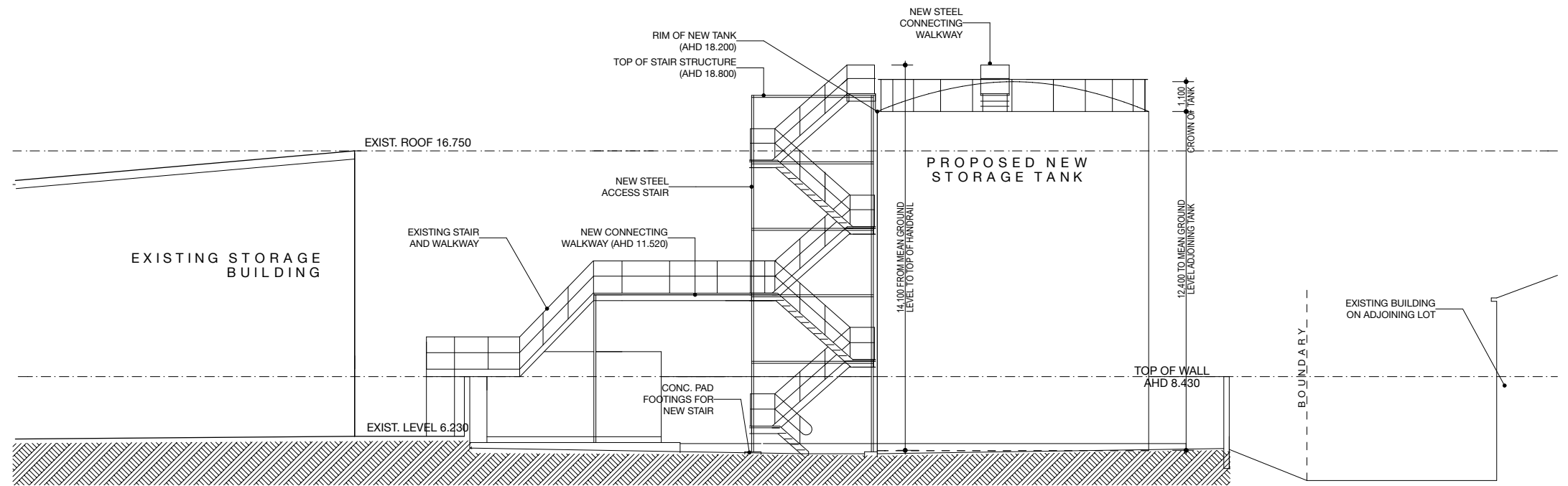
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PROJECT NAME: Proposed new storage tank
SITE: EarthPower Technologies
35 Grand Avenue Camellia NSW 2142
DRAWING TITLE: Ground plan & plan at high level

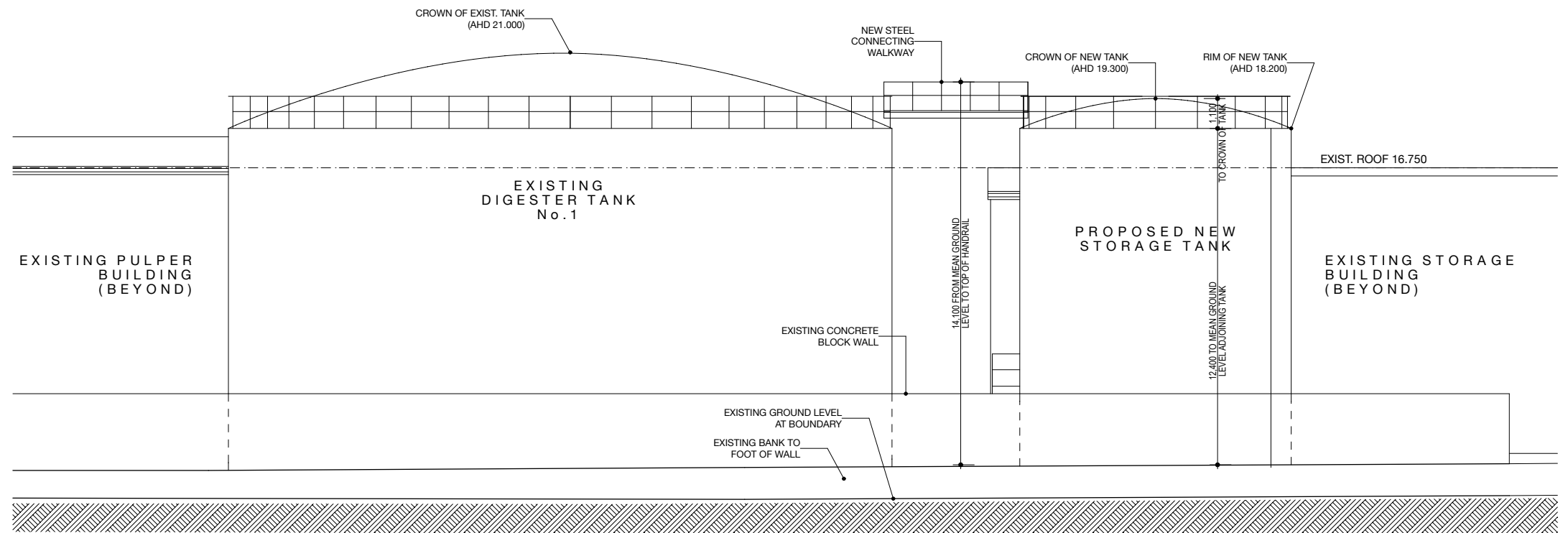
DRAWN BY:
CHECKED BY:
PLOT DATE: 20-May-22
PROJECT NO.: ERT

