

# STATEMENT OF HERITAGE IMPACT

## Proposed Demolition at 197 Church Street, Parramatta



Job No. 9219  
August 2021

**Heritage21**  
CULTURAL BUILT HERITAGE IN THE 21ST CENTURY

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### Acknowledgement of Country

Heritage 21 wishes to acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and community. We pay our respects to them and their cultures; and to elders both past and present.

Cover page: Subject site at 197 Church Street, Parramatta, from Macquarie Street looking to front façade. (Source: Heritage 21, 17.06.2021)

The following Table forms part of the quality management control undertaken by Heritage 21 regarding the monitoring of its intellectual property as issued.

Issue	Description	Date	Written by	Reviewed by	Issued by
1	Draft report (D1) issued for comment.	15.07.2021	SDA	AP	AP
2	Report issued (RI) for DA.	18.08.2021	-	-	AP

## 1.0 INTRODUCTION

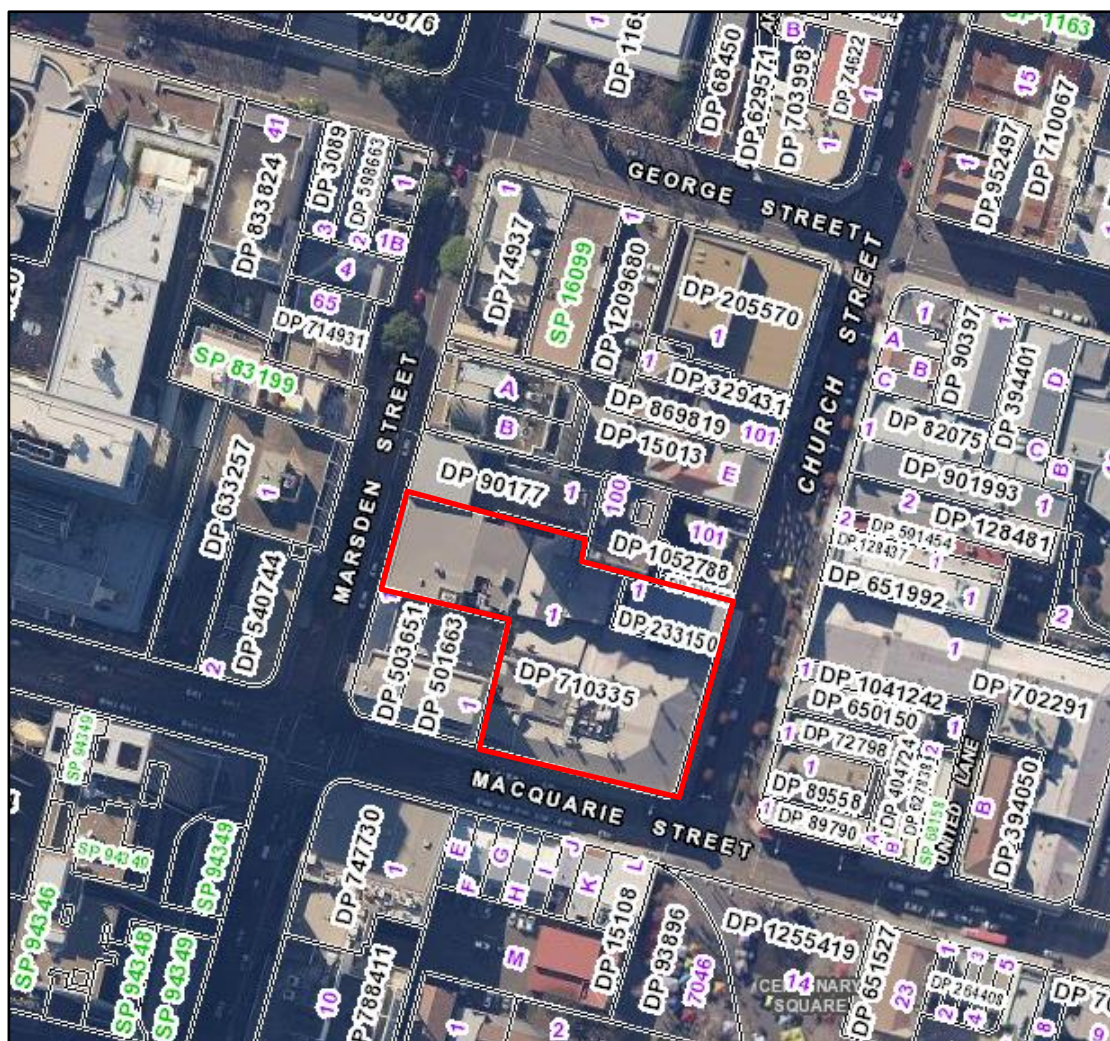
### 1.1 Background

This Statement of Heritage Impact ('SOHI' or 'report') has been prepared on behalf of Holdmark in the context of a development application for demolition on the site. This report has been prepared in conjunction with the Temporary Protection Plan prepared by Heritage 21 in July 2021 and with reference to the Fabric Analysis prepared by Heritage 21 in September 2015.

### 1.2 Site Identification

The subject site is located at 197 Church Street, Parramatta, which falls within the boundaries of the Parramatta Local Government Area (LGA) and it comprises Lot 1 DP 710335 and Lot 1 DP 233150. As depicted in Figure 1 below, the site is located on the western side of Church Street, at the north-western corner of Church and Macquarie Streets. The site comprises a double-storey Federation department store, a three-storey 1950s office building on Marsden Street and a three-storey office building on Church Street. The setting and topography of the site will be more fully described in Section 3.0 below.





**Figure 1.** Aerial view of the site, which is outlined in red (Source: NSW Land and Property Information, 'SIX Maps', n.d., <http://maps.six.nsw.gov.au/>, annotated by Heritage 21).

### 1.3 Heritage Context

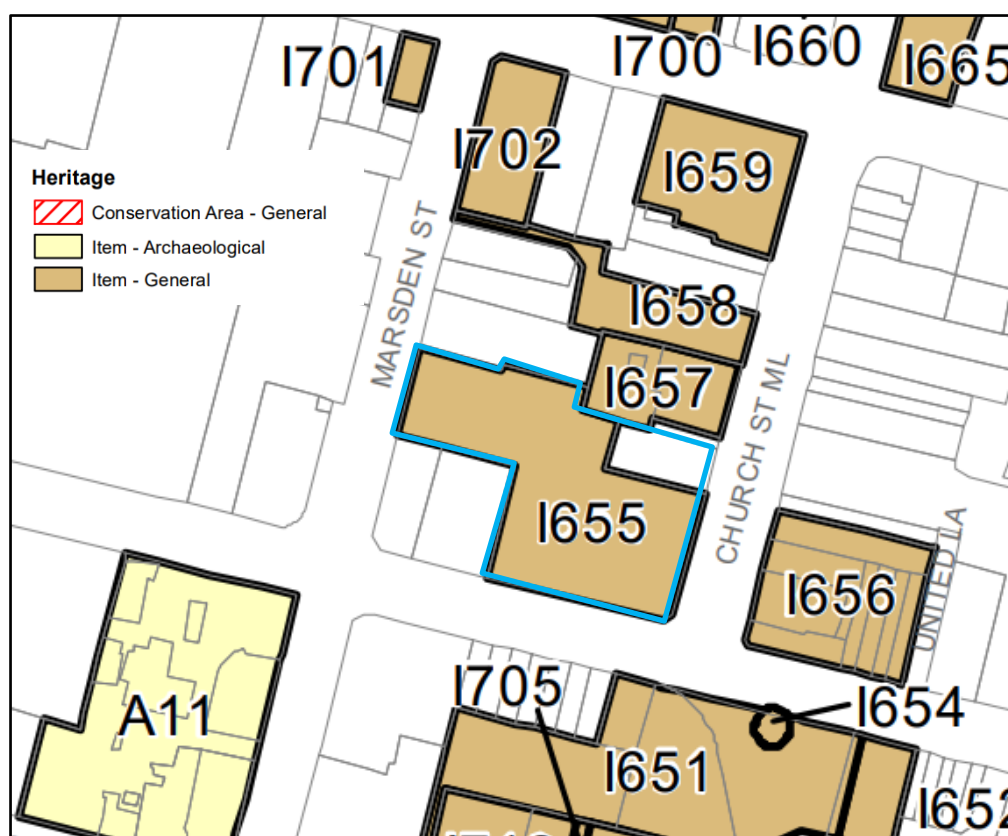
#### 1.3.1 Heritage Listings

The subject site is listed as an item of environmental heritage under Schedule 5 of the Parramatta Local Environmental Plan 2011 ('PLEP'). It is also listed on the National Trust Register (NSW). It is not listed on the NSW State Heritage Register, the National Heritage List, the Commonwealth Heritage List or the former Register of the National Estate.<sup>1</sup>

<sup>1</sup> The Register of the National Estate ceased as a statutory heritage list in 2007; however it continues to exist as an inventory of Australian heritage places.