REVISION NO.: C
DRAWING NO.: A13



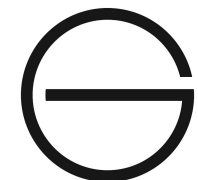
02 EAST ELEVATION

SCALE 1:200 @ A3



01 NORTH ELEVATION

SCALE 1:200 @ A3



REV	DATE	DESCRIPTION
C	20-MAY-22	HEIGHTS CLARIFIED
B	21-MAR-22	FOR D.A.
A	11-MAR-22	FOR CONSULTANTS
REV	DATE	DESCRIPTION

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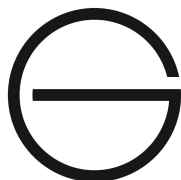
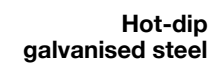
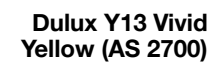
PROJECT NAME: **Proposed new storage tank**
EarthPower Technologies
SITE: 35 Grand Avenue Camellia NSW 2142
DRAWING TITLE: **North & East elevations**

DRAWN BY:
CHECKED BY:
PLOT DATE: 20-May-22
PROJECT NO. **ERT**

REVISION NO.
DRAWING NO.

C

A14



PROPOSED STORM WATER DESIGN FOR ADDITIONS & ALTERATIONS
AT 2-8 THACKERAY STREET, CAMELLIA, NSW 2142
FOR EARTH POWER TECHNOLOGIES SYDNEY PTY LTD.

GENERAL NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DETAILS AND ALL DIMENSIONS TO BE VERIFIED BY THE BUILDER PRIOR TO COMMENCEMENT OF THE WORK.
3. REFER TO ARCHITECTURAL DRAWINGS FOR SLAB LEVELS AND ARCHITECTURAL DETAILS.
4. DURING CONSTRUCTION THE BUILDER IS RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION WITHOUT OVERSTRESSING ANY PART.
5. COMPLY WITH AS 3660 PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES.
6. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

STORM WATER NOTES:

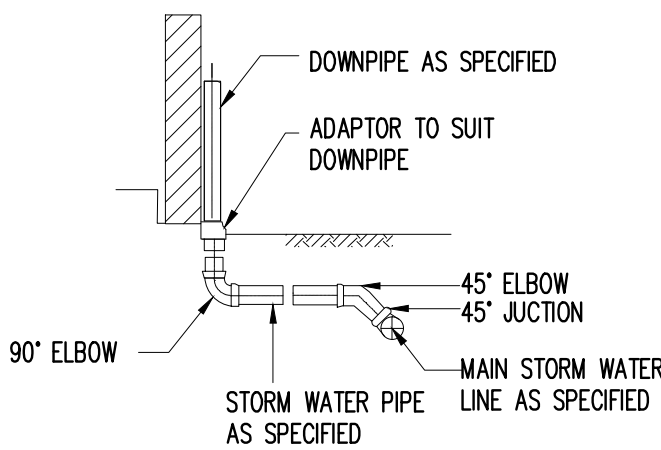
1. STORM WATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS AND COUNCIL'S SPECIFICATIONS.
2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
3. TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
4. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALIZED PONDING OF SURFACE RUN-OFF.
5. REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS, GRADING ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES AND LOCATIONS.
6. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
7. ALL SWT PIPES ARE UPVC AT 1.0% MINIMUM GRADE (UNO).
8. SWT PITS CAN BE PRE-CAST SIZED AS FOLLOWS:
450mm SQ. UP TO 600mm DEEP
600mm SQ. UP TO 1000mm DEEP
9. ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
10. PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP.
11. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.
12. TOPSOIL SHALL BE STRIPPED ON STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
13. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

RAINWATER TANK NOTES

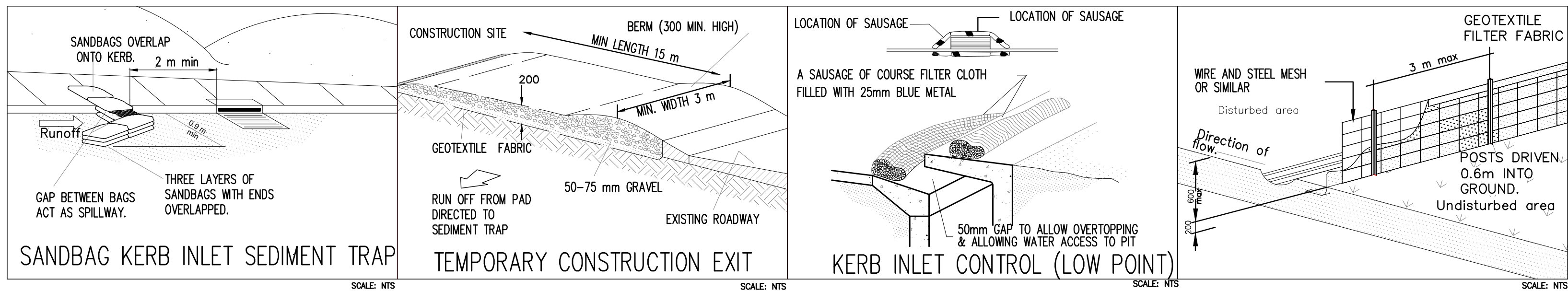
1. THE TANK IS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE TANK SHALL BE ENCLOSED AND ANY INLET TO THE TANK SHALL BE SCREENED OR FILTERED TO PREVENT THE ENTRY OF FOREIGN MATTERS OR CREATURES AND FITTED WITH MEASURES TO PREVENT MOSQUITO BREEDING.
2. THE RAIN TANK SHALL BE FITTED WITH A FIRST-FLUSH-DEVICE THAT CAUSES THE INITIAL RUN-OFF FROM ANY RAIN EVENT TO BYPASS THE TANK IN ORDER TO REDUCE THE POLLUTANTS ENTERING THE TANK.
3. A SIGN SHALL BE AFFIXED TO THE TANK CLEARLY STATING THAT THE WATER IN THE TANK IS RAINWATER AND ALL TAPS AND RAINWATER TANK APERTURES SHALL BE SIMILARLY MARKED.
4. DISTRIBUTION PIPES, BOTH BELOW AND ABOVE GROUND, FROM THE RAINWATER TANK SHALL BE CONTINUOUSLY MARKED "RAINWATER" IN ACCORDANCE WITH AS1345 OR OTHERWISE ABOVE-GROUND DISTRIBUTION PIPES SHALL BE CLEARLY LABELED "RAINWATER" WITH ADHESIVE PIPE MARKERS MADE IN ACCORDANCE WITH AS1345 AND BELOW-GROUND DISTRIBUTION PIPES SHALL HAVE IDENTIFICATION TAPE/PIPE SLEEVE CONTINUOUSLY MARKED "RAINWATER" IN ACCORDANCE WITH AS2648.
5. THE TANK SHALL COMPLY WITH AUSTRALIAN STANDARD AS/NZS 2179-1944-SPECIFICATIONS FOR RAIN WATER GOODS, ACCESSORIES AND FASTENERS.
6. IF THE TANK IS METAL IT SHALL COMPLY WITH AUSTRALIAN STANDARDS AS 2180-1986-METAL RAINWATER GOODS SELECTION AND INSTALLATION.