The details of the listings follow:

Statutory List – Legislative Requirements				
List	Item Name	Address	Significance	Item No.
Parramatta Local Environmental Plan 2011	Shop (and potential archaeological site)	197 Church Street, Parramatta	Local	I655
Non-Statutory List – Information Only				
List	Item Name/ Description			Item No.
National Trust Register - National Trust NSW	Former Murray Bros Store			11086



**Figure 2.** Detail from Heritage map HER\_010. The site is outlined in blue, heritage items shaded brown (Source: NSW Legislation Online, <https://www.legislation.nsw.gov.au/maps>, annotated by Heritage 21).

The subject site **is not** located within the boundaries of a Heritage Conservation Area under the PLEP 2011.

### 1.3.2 Heritage Items in the Vicinity

As depicted in Figure 2 above, the subject site is situated within the general vicinity of the following heritage items listed under Schedule 5 of the PLEP 2011. The details of the listings follow:

Item/HCA Name	Address	Significance	Item Number
Telstra House (former post office) (and potential archaeological site)	211 Church Street (93–93a Marsden Street), Parramatta	Local	I657
Horse parapet facade (and potential archaeological site)	198–216 Church Street and 38–46 Macquarie Street, Parramatta	Local	I656
Bicentennial Square and adjoining buildings	188, 188R (part of Church Street road reserve) and 195A Church Street, 38 Hunter Street and 83 Macquarie Street, Parramatta	Local	I651
Centennial Memorial Clock	Bicentennial Square (opposite 196 Church Street), Parramatta	Local	I654
Murrays' Building (and potential archaeological site)	188 Church Street (south east corner), Parramatta	Local	I652
Archaeological site	134–140 Marsden Street, Parramatta	Local	A11
HMV (former Commonwealth Bank) (and potential archaeological site)	215 Church Street, Parramatta	Local	I658
Former courthouse wall and sandstone cellblock (and potential archaeological site)	223 and 235 Church Street, Parramatta	Local	I659
Woolpack Hotel (and potential archaeological site)	19 George Street, Parramatta	Local	I702
Marsdens Building (and potential archaeological site)	17 George Street, Parramatta	Local	I701

Among the above heritage items in the vicinity listed above, the subject site is adjacent to or within the visual catchment of I657, I656, I651, I654, I652, A11 and I701.

The proposed demolition of the site is not located within the visual catchment of heritage items I658, I659, I702 listed above and neither is it considered to be sufficiently proximate to those places to warrant discussion in the Heritage Impact Assessment contained in Section 6.0 of this SOHI. Accordingly, the discussion in Section 6.0 of this SOHI of the potential heritage impact of the proposal on heritage items in the vicinity is limited heritage items I657, I656, I651, I654, I652, A11 and I701.

#### 1.4 Purpose

The subject site is a heritage item and is located in the vicinity of heritage items all of which are listed under Schedule 5 of the PLEP 2011. Sections 5.10(4) and 5.10(5) of the PLEP 2011 require City of Parramatta Council to assess the potential heritage impact of non-exempt development, such as the proposed works (refer to Section 5.0), on the heritage significance of the abovementioned heritage items and, also, to assess the extent (whether negative, neutral or positive) to which the

proposal would impact the heritage significance of those heritage items. This assessment is carried out in Section 6.0 below.

Accordingly, this SOHI provides the necessary information for Council to make an assessment of the proposal on heritage grounds.

### 1.5 Methodology

The methodology used in this SOHI is consistent with *Statements of Heritage Impact* (1996) and *Assessing Heritage Significance* (2001) published by the Heritage Division of the NSW Office of Environment and Heritage and has been prepared in accordance with the principles contained in the most recent edition of *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* 2013 ('Burra Charter').

### 1.6 Authors

This Statement of Heritage Impact ('SOHI' or 'report') has been prepared by Siena Di Giovanni-Arundell, reviewed by Ankita Powale and overseen by Paul Rappoport, of Heritage 21, Heritage Consultants.

### 1.7 Limitations

- This SOHI is based upon an assessment of the heritage issues only and does not purport to have reviewed or in any way endorsed decisions or proposals of a planning or compliance nature. It is assumed that compliance with non-heritage aspects of Council's planning instruments, the BCA and any issues related to services, contamination, structural integrity, legal matters or any other non-heritage matter is assessed by others.
- This SOHI essentially relies on secondary sources. Primary research has not necessarily been included in this report, other than the general assessment of the physical evidence on site.
- It is beyond the scope of this report to address Indigenous associations with the subject site.
- It is beyond the scope of this report to locate or assess potential or known archaeological sub-surface deposits on the subject site or elsewhere.
- It is beyond the scope of this report to assess items of movable heritage.
- Heritage 21 has only assessed aspects of the subject site that were visually apparent and not blocked or closed or to which access was not given or was barred, obstructed or unsafe on the day of the arranged inspection.

### 1.8 Copyright

Heritage 21 holds copyright for this report. Any reference to or copying of the report or information contained in it must be referenced and acknowledged, stating the full name and date of the report as well as Heritage 21's authorship.



## 2.0 HISTORICAL CONTEXT

### 2.1 Local History

#### 2.1.1 Aboriginal History

Prior to European settlement, Parramatta formed part of the land used by the Darug Community. The area was known to the Darug as Burramatta ("Burra" meaning eel and "matta" meaning creek).

The Darug people who lived in the area were called the Burramattagal. The Darug people were believed to have lived in community groups of around 50 people, hunting native animals and collecting berries and flora. They would have also fished in the river, from bark canoes, supplementing their diet with fish and eels.

After the arrival of the Europeans, the Aboriginal population quickly diminished as a direct result of violent clashes between the two groups and the devastating effect of smallpox on the community.

On first arrival in the area the Europeans referred to Parramatta as Rose Hill. However, Governor Phillip officially declared the name of the area to be Parramatta on 4 June 1791.<sup>2</sup>



**Figure 3.** Painting by Edward Dayes (1763-1804) of the Parramatta River (source: National Library of Australia. Picture Number: 2716983)

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<sup>2</sup> *Aboriginal and Torres Strait Islanders*, City of Parramatta, <https://www.cityofparramatta.nsw.gov.au/community/aboriginal-and-torres-strait-islanders>.

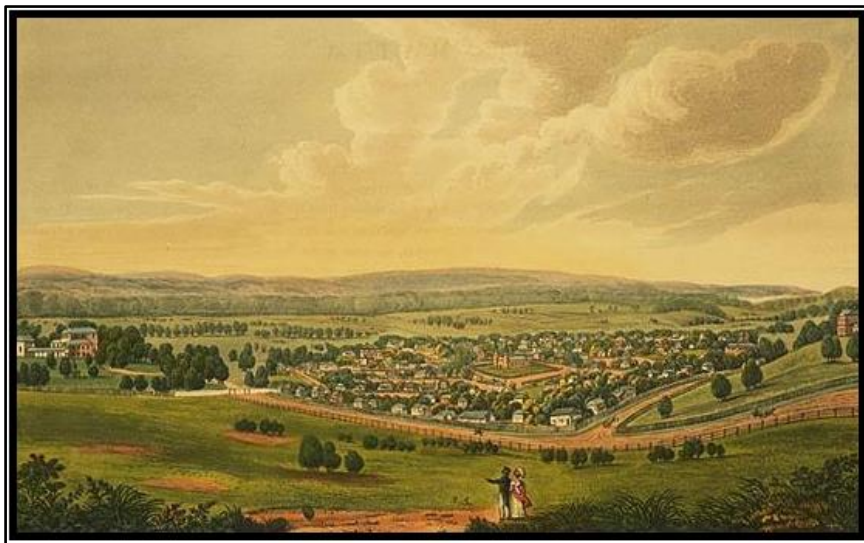
### 2.1.2 European History of Parramatta

Exploration of the Parramatta region occurred in April 1788. Governor Phillip was keen to establish farming regions to feed the fledgling colony<sup>3</sup> and the junction of the Parramatta and Duck rivers was found to have the fertile soil suitable for Phillips farming requirements. Returning in November of the same year, Phillip named the area Rose Hill after the Secretary to British Treasury, George Rose. The area proved to be suitable for agricultural purposes with the first successful harvest occurring in 1789.<sup>4</sup>

Watkin Tench records the establishment of Parramatta as follows:<sup>5</sup>

*A new settlement, named by the governor Rose Hill, sixteen miles inland, established on 3<sup>rd</sup> November, the soil here being judged better than that around Sydney. A small redoubt was thrown up and a captain's detachment posted in it to protect the convicts who were employed to cultivate the ground*

Whilst being located approximately 23 Kilometres west of Sydney it was relatively easy for the early colonist to reach by river. A road between the two settlements was cut in the 1790s and the township began to flourish. By 1792, 1,970 people lived at Parramatta while 1,170 resided in Sydney.<sup>6</sup> However, the settlement of Sydney soon overtook Parramatta mainly due to it being the principal port for new arrivals and goods.