PUMP OUT NOTES

1. THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATIVELY SO AS TO ALLOW BOTH PUMPS TO HAVE EQUAL OPERATIONAL LOAD AND PUMP LIFE.
2. A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITH IN THE SUMP AREA. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS.
3. THE SECOND FLOAT SHALL BE PROVIDED 300MM ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE AND DRAIN THE TANK TO THE LEVEL OF THE LOW-LEVEL FLOAT.
4. A THIRD FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL WHICH IS APPROXIMATELY THE ROOF OF THE TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
5. AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP INCASE OF POWER FAILURE.

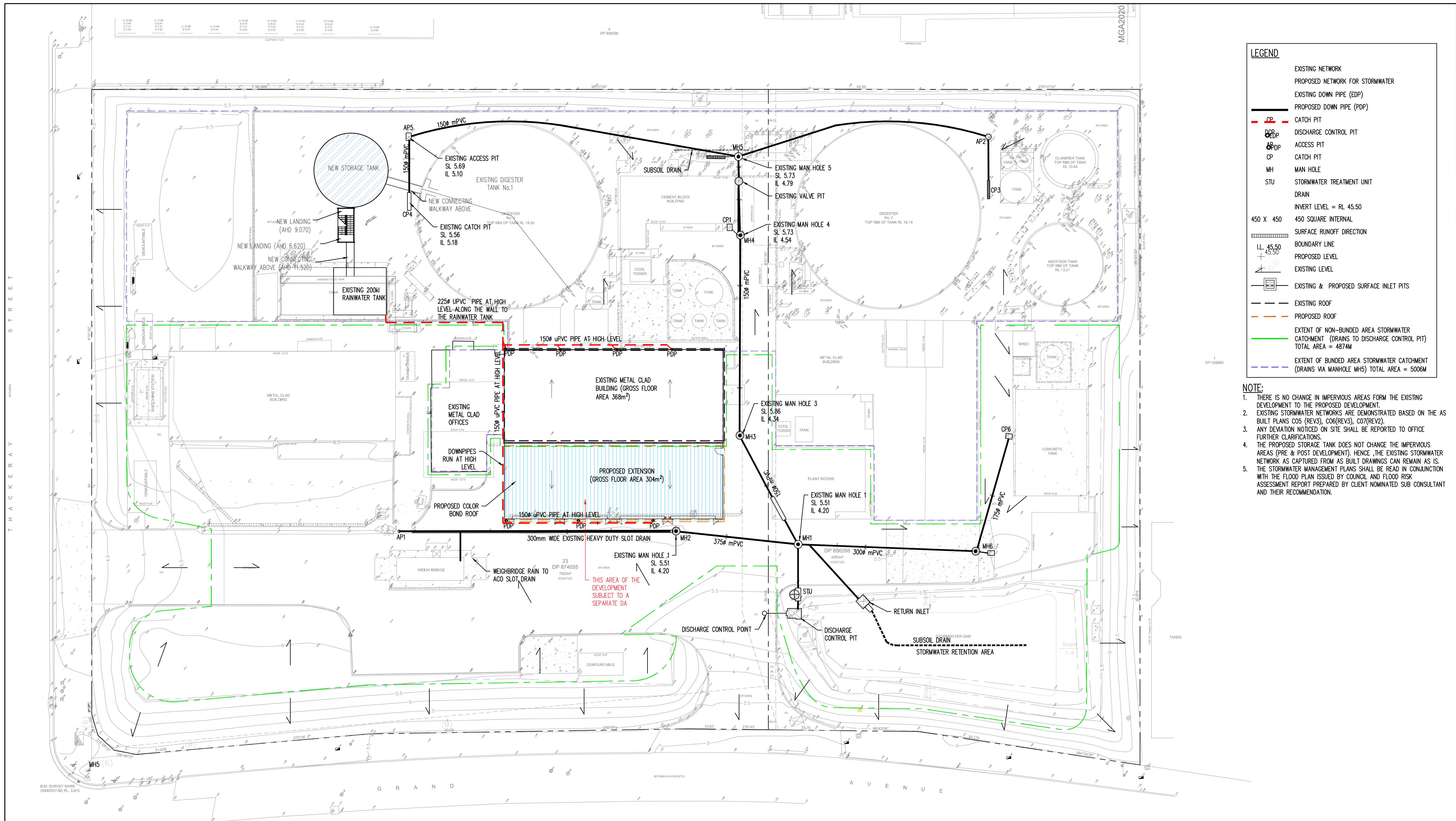


TYPICAL DETAIL- DOWN PIPE CONNECTION
SCALE N.T.S.