**Figure 4.** Parramatta c.1820 by Joseph Lycett. (Source: [www.lancers.org.au](http://www.lancers.org.au)).

Work soon started on a house for the governor and plans of the township were laid out. Many of these streets survive today. Services such as a ferry between Sydney and Parramatta were established in 1793. The town plan was expanded in 1811 by Governor Macquarie, using the

<sup>4</sup> *Lancer Barracks History*, The Royal New South Wales Lancers, [https://www.lancers.org.au/site/Lancer\\_Barracks\\_Detailed\\_History.php](https://www.lancers.org.au/site/Lancer_Barracks_Detailed_History.php).

<sup>5</sup> Watkin Tench, *A Complete Account of the Settlement at Port Jackson In New South Wales*, 1793.

<sup>6</sup> [http://www.heritage.nsw.gov.au/heritagensw/aug98/3\\_art.htm](http://www.heritage.nsw.gov.au/heritagensw/aug98/3_art.htm)

surveying skills of James Meehan.<sup>7</sup> Macquarie was famously fond of Parramatta, preferring to reside in the clean country air rather than the city of Sydney. Macquarie and his wife made extensive changes to Old Government house which had been started by Governor John Hunter in 1799.<sup>8</sup>



**Figure 5.** 1805 painting of Governors House (National Archive of Australia Image No. C4076, HN5404)

Whilst the river continued to serve the Parramatta region as an effective means of transportation for both goods and people, other services and transport methods appeared including stagecoach in the 1820s, railway in the 1850s and the motor vehicle in the 1920s.

## 2.2 Site Specific History

The information and images in this section have been partially extracted from the report *197 Church Street, Parramatta; Initial Historical Archaeological Assessment*, by Godden Mackay Logan, dated June 2012, prepared for Holdmark NSW (henceforth 'the GML report') and the Fabric Analysis prepared by Heritage 21 dated September 2015.

The historical development of the site is divided into four phases as described below.

### 2.2.1 Phase 1 : 1788-1823

This area was part of the earliest-developed section of Parramatta and is associated with convict settlement. The naval officer Watkin Tench, writing in the 1790s, refers to what might be Church Street as the site of houses for unmarried female convicts (see Figure 6). In the early 1800s the arrangement of lots was altered (see Figure 7) and then remained stable until late in the century.

The 1822 plan (see Figure 8) shows the first State School in Australia, opened in 1810, as a rectangular building on the corner lot, which replaced the convict hut on the site.

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<sup>7</sup> *Lancer Barracks History*, The Royal New South Wales Lancers, [https://www.lancers.org.au/site/Lancer\\_Barracks\\_Detailed\\_History.php](https://www.lancers.org.au/site/Lancer_Barracks_Detailed_History.php).

<sup>8</sup> *History of Old Government House*, Old Government House, <http://www.oldgovernmenthouse.com.au>.

### 2.2.2 Phase 2 : 1823-1858

An 1844 plan (see Figure 9) shows an addition to the school, which became a Church of England Denominational School; in March 1858 the land was officially granted to the Bishop of Sydney. The school was demolished in the same year and a new sandstone school built by James Houison and Nathaniel Payton (see Figure 9).

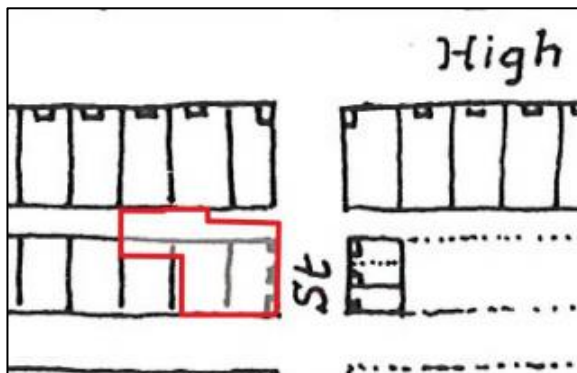
The same allotment and structure directly west of the school shown in the 1820s plans are still shown on the 1844 plan (Figure 9). It shows the land as leased to Mr Thorn and owned by H Harvey.

### 2.2.3 Phase 3 : 1858-1925

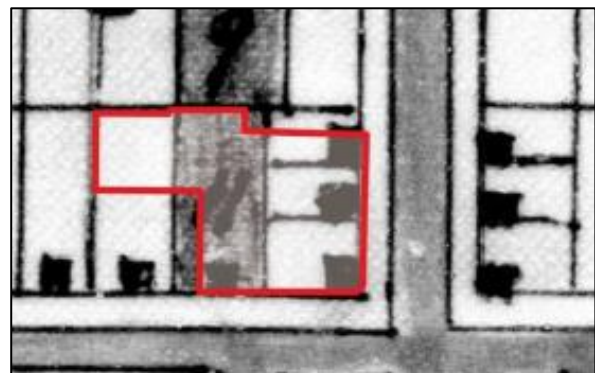
The primary school occupying the sandstone building became a secondary school, St John's Grammar School, in the 1880s; this closed in 1900 and the building was demolished in 1924-25.

The compound north of the school at 209 Church Street is shown on the 1859 plan (Figure 10).

This plan shows only three buildings on this allotment, suggesting some structures had been demolished by this stage. This land was re-subdivided in the 1870s (Figure 12 and Figure 13), with the Australian Joint Stock (AJS) Bank constructed on the southern portion. A post and telegraph office was constructed on the northern portion in 1878–1880; this building is still standing. The *Sands Directory of Sydney & Suburbs* for 1915 refers to the bank at this location as the Government Savings Bank.



**Figure 6.** Excerpt from 1792 Plan of Parramatta with subject site outlined in red, showing lots along present-day Macquarie St. High Street later became George Street. (Source: GML report, annotated by Heritage 21).



**Figure 7.** Excerpt from 1804 Plan of Parramatta showing reconfigured lots and outline of subject site. (Source: GML report, annotated by Heritage 21).

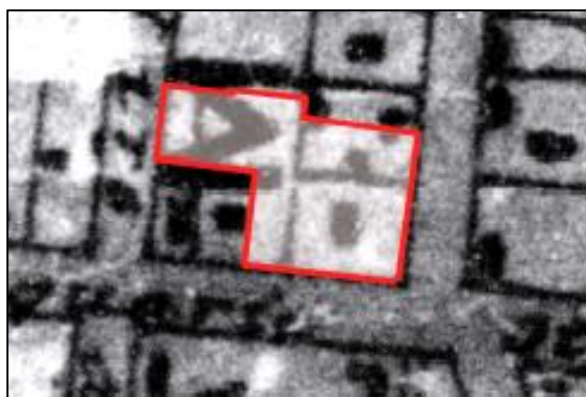




**Figure 8.** Excerpt from 1822 Plan of Parramatta with site outlined in red and school shown on corner lot. Hatching indicates land set aside for administrative purposes. (Source: GML report, annotated by Heritage 21).



**Figure 9.** Excerpt from 1844 Plan of Parramatta with subject site outlined in red and corner lot as 'School Land'. (Source: GML report, annotated by Heritage 21).



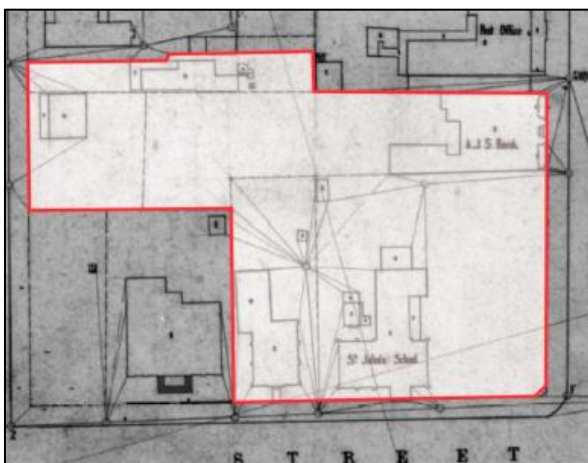
**Figure 10.** Excerpt from 1859 subdivision plan with subject site outlined in red and new school in centre of corner lot. (Source: GML report, annotated by Heritage 21).



**Figure 11.** St John's School on corner lot of subject site, 1870. (Source: GML report).



**Figure 12.** Excerpt from 1883 plan showing subject site outlined in red, and the school, the Primitive Methodist Church, the AJS Bank and the Post Office. (Source: GML report, annotated by Heritage 21).



**Figure 13.** Excerpt from 1894 Sydney Water plan showing subject site outlined in red with St John's School, Methodist church to west and AJS Bank to north. (Source: GML report, annotated by Heritage 21).