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FOR DEVELOPMENT APPLICATION								
EARTH POWER TECHNOLOGIES SYDNEY PTY LTD								
PROPOSED ADDITIONS & ALTERATIONS AT 2-8 THACKERAY STREET CAMELLIA, NSW 2142								
CONSTRUCTION NOTES								
DESIGNED	L.O	DRAFTED	S.G.	CHECKED	B.M	SIGNED	NOT VALID UNLESS SIGNED AND MARKED AS 'FOR CONSTRUCTION'.	
SHEET NO	SW01	SCALES	AS SHOWN	START DATE	31-01-2022	PLLOT DATE	23-03-2022	
SHEET SIZE	A1	DO NOT ATTEMPT TO SCALE FROM THESE DRAWINGS				PROJECT NO	J220009	

B	L.O	S.G	B.M	23-03-22	FOR DEVELOPMENT APPLICATION – PROPOSED STORAGE TANK			
A	L.O	S.G	B.M	03-02-22	FOR DEVELOPMENT APPLICATION			
REV	DESIGNED	DRAFTED	APPROVED	DATE	DESCRIPTION			



LEGEND

EXISTING NETWORK
PROPOSED NETWORK FOR STORMWATER
EXISTING DOWN PIPE (EDP)
PROPOSED DOWN PIPE (PDP)

CP CATCH PIT
DCP DISCHARGE CONTROL PIT
AP ACCESS PIT
CP CATCH PIT
MH MAN HOLE
STU STORMWATER TREATMENT UNIT
DRAIN

INVERT LEVEL = RL 45.50
450 X 450
450 SQUARE INTERNAL
SURFACE RUNOFF DIRECTION
BOUNDARY LINE
PROPOSED LEVEL
EXISTING LEVEL

EXISTING & PROPOSED SURFACE INLET PITS
EXISTING ROOF
PROPOSED ROOF

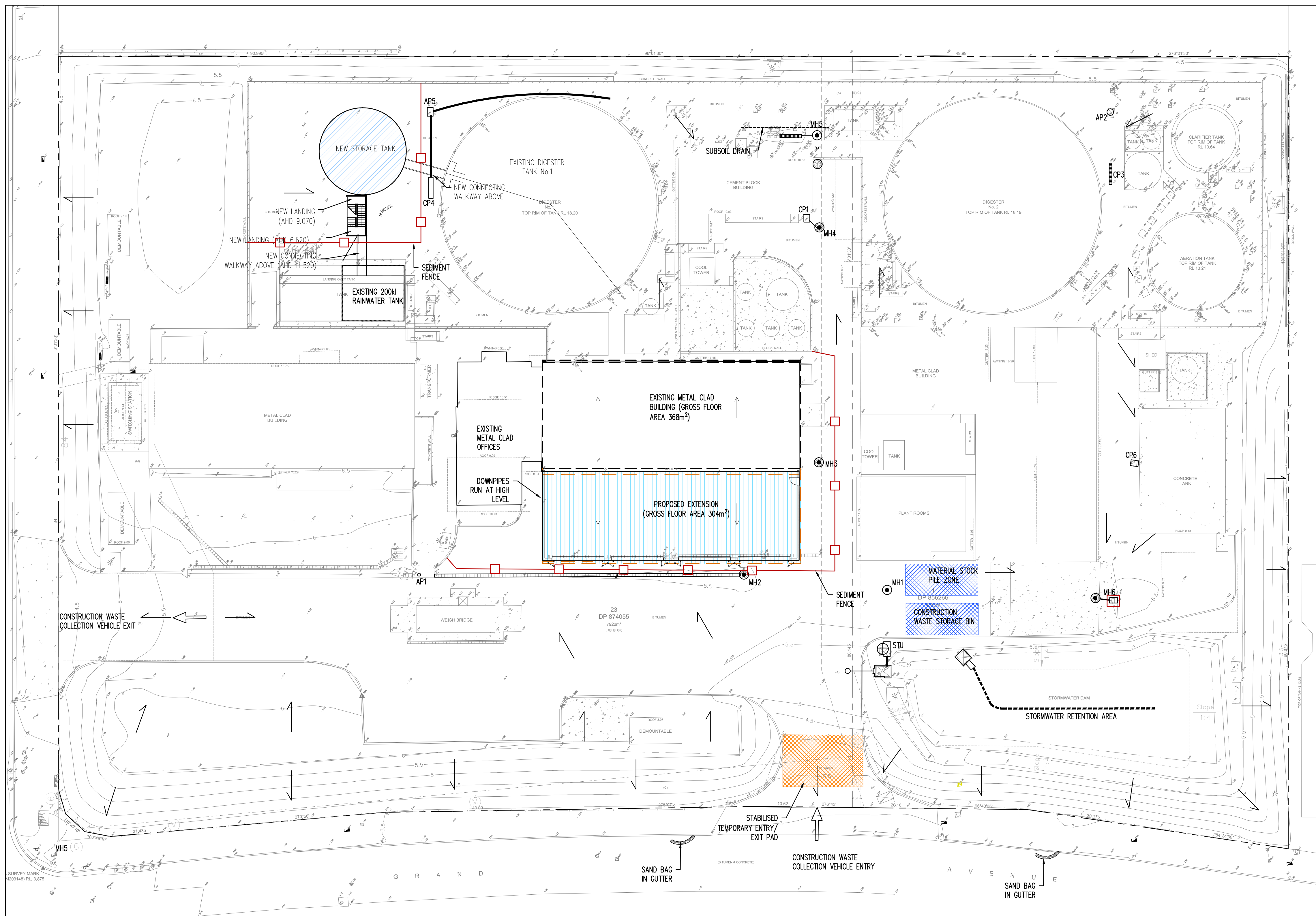
EXTENT OF NON-BUNDED AREA STORMWATER CATCHMENT (DRAINS TO DISCHARGE CONTROL PIT) TOTAL AREA = 4874M
EXTENT OF BUNDED AREA STORMWATER CATCHMENT (DRAINS VIA MANHOLE MH5) TOTAL AREA = 5006M