In this period the allotment on Macquarie Street directly west of the school became the site of the Primitive Methodist Church, which vacated the building in 1900. After this the building became the Manchester Unity Hall and the home of the Salvation Army Barracks. The property was purchased by William Richard Murray of Murray Brothers in 1918.

The land fronting Marsden Street was subdivided in the later nineteenth century and sold as three allotments. The 1894 plan (Figure 13) shows buildings on two of these within the subject site. Part of one lot was sold to the AJS bank to extend the rear of its property and the remainder to Dr R.A.P. Waugh in 1910-11, who built a large house on the site called 'Caerleon'.

#### 2.2.4 Phase 4: 1925 - Present

By 1925 both St John's Grammar School and the Primitive Methodist Church had been demolished and the lots purchased by Murray Brothers, who erected a department store, opening in 1926.

The site of AJS bank was owned by the Bank of New South Wales in the 1930s, and sold in 1932 to Theodore Peter Manollaras. In 1950 it was sold to Murray Brothers (Parramatta) Pty Limited.

Dr Waugh's house 'Caerlon' was still standing in 1943. This land was purchased in 1950 by Murray Brothers, who built on it a large addition to their department store. Murray Brothers operated from this combined site until 1979 when the property was sold to Norman Ross (Properties) Limited. From this time on, the premises were leased to various owners including NSW Building Society Limited. The property was sold to Public Authorities Superannuation Board in 1984. The current owner of the property is Holdmark Properties Pty Limited.

Buildings associated with these historical phases may be represented as in Figure 14.



Figure 14. Locations of buildings associated with historical phases. Key: Orange: phase 1. Purple: phase 2. Green: phase 3. Grey: no archaeological potential. (Source: GML report).

### 2.2.5 The Murray Brothers store

On 29 April 1876, E.N Murray opened a small hardware business in Church Street and in 1877 his brother W.R Murray acquired a general store next door. Their combined business thrived and they opened a shop on the opposite side of Church Street.

In 1884 the brothers joined forces and formed what would become one of Parramatta's best known businesses, Murray Brothers. A furniture section was added to the other branches of the business which included selling pianos & organs, the manufacture of clothes and even the production of their own jams. Murray Brothers purchased the 'Woollen Mill' from the French family in 1887 for 2000 pounds and operated it under the name of 'Parramatta Woollen Mill'.

In 1889, 'a towering new edifice arose', at a cost of 10,000 pounds, on the site of the Murray Bros store, signalling the arrival of the town's first shopping emporium. A range of household items was sold including furniture and furnishings, crockery, pianos, organs, clothes and jams. In the 1890s Murray Brothers received a Certificate of Merit for colonial made furniture from the Royal Agriculture Society.

During 1903 Murray Brothers was divided into two companies, Murray Bros Ltd and Murray's Limited, maintaining separate but adjacent businesses. Drapery and furniture was under the control of Murray Brothers and the hardware section under the control of Murray's Limited. In 1923 fire gutted the furniture factory at the rear of Church Street.

Two new stores were built in 1926. A Murray Bros store was built on the north-west corner of Church and Macquarie Streets, that is, on the subject site, and a Murray's Ltd hardware store on the northern side of the Town Hall facing Macquarie Street.<sup>9</sup>

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<sup>9</sup> Parramatta Heritage Centre, <http://arc.parracity.nsw.gov.au/blog/2014/05/11/murray-brothers-part-1/#more-526> and <http://arc.parracity.nsw.gov.au/blog/2014/06/02/murray-brothers-part-2/#more-525>, accessed 25/2/15





Figure 15. Murray Bros. New Store Nearing Complete, Evening News, 25 February 1926 (Source: National Library of Australia, <http://nla.gov.au/nla.news-article126131538>).

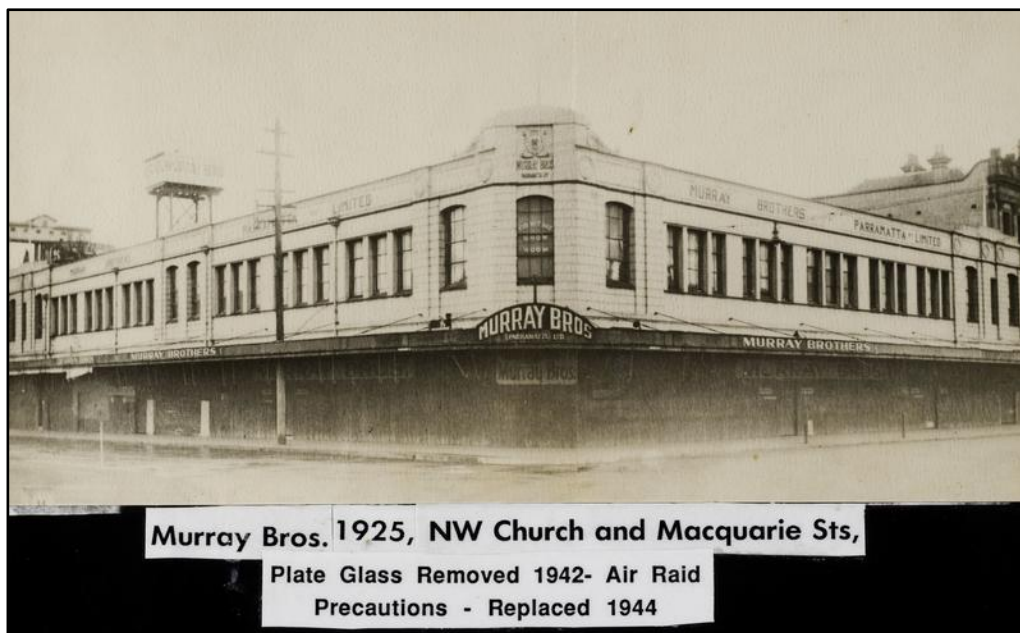
The subject building was opened on the jubilee of the Murray Bros company, in March 1926, indicating a new period of development for Parramatta. Sir William Vicara opened the new building<sup>10</sup> which cost 40 000 pounds to construct.<sup>11</sup>



Figure 16. Photograph of Murrays Building. Indicates original windows, and awning. The signage to the awning reads 'Sydney Steel Co Ltd' It is therefore likely that image was taken c.1926 before the installation of the Murrays Bros signage (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/28773/murray-bros-building-with-a-removal-sale-banner-in-main-entrance>).

<sup>10</sup> Parramatta's Progress, New Building Opened, Murray Bros., LTD, the Sydney Morning Herald, 20 March 1926, National Library of Australia, <http://nla.gov.au/nla.news-page1215996>

<sup>11</sup> Marking its Jubilee, Evening News, 19 March 1926, National Library of Australia, <http://nla.gov.au/nla.news-article117283451>



**Figure 17.** Photograph of Murray Bros building, 1925. Note the windows, and original awning. Annotations suggest that the glass was removed in 1942 and replaced in 1944 as an air raid precaution (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/8576/murray-brothers-department-store-north-west-corner-of-church-and-macquarie-streets-parramatta-view-of-exterior-of-two-storey-building-1925>).

The new building was of brick construction with cement. The new building had a floor space of 24000 square feet on the ground floor, and 17000 square feet on the top floor. The ground floor featured polished jarrah wood parquet flooring and battleship linoleum. The interior was finished throughout in polished Queensland maple with a marble double staircase leading to the first floor. The first floor was allocated for furniture showrooms, with a 350 feet run of shop display windows fronting Church and Macquarie Streets. The windows throughout were steel. The ceilings were provided by Wunderlich; the interior shop fittings by Bray and Holliday; the steel windows by St Crittal's LTD; the steelwork by Sydney Steel Co Ltd; the bricks by Goodlet and Smith Ltd and the shopfronts by Smith and Clark Ltd. The builders were Messrs. R. Wall and Sons and the building was designed by Messrs. Pitt and Morrow Architects.<sup>12</sup>

<sup>12</sup> Leaders of Commerce in Parramatta, 22 November 1925, Sunday Times, <http://nla.gov.au/nla.news-article128162846>.



**Figure 18.** Architect's sketch of the subject building, Leaders of Commerce in Parramatta, 22 November 1925, Sunday Times (Source: National Library of Australia, <http://nla.gov.au/nla.news-article128162846>).



**Figure 19.** Photograph of the intersection of Church Street and Macquarie Street with the Murray Bros building on the left, c.1930s (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/8129/church-street-parramatta-view-of-intersection-with-macquarie-street-looking-north-ca-1930s>).

The original layout of the building included a sundae shop, provisions for large shops, dental surgeries, waiting and work rooms and a photographic studio.<sup>13</sup>

<sup>13</sup> Ibid.





**Figure 20.** Advertisement of Murray Bros., Souvenir Commemorating the 23rd anniversary of Anzac, and the 150th anniversary of the discovery of Parramatta. Note the sketch of the primary façade of the subject site. (Source: National Library of Australia, <https://nla.gov.au/nla.obj-4791667>).