- NOTE:**
- THERE IS NO CHANGE IN IMPERVIOUS AREAS FORM THE EXISTING DEVELOPMENT TO THE PROPOSED DEVELOPMENT.
 - EXISTING STORMWATER NETWORKS ARE DEMONSTRATED BASED ON THE AS BUILT PLANS COS (REV3), CO6(REV3), CO7(REV2).
 - ANY DEVIATION NOTICED ON SITE SHALL BE REPORTED TO OFFICE FURTHER CLARIFICATIONS.
 - THE PROPOSED STORAGE TANK DOES NOT CHANGE THE IMPERVIOUS AREAS (PRE & POST DEVELOPMENT). HENCE ,THE EXISTING STORMWATER NETWORK AS CAPTURED FROM AS BUILT DRAWINGS CAN REMAIN AS IS.
 - THE STORMWATER MANAGEMENT PLANS SHALL BE READ IN CONJUNCTION WITH THE FLOOD PLAN ISSUED BY COUNCIL AND FLOOD RISK ASSESSMENT REPORT PREPARED BY CLIENT NOMINATED SUB CONSULTANT AND THEIR RECOMMENDATION.

STORMWATER MANAGEMENT SITE PLAN
SCALE 1:250

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PROJECT STATUS					
FOR DEVELOPMENT APPLICATION					
CLIENT					
EARTH POWER TECHNOLOGIES SYDNEY PTY LTD					
PROJECT ADDRESS					
PROPOSED ADDITIONS & ALTERATIONS AT 2-8 THACKERAY STREET CAMELLIA, NSW 2142					
SHEET INFO					
STORMWATER MANAGEMENT PLANS					
DESIGNED	L.O	DRAFTED	S.G.	CHECKED	B.M
SHEET NO	SW02	SCALES	AS SHOWN	START DATE	31-01-2022
SHEET SIZE	A1	DO NOT ATTEMPT TO SCALE FROM THESE DRAWINGS			PROJECT NO
					J220009

B	L.O	S.G	B.M	23-03-22	FOR DEVELOPMENT APPLICATION – PROPOSED STORAGE TANK
A	L.O	S.G	B.M	03-02-22	FOR DEVELOPMENT APPLICATION
REV	DESIGNED	DRAFTED	APPROVED	DATE	DESCRIPTION