Over the following years, the building underwent several changes as evidenced in historical photos. The original windows were replaced, the openings widened, the original awning was altered and the signage was replaced.



**Figure 21.** Murrays Bros. Building decorated with royal guards and flags, undated. Note the changes in the awnings, signage and windows (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/28774/murray-bros-building-decorated-with-royal-guards-and-flags>)



**Figure 22.** Murrays Bros. building decorated for 90 years anniversary. Note the original awning and windows. The signage appears to be different. C.1960s (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/28777/murray-bros-building-with-decoration-for-their-90-years-anniversary-nighth-lights>).



**Figure 23.** Murrays Bros. building with decoration for 100 years of service. C.1970s. Note the non-original signage and adjacent buildings. (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/28779/murray-bros-building-with-decoration-for-their-100-years-of-service-aniversary-street-flooded>).

In 1953, tenders were called for alterations and additions to the building.<sup>14</sup>



**Figure 24.** View of Murray Bros building from the Administration Building, 1968. Note the original roof form. The subject building is indicated by the red arrow (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/42145/view-of-macquarie-street-parramatta-from-the-administration-building, annotated by Heritage 21>).

<sup>14</sup> Small Contracts, *Construction*, 26 August 1953, <http://nla.gov.au/nla.news-article222898287>.





**Figure 25.** Murray Brothers Building, undated. Note the 'signage on the Marsden Street façade n.d. (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/27058/murray-brothers-bros-building-corner-church-and-macquarie-streets>).



**Figure 26.** View of Marsden Street looking west. The subject building is visible. Note the changes to the awning, signage and colour scheme. There appears to be under awning lighting that is no longer extant (Source: City of Parramatta Archives, <https://heritagecentre.cityofparramatta.nsw.gov.au/objects/28534/view-of-marsden-street-looking-west-white-horse-building-and-murray-bros-are-in-right-side>).

In August 1958, Murray Brothers constructed a four-storey addition to the rear of the main store with a frontage to Marsden Street. The extension was built on land purchased from the Church of England for 250,000 pounds in May 1954.

Murray Brothers operated from this combined site until 1979 when the property was sold to Norman Ross (Properties) Limited. From this time on, the premises were leased to various owners including NSW Building Society Limited. The property was sold to Public Authorities Superannuation Board in 1984. The current owner of the property is Holdmark Properties Pty Limited.

Murray Brothers became Parramatta's oldest and highly respected department store with a policy of supplying the needs of residents in and around Parramatta. In 1978, Murray Brothers closed their doors, after 102 years of trading in Parramatta.<sup>15</sup>



**Figure 27.** Facade of Murray Bros. (Parramatta), drapers, wine and spirit merchants, 26 Oct 1964. (Source: Fraser, Curly, State Library of NSW collections, Call Number Australian Photographic Agency – 17704)

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<sup>15</sup> Parramatta Heritage Centre, <http://arc.parracity.nsw.gov.au/blog/2014/05/11/murray-brothers-part-1/#more-526> and <http://arc.parracity.nsw.gov.au/blog/2014/06/02/murray-brothers-part-2/#more-525>, accessed 25/2/15

### 3.0 PHYSICAL EVIDENCE

#### 3.1 The Setting

The site is located at 197 Church Street, Parramatta, within the Parramatta city centre. It occupies a corner lot, at the intersection of Church Street and Macquarie Street. Church Street is a main street in the city centre, extending from Darling Mills Creek on the north to the Western Motorway on the south. It is currently undergoing major works with the addition of a light rail service.

#### 3.2 Physical Description

The building is a two storey Inter-War Stripped Classical style store of cement stuccoed brickwork. Rendered brick walls have decorative stringline and parapet above entablature and splayed entrance. Memorial stone inscribed in parapet reads: 'Murray Bros. Parramatta Ltd.' with paterae decoration either side of the memorial and above the entrance. The first floor is composed of regular bays within which are set multi-paned non-original steel framed windows creating repetition as long the facades. The ground floor is composed of contemporary glass shopfronts set within the original structural grid. A main entrance has been added at the building corner (formerly two separate entries, one on each façade).

The street awning is an original feature of the building and extends on the Church and Macquarie Street frontages providing shelter to pedestrians. The awning is composed of a metal fascia with pressed metal undersides and metal sheet roofing, draining back towards the building. The structure is mostly concealed although near the corner painted timber beams are visible. On the Church Street frontage a balcony level has been added above the awning accessible from the first floor.

The interior of the building contains two floors. The lower floor is composed of a number of different sized tenancies with direct access from Church and Macquarie Streets, and service corridors and areas near the centre and rear of the floor. At the street intersection is a double height internal foyer with a lift, staircase and escalator to the first floor which has one large tenancy to the west and a smaller tenancy to the east, separated by a corridor running to the northern wall of the building, and then west, providing access to service areas.

Interior areas are all fit out in contemporary floor, wall and ceiling finishes. Some original fabric is observed in the limited number of small square section columns found in some areas of the ground and first floor tenancies.

#### 3.3 Views

The subject site is a readily visible item within the Church Street, Macquarie Street and Marsden Street streetscapes. As depicted in Figure 2 above, the primary view lines to the primary elevation of the site are made from items I656, I652, and I654. The proposed works would be visible from this perspective and would alter views from the site to those places.

The secondary view lines into the rear and side elevations of the site are made from heritage items I657, A11, I701. These secondary view lines would be affected by the proposal.

Accordingly, the impact of the proposal on these places is discussed in the Heritage Impact Assessment below.

### 3.4 Images

The following photographs have been taken by Heritage 21 at the site inspection undertaken on 17 June 2021, unless stated otherwise.



**Figure 28.** External view of the heritage façade of the subject building as viewed from Macquarie Street, facing north-east.



**Figure 29.** External view of the southern façade along Macquarie Street of the subject building, as viewed from the street facing north.



**Figure 30.** External view of the southern façade of the subject building as viewed from Macquarie Street, facing north-west.



**Figure 31.** External view of the eastern façade of the subject building as viewed from Church Street, facing west (captured by Heritage 21, 10 August 2015).





**Figure 32.** External view of the three-storey office building located on Marsden Street.



**Figure 33.** External view of the roof of the heritage listed building as viewed from Marsden Street, facing east.



**Figure 34.** External view of the cantilevered awning showing the pressed metal ceiling of the Federation department store as viewed along Macquarie Street.



**Figure 35.** External view of the cantilevered awning showing the pressed metal ceiling of the Federation department store as viewed along Church Street.



**Figure 36.** External view of the entrance to the subject building located along the splay elevation at the corner of Church Street and Macquarie Street.



**Figure 37.** External view of the entrance to the subject building located along the splay elevation at the corner of Church Street and Macquarie Street.



**Figure 38.** Internal view to ground floor shop on the northern side of the Church Street facade. Note the non-original internal fittings and finishes.



**Figure 39.** Internal view to ground floor shop along Church Street. Note the non-original internal fittings and finishes.

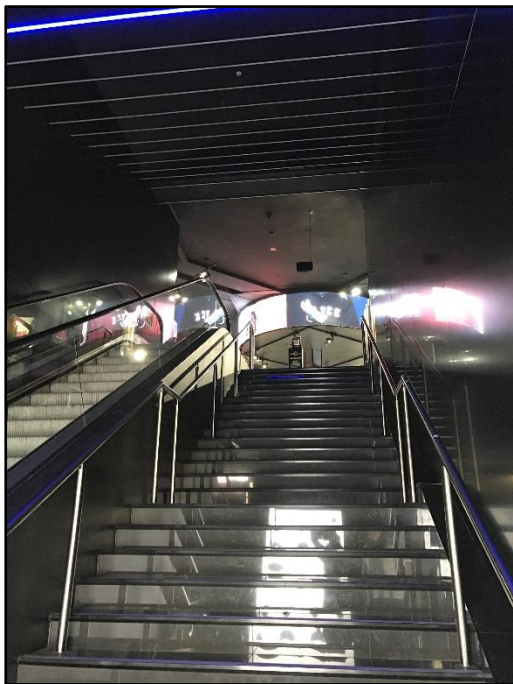




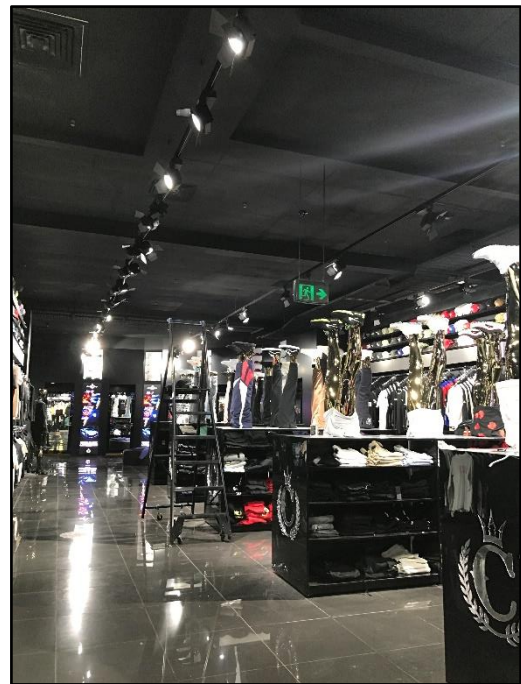
**Figure 40.** Internal view to ground floor café along Church Street. Note the non-original internal fittings and finishes.