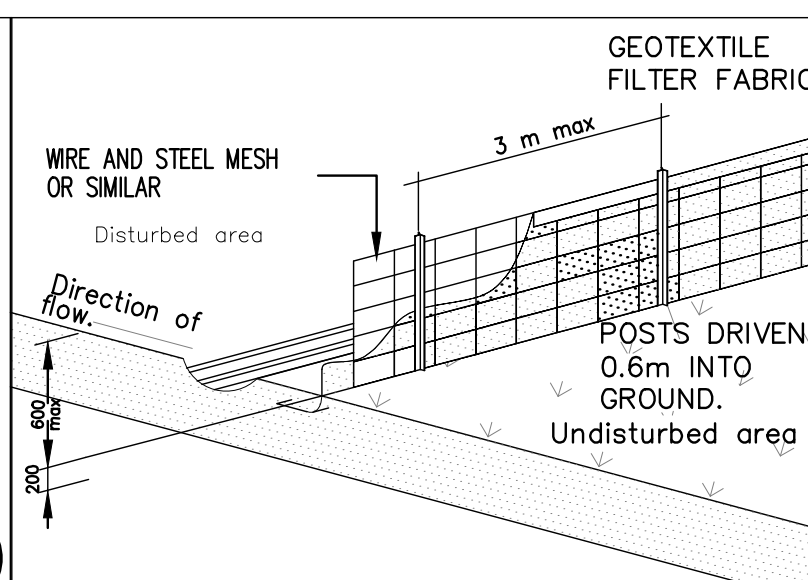
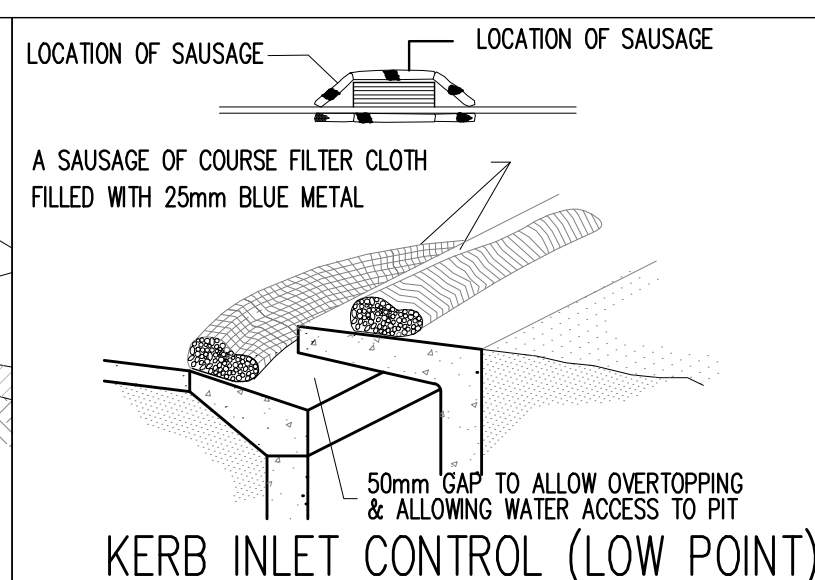
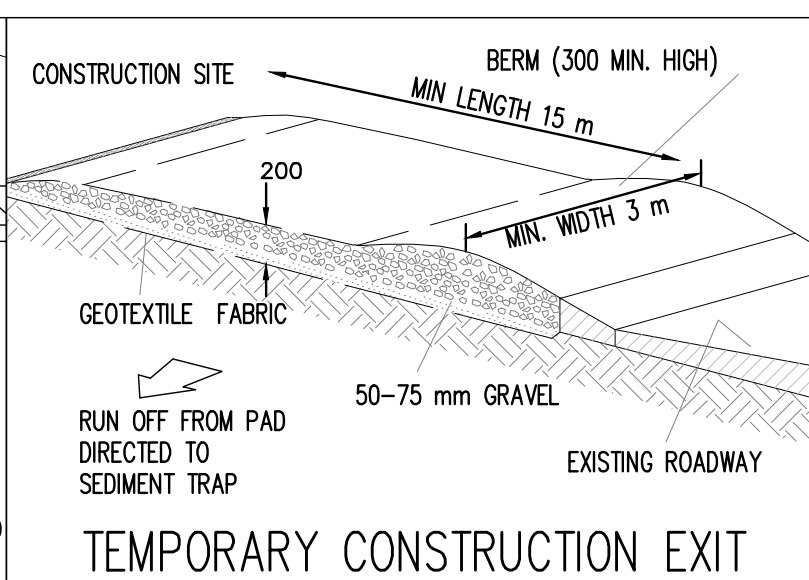
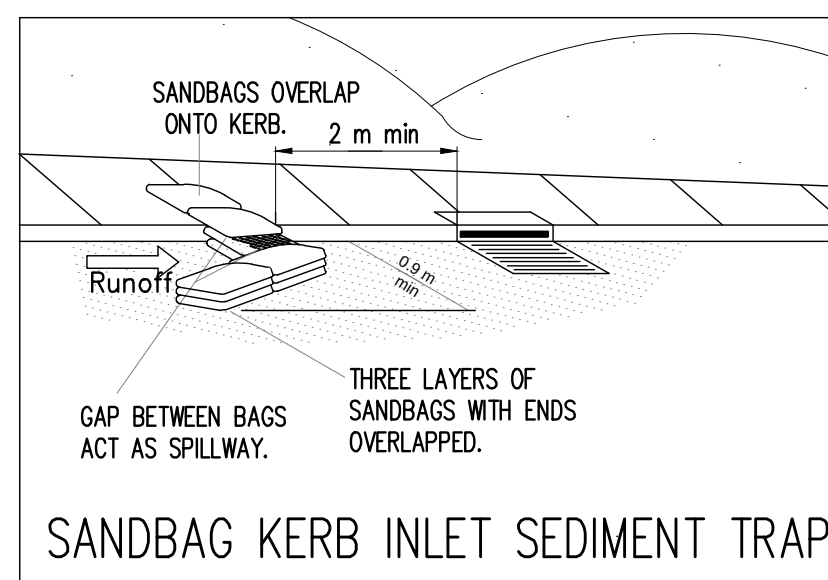
LEGEND	
	DRAIN
	INVERT LEVEL = RL 45.50
	450 SQUARE INTERNAL
	FALL DIRECTION
	BOUNDARY LINE
	SEDIMENT FENCE
	PROPOSED LEVEL
	EXISTING LEVEL
	PROPOSED SURFACE INLET PITS
	DROP INLET SEDIMENT TRAP
	SANDBAG SEDIMENT FILTERS
	STABILIZED SITE ACCESS

EROSION & SEDIMENT CONTROL NOTES

- THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL AND ENGINEERING PLANS AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED.
- THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS SHOWN ON THIS DRAWINGS.
- PROTECT ALL NEW PITS FROM SEDIMENT INFILTRATION PROGRESSIVELY, AS THEY ARE CONSTRUCTED.
- ALL DOWNSTREAM STORM WATER PITS ARE TO BE PROTECTED FROM SEDIMENT INFILTRATION DURING CONSTRUCTION.
- ALL SUB-CONTRACTORS ON SITE SHALL BE MADE AWARE OF OTHER RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO WATER COURSES AND WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO ACHIEVE, WORKS SHOULD BE CARRIED OUT AS FOLLOWS:
 - INSTALL ANY NECESSARY SECURITY/BOUNDARY FENCES FOR THE SITE
 - CONSTRUCT "SILT" FENCING AND DETAILED ALONG BOTH DOWNSLOPE BOUNDARIES
- DURING WINDY WEATHER LARGE UNPROTECTED AREAS SHALL BE KEPT MOIST BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- FINAL SITE LANDSCAPING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN TWENTY WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.
- SAND USED IN THE CONCRETE CURING PROCESS SHALL BE REMOVED ASAP, AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM, UNLESS IT IS RELATIVELY SEDIMENT-FREE.
- TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.
- THE CONTRACTOR SHALL PROVIDE ACCEPTABLE RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
- RECEPTORS FOR CONCRETE AND MORTARS SLURRIES, PAINTS, ACID WASHINGS LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- EVERY WEEK FOR THE DURATION OF WORKS THE CONTRACTOR SHOULD INSPECT THE SITE FOR THE FOLLOWING ITEMS:
 - ENSURE DRAINS OPERATE EFFECTIVELY, AND INITIATE REPAIR OR MAINTENANCE AS REQUIRED
 - REMOVE SPILLED SAND (OR OTHER MATERIALS) FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 2 METER FROM AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATER COURSES, OVERLAND FLOW PATHS, GUTTERS, PAVED AREAS, DRIVEWAY AND ROADS
 - CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT WORK IS NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS, I.E. MAKE ONGOING CHANGE TO THE PLAN.
- MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FUNCTION CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE REHABILITATED.
- REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS A LAST ACTIVITY IN THE REHABILITATION PROGRAMME.
- THE CONTRACTOR SHALL KEEP A LOG BOOK, MAKING ENTRIES AT LEAST WEEKLY, AND AFTER RAINFALL AND/OR SITE CLOSURE. RECORD:
 - THE VOLUME OF ANY RAINFALL EVENTS
 - THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS
 - REMEDIAL WORKS