**Figure 41.** Internal view to ground floor shop along Macquarie Street. Note the non-original internal fittings and finishes.



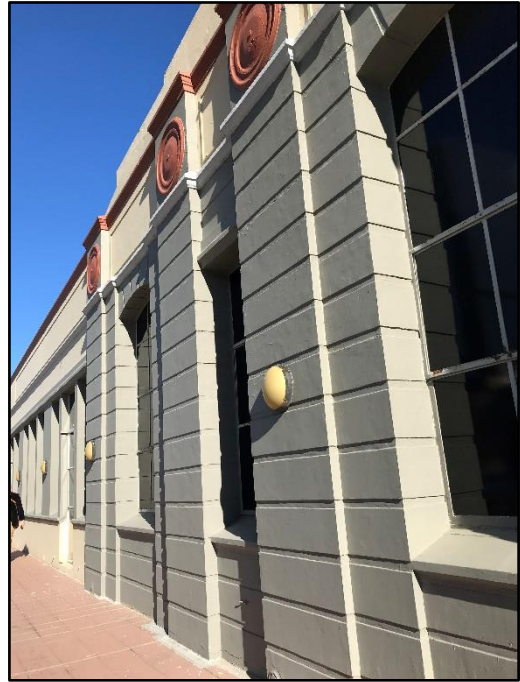
**Figure 42.** Internal view to the stairs leading from the ground floor to the first floor at the entrance at the corner of Church and Macquarie Streets. Note the non-original internal fittings and finishes.



**Figure 43.** Internal view to the first floor. Note the non-original internal fittings and finishes.



**Figure 44.** External view of balcony to the eastern elevation of the building.



**Figure 45.** External view of balcony to the eastern elevation of the building.



## 4.0 HERITAGE SIGNIFICANCE

In order to assess the impact of the proposed works on the heritage significance of the subject site, and heritage items in the vicinity of the site, it is necessary to first ascertain the heritage significance of these places. Accordingly, Statements of Significance for the subject site (refer to Section 4.1.1), and items I657, I656, I651, I654, I652, A11 and I701 (refer to Sections 4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.1.6, 4.1.7, and 4.1.8) are provided below. The significance of these places, will form part of our considerations in the assessment of heritage impact, undertaken in Section 6.0 below.

### 4.1 Established Significance

#### 4.1.1 The Subject Site (Item I655)

The following Statement of Significance is available for the site on the State Heritage Inventory:<sup>16</sup>

*Building at 197 Church Street is of significance for Parramatta area for historical and aesthetic reasons and as a representative example of Inter-War period Stripped Classical architectural style building that demonstrates the commercial role of Parramatta in the twentieth century. The building is a related place to a number of buildings associated with the Murray Bros, being a former major department store of this group. Today, it is an important element of the streetscape in Church Street, contributing strongly to the townscape. The site has potential to contribute to an understanding of early urban development of the area.*

#### 4.1.2 Telstra House (former post office) (and potential archaeological site) - I657

The following Statement of Significance is available on the State Heritage Inventory for heritage item I657 located in the vicinity of the subject site:<sup>17</sup>

*Building at 213 Church Street is of significance for the Parramatta area for historical and aesthetic reasons and as representative example of a Victorian Mannerist building and a post office in the area. Built c. 1880, it makes a major contribution to the streetscape and it is an example of the work of notable architect James Barnett.*

<sup>16</sup> Shop (and potential archaeological site), State Heritage Inventory, Heritage NSW, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2240108>.

<sup>17</sup> Telstra House (former post office) (and potential archaeological site), State Heritage Inventory, Heritage NSW, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2240110>.

#### 4.1.3 Horse parapet facade (and potential archaeological site) – I656

The following Statement of Significance is available on the State Heritage Inventory for heritage item I656 located in the vicinity of the subject site:<sup>18</sup>

*The group collectively known as "Horse parapeted shops" is of significance for the Parramatta area for historical and aesthetic reasons and as representative example of Victorian Italianate shops in the area. Built c. 1881, it makes a major contribution to the streetscape and presents a landmark in the centre of Parramatta. This group of commercial buildings makes a major presence at a major intersection and demonstrates the commercial role of Parramatta in the nineteenth century. The site possesses potential to contribute to an understanding of early urban development in Parramatta.*

#### 4.1.4 Bicentennial Square and adjoining buildings – I651

The following Statement of Significance is available on the State Heritage Inventory for heritage item I651 located in the vicinity of the subject site:<sup>19</sup>

*Bicentennial Square is of significance for the local area for historical and aesthetic reasons, and as a locally unique set of examples of various types of buildings that collectively and individually form local landmarks. The Square provides evidence of local and regional amenities and services in Parramatta.*

#### 4.1.5 Centennial Memorial Clock – I654

The following Statement of Significance is available on the State Heritage Inventory for heritage item I654 located in the vicinity of the subject site:<sup>20</sup>

*Association with notable events or people - Monuments. National Trust (Parramatta Branch): Association with notable people or events- monuments*

#### 4.1.6 Murrays' Building (and potential archaeological site) – I652

The following Statement of Significance is available on the State Heritage Inventory for heritage item I652 located in the vicinity of the subject site:<sup>21</sup>

*Association with notable events or people - Building or work associated with notable people. Namely the major department store of Murray Bros. Site*

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<sup>18</sup> Horse parapet facade (and potential archaeological site), State Heritage Inventory, Heritage NSW, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2240109>.

<sup>19</sup> Bicentennial Square and adjoining buildings, State Heritage Inventory, Heritage NSW, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2240103>.

<sup>20</sup> Centennial Memorial Clock, State Heritage Inventory, Heritage NSW, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2240107>.

<sup>21</sup> Murrays' Building (and potential archaeological site), State Heritage Inventory, Heritage NSW, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2240104>.

*possesses potential to contribute to an understanding early urban development in Parramatta. An important element of the buildings around Bicentennial Square, at the heart of Parramatta. National Trust (Parramatta Branch): Site has potential to contribute to an understanding of early urban development. - Association with notable people or events- Building or work associated with notable local people . Namely the major department store of Murray Bros. - An important element of the buildings around Bicentennial Square, at the heart of Parramatta.*

#### **4.1.7 Archaeological site – A11**

The following Statement of Significance is available on the State Heritage Inventory for heritage item A11 located in the vicinity of the subject site:<sup>22</sup>

*The archaeological site at 45 Macquarie Street (also referred to as 134-140 Marsden Street) is of significance for the State of NSW and the local area due to its historical values, associations with significant persons of early area history, for its high archaeological significance, its rarity and representativeness. The area was part of the early township of Parramatta and developed as part of the commercial centre of the town through the convict and colonial periods to the present day.*

*The buildings and structures on this site were associated with transportation of convicts and thus form part of an important group of heritage items, deemed to be of state and national significance. The remains of “Convict Huts” share a common historical thematic framework with the Old Government House in Parramatta Park, albeit at the opposite end of the social scale. As a number of “Convict Huts” have been excavated in Parramatta, each provided a unique story and sequence of occupation; however, there remains the potential to combine this information with any eventually revealed new evidence, to further the understanding of evidence provided by previous excavations.*

*The site provides associations with several important early settler residents, including: John and Elizabeth Graham who ran The “Wheatsheaf” Hotel on this site from 1801, William Sully the convict-turned-constable who occupied the Allotment 17 from the 1820s, Thomas Reynolds the former convict who ran The Shepherd and Flock Inn from the 1820s, and John Walker the wheelwright who lived and worked here from 1823-1846.*

*The house sites of the 1880s or later did not necessarily reveal large artefact collections; however, they remain significant on the local area level. The remnants of the 1840s brick house and 1840s to 1880s weatherboard cottage (Allotment 16)*

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<sup>22</sup> Archaeological site, State Heritage Inventory, Heritage NSW,  
<https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=5062792>.

*provide an opportunity to examine the footings of a mid-19th century building and record the artefacts from each room and yard to enable spatial analysis for room function, dating and other research questions.*

*The site has the potential to yield information relating to major historic themes including Commerce, Convicts, Cultural Sites, Government and Administration, Housing, Industry, Land Tenure, Townships and Law and Order.*

#### **4.1.8 Marsdens Building (and potential archaeological site) – I701**

The following Statement of Significance is available on the State Heritage Inventory for heritage item I701 located in the vicinity of the subject site:<sup>23</sup>

*This site represents two distinct historical phases, the early convict phase from 1790 and the second phase reflected in the extant building being an Irish brewer's residence and shop. The building at 17 George Street is of significance for the local area for historical and aesthetic reasons. The site has high archaeological potential and may contain relics of State level of significance. The building demonstrates the commercial role of Parramatta in the nineteenth century and presents as a locally important corner landmark. Site possesses potential to contribute to further understanding of early urban development in Parramatta and NSW.*

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<sup>23</sup> Marsdens Building (and potential archaeological site), State Heritage Inventory, Heritage NSW, <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2241020>.

## 5.0 WORKS PROPOSED

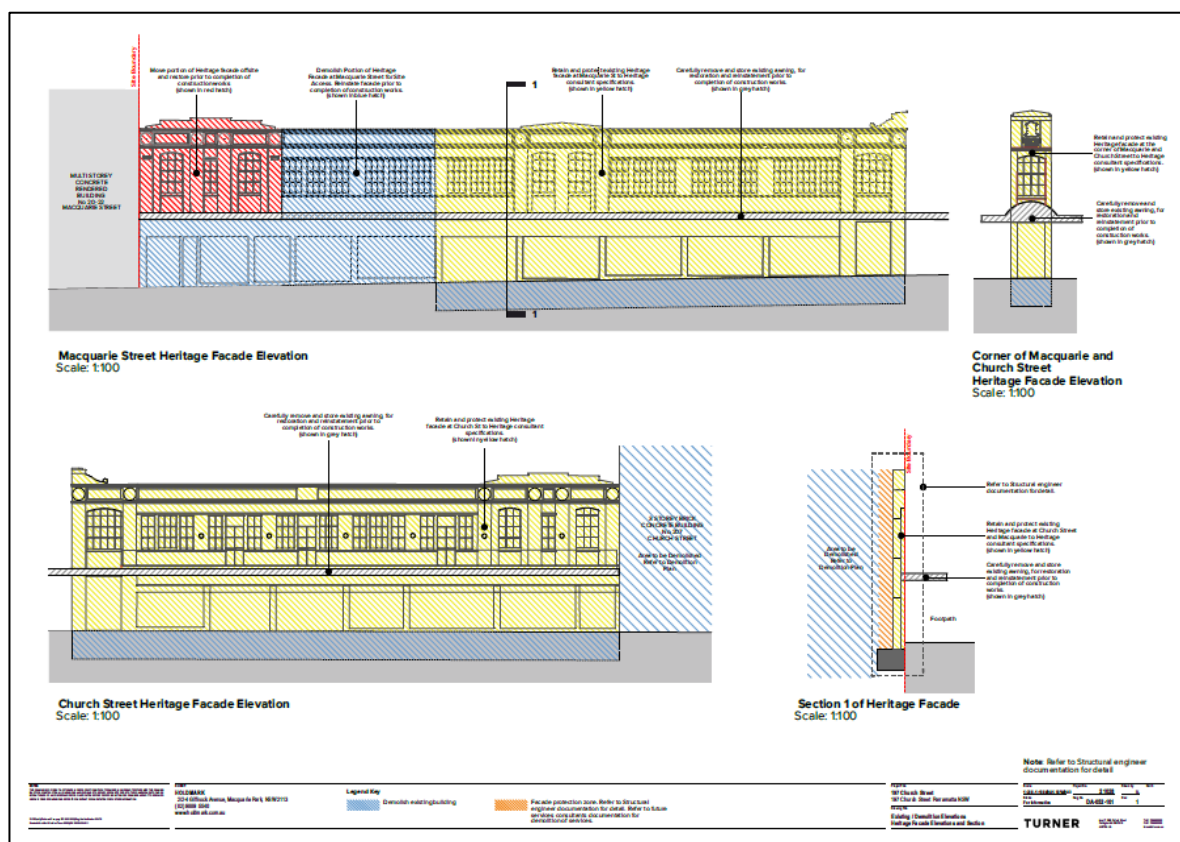
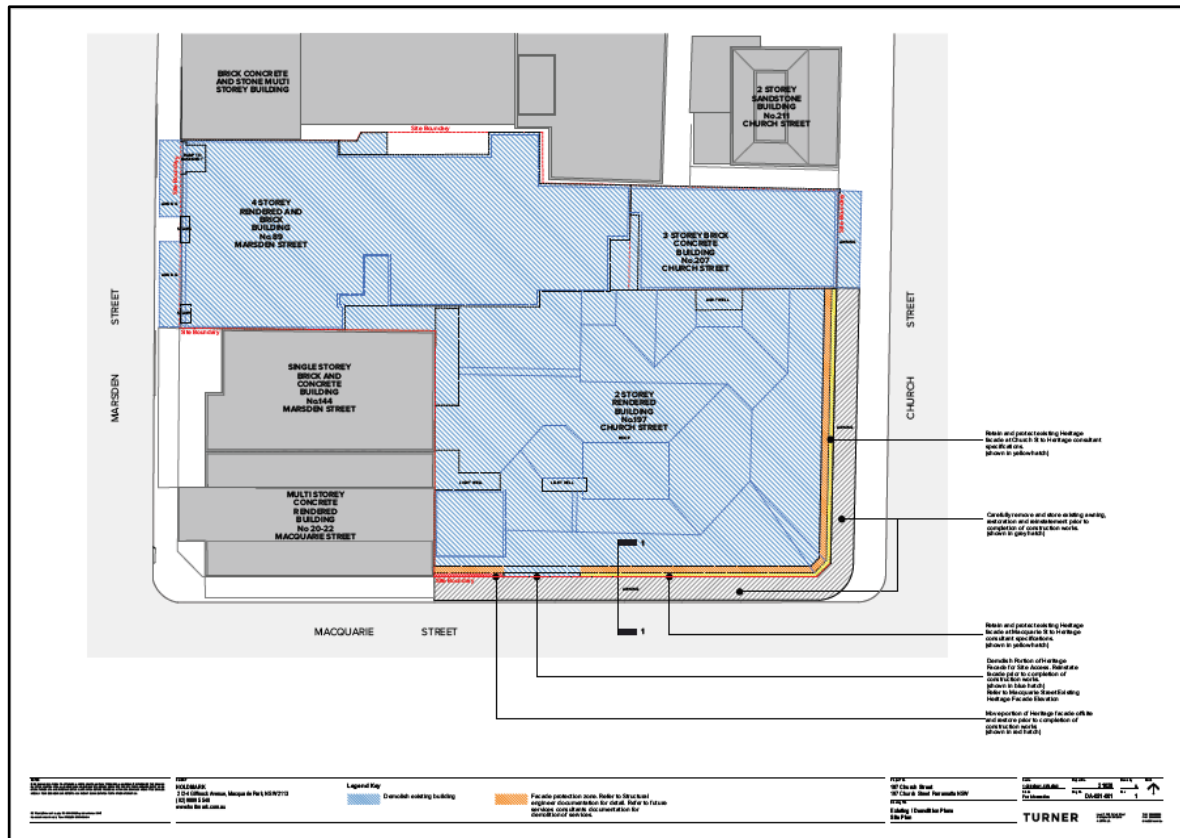
### 5.1 Proposal Description

The proposed development would include:

- Demolition of the two storey former Murray Brothers department store built in the Federation architectural style excluding the heritage facades along Church Street and Macquarie Street;
- Partial demolition of the Macquarie Street façade of the former Murray Brothers department store;
- Removal of a portion of the Macquarie Street façade of the former Murray Brothers department store, and storage off site to be reinstated prior to the completion of the construction works;
- Demolition of the three-storey 1950s office building on Marsden Street and the three-storey office building on Church Street; and
- Retention of the western (along Church Street) and southern (along Macquarie Street) facades of the Federation department store.

### 5.2 Drawings

Our assessment of the proposal is based on the following drawings by Turner received by Heritage 21 on 13 July 2021 and Ace Structural Services dated July 2021 and received by Heritage 21 9 July 2021. These are reproduced below for reference only; the full set of drawings accompanying the development application should be referred to for any details.