EROSION & SEDIMENT CONTROL PLAN

SCALE 1:250

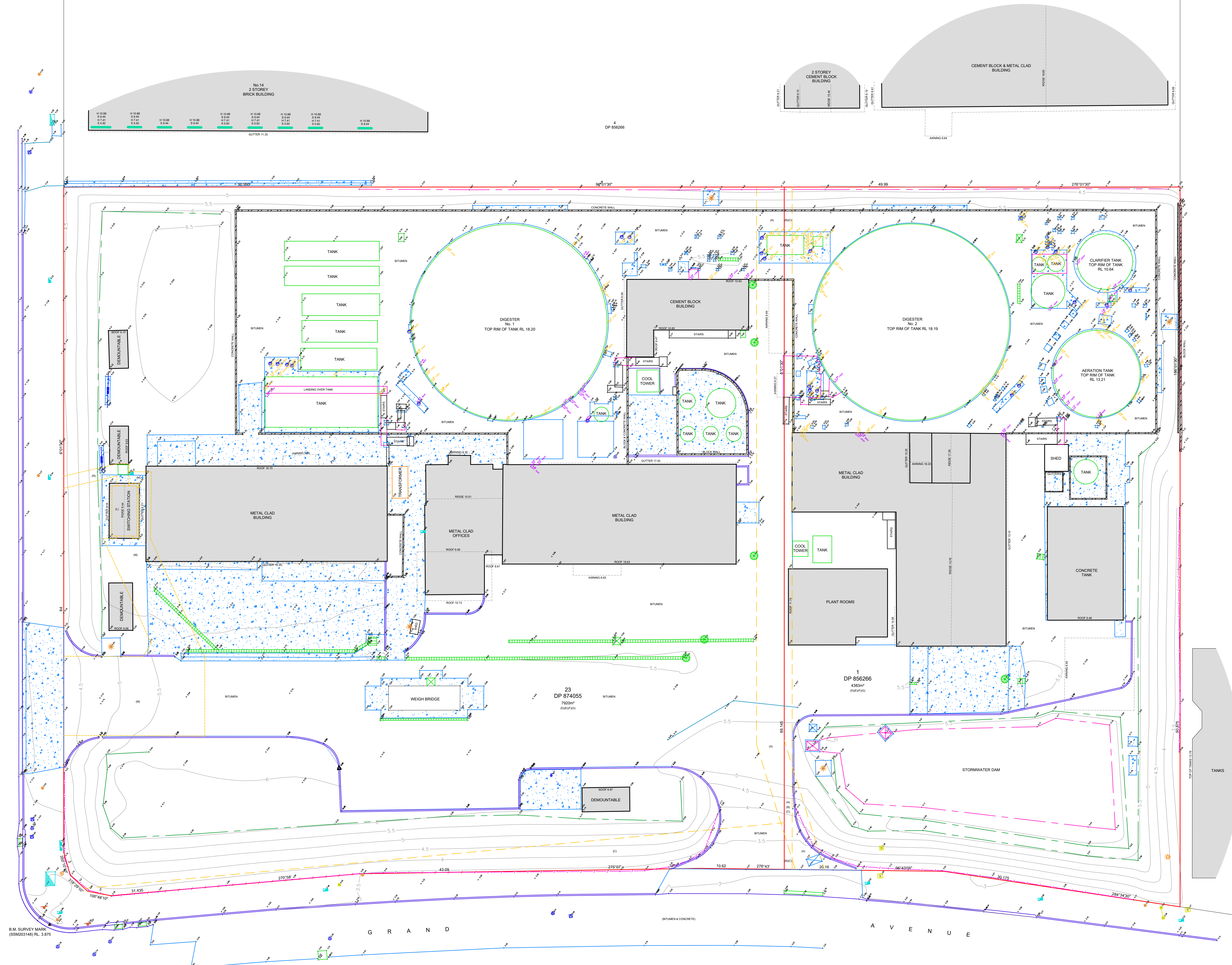


B	L.O	S.G	B.M	23-03-22
A	L.O	S.G	B.M	03-02-22

FOR DEVELOPMENT APPLICATION - PROPOSED STORAGE TANK
FOR DEVELOPMENT APPLICATION

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PROJECT STATUS					
FOR DEVELOPMENT APPLICATION					
CLIENT					
EARTH POWER TECHNOLOGIES SYDNEY PTY LTD					
PROJECT ADDRESS					
PROPOSED ADDITIONS & ALTERATIONS AT 2-8 THACKERAY STREET CAMELLIA, NSW 2142					
SHEET INFO					
EROSION & SEDIMENT CONTROL PLAN					
DESIGNED		DRAFTED		CHECKED	
L.O		S.G.		B.M	
SHEET NO		SCALES		START DATE	
SW04		AS SHOWN		31-01-2022	
SHEET SIZE				PLOT DATE	
A1		DO NOT ATTEMPT TO SCALE FROM THESE DRAWINGS		PROJECT NO	
				J220009	

THACKERAY STREET



NOTES:

- ONLY SERVICES WHICH WERE VISIBLE & ACCESSIBLE AT THE TIME OF THE SURVEY ARE SHOWN. FULL DETAILS OF SEWER AND OTHER SERVICES SHOULD BE OBTAINED FROM THE RELEVANT AUTHORITIES. UNDERGROUND SERVICES INFORMATION CAN BE OBTAINED FROM DIAL BEFORE YOU DIG (PH 1103) OR www.dialbeforeyoudig.com.au
- CONTOURS ARE APPROXIMATE ONLY. PREFERENCE TO BE GIVEN TO SPOT HEIGHTS.
- MAJOR TREES SHOWN ONLY.
- DIMENSIONS AND AREA ARE SUBJECT TO SURVEY.
- PROJECT CO-ORDINATES ARE MGA2020 (ZONE56)
- THIS PLAN HAS BEEN PREPARED FOR THE SOLE PURPOSE OF LOGGING A DEVELOPMENT APPLICATION WITH THE LOCAL COUNCIL. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS PERMISSION OF BOXALL SURVEYORS PTY LTD.

EASEMENTS & COVENANTS/RESTRICTIONS

(A) EASEMENT TO DRAIN WATER 3.5 WIDE (DP865098)
(B) EASEMENT FOR SERVICES 1 WIDE (DP865098)
(C) EASEMENT FOR HIGHWAY 1 WIDE AND VARIABLE (DP865141)
(D) RESTRICTION ON THE USE OF LAND (DP865098)
(E) RESTRICTION ON THE USE OF LAND (DP865141)
(F) RESTRICTION ON THE USE OF LAND (DP865098)
(G) RESTRICTION ON THE USE OF LAND (DP865141)
(H) POSITIVE COVENANT (DP865098)

PROPOSED EASEMENTS

(I) PROPOSED EASEMENT FOR INDOOR HIGH VOLTAGE SWITCHING STATION 3.15 WIDE (LIMITED IN HEIGHT) (DP115427)
(J) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (DP115427)
(K) PROPOSED EASEMENT FOR UNDERGROUND CABLES 1.5 WIDE (DP115427)
(L) PROPOSED EASEMENT FOR UNDERGROUND CABLES 1.5 WIDE (DP115427)

Detail Survey Certificate

I, Shawn LeClerc BEng (Geo) MSc of Boxall Surveyors, a surveyor registered under the Surveying and Spatial Information Act 2002, certify that the survey represented in this plan was made in accordance with Clause 10 of the Surveying and Spatial Information Regulation 2017 with regard to the location of the boundaries shown on this plan.

Signature: Dated: 13-May-21
Surveyor Identification No: 115
Surveyor registered under the Surveying and Spatial Information Act 2002

PRINT IN COLOUR

LEGEND:

- PUMP
- FIRE HYDRANT
- HYDRANT
- STOP VALVE
- WATER TAP
- WATER VALVE
- WATER METER
- DOWN PIPE
- CONCRETE LID
- MAN HOLE
- METAL LID
- GRATED DRAIN
- SEWER/SEPTIC IP
- SEWER MAN HOLE
- SEWER VENT
- ELECTRICAL CABLE MARKER
- ELECTRICAL PILLAR
- ELECTRICAL PIT
- ELECTRICAL BOX
- LIGHT POLE
- POWER POLE
- OPTICAL FIBRE MARKER
- FIBRE OPTICS BOX
- COMMS PIT
- COMMS PILLAR
- GAS MARKER
- GAS VALVE
- GAS METER
- TREE
- WINDOW
- HEAD OF WINDOW
- SILL OF WINDOW
- RUBBISH BIN
- BOLLARD
- POST BOX
- PARKING METER
- STREET SIGN
- TRAFFIC LIGHT
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL BOX
- BOUNDARY LINE
- BITUMEN LINE
- TOP OF BANK
- BOTTOM OF BANK
- CONCRETE LINE
- EASEMENT LINE
- FENCE LINE
- GARDEN
- PAVING LINE
- KEEL LINE
- STEEL LANDING
- ROCK
- ROOF LINE
- CONCRETE
- GRASS
- GRAVEL
- PAVERS
- ROCK
- STONE WALL
- APPROX. LINE OF UNDERGROUND SERVICES
- GAS
- ELECTRICITY
- OVER HEAD ELECTRICITY
- WATER
- STORM WATER
- SEWER
- COMMS
- IDENTIFIER RL OF TOP OF PIPE & OUTER DIAMETER
- IDENTIFIER RL OF BOTTOM OF PIPE & OUTER DIAMETER

CLIENT:
EARTHPOWER
ADDRESS:
No.35 GRAND AVENUE
CAMELIA
LOT 23 IN DP 874055 & LOT 1 IN DP 856266

boxall

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TITLE: PLAN SHOWING SITE DETAIL AND LEVELS		
REV	DATE	REVISION DETAILS

ORIGIN LEVELS: SSM 57349	RL 3.455
AZIMUTH: MGA20	DATUM: AHD
SURVEY: LC	DATE: 26.04.2021
DRAWN: LC	DATE: 13.05.2021
APPROVED: SL	DATE: 13.05.2021
SCALE: 1:250	SHEET 1 OF 1
DRAWING No: 11185-001	REV: ---
	SIZE: A1