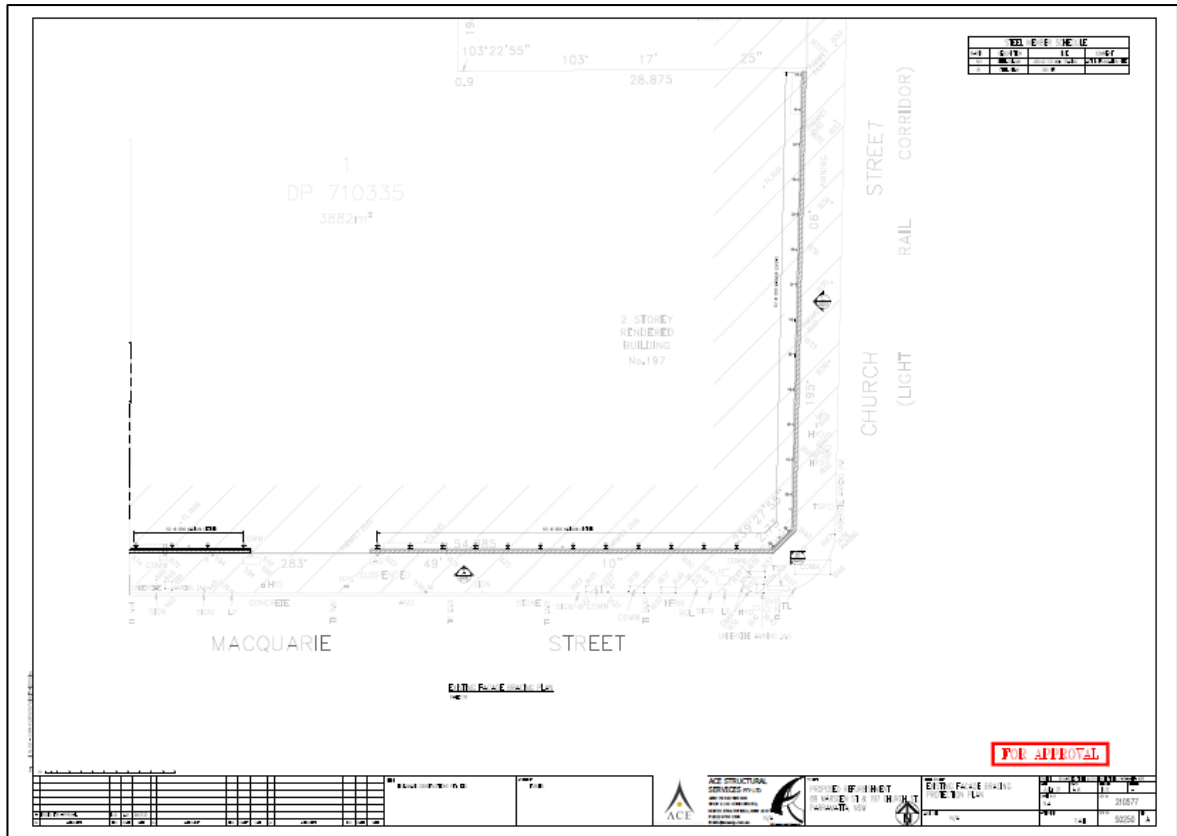


Figure 48. Proposed facade bracing plan.

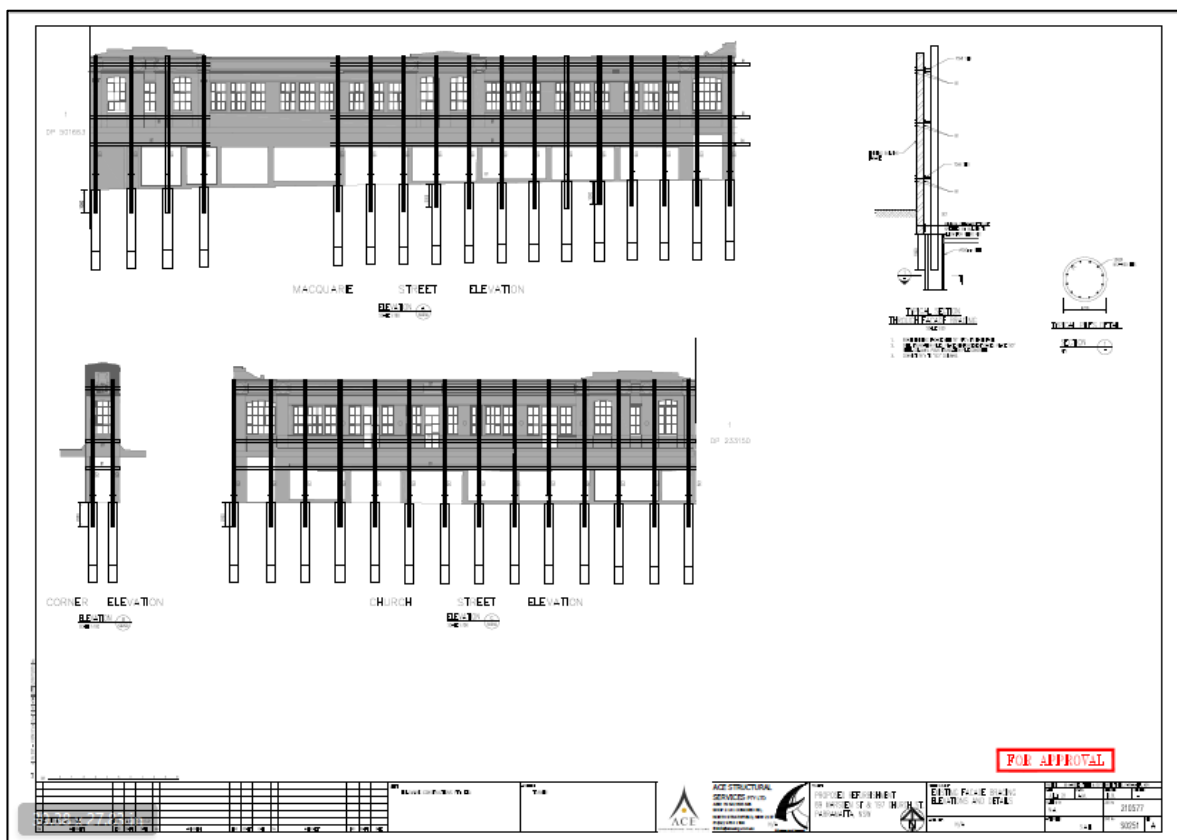


Figure 49. Proposed facade bracing elevations and details.

## 6.0 ASSESSMENT OF HERITAGE IMPACT

### 6.1 Heritage Management Framework

Below we outline the heritage-related statutory and non-statutory constraints applicable to the subject site including the objectives, controls and considerations which are relevant to the proposed development as described in Section 5.0 above. These constraints and requirements form the basis of this Heritage Impact Assessment.

#### 6.1.1 Parramatta Local Environmental Plan 2011

The statutory heritage conservation requirements contained in Section 5.10 of the Parramatta Local Environmental Plan (PLEP) 2011 are pertinent to any heritage impact assessment for future development on the subject site. The relevant clauses for the site and proposal are outlined below:

- (1) Objectives*
- (2) Requirement for consent*
- (4) Effect of proposed development on heritage significance*
- (5) Heritage assessment*

#### 6.1.2 Parramatta Development Control Plan 2011

Our assessment of heritage impact also considers the heritage-related sections of the Parramatta Development Control Plan (PDCP) 2011 that are pertinent to the subject site and proposed development. These include:

### Part 3 – Development Principles

#### 3.5 Heritage

##### 3.5.1 General

### Part 4 – Special Precincts

#### 4.3 Strategic Precincts

##### 4.3.3 Parramatta City Centre

#### 6.1.3 NSW Office of Environment & Heritage guidelines

In its guidelines for the preparation of Statements of Heritage Impact, the NSW Office of Environment & Heritage provides a list of considerations in the form of questions aiming at directing and triggering heritage impact assessments. These are divided in sections to match the different types of proposal that may occur on a heritage item, item in a heritage conservation area or in the vicinity of heritage. Below are listed the considerations which are most relevant to the proposed development as outlined in Section 5.0 of this report.



**Demolition of a building or structure**

- *Have all options for retention and adaptive re-use been explored?*
- *Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?*
- *Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?*
- *Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?*

**Major partial demolition (including internal elements)**

- *Is the demolition essential for the heritage item to function?*
- *Are particular features of the item affected by the demolition (e.g. fireplaces in buildings)?*
- *Is the detailing of the partial demolition sympathetic to the heritage significance of the item (e.g. creating large square openings in internal walls rather than removing the wall altogether)?*
- *If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?*

**6.1.4 Other Heritage Considerations**

Other general heritage matters which may not have been addressed in heritage controls or requirements by the local Council or the NSW Office of Environment & Heritage are likely to include considerations as to whether:

- The historical use of the site would be maintained and if not, if the proposed new use would be suitable to the heritage significance;
- The historical setbacks and boundaries of the site would be retained as existing; and
- Any significant views to and from significant buildings or elements, or across significant areas would be impacted.

## 6.2 Heritage Impact Assessment

Below we assess the impact that the proposed development would have upon the subject site, and the heritage items in the vicinity. This assessment is based upon the Historical Context (refer to Section 2.0), the Physical Evidence (refer to Section 3.0), Heritage Significance (refer to Section 4.0) the Proposal (refer to Section 5.0), a review of the Heritage Management Framework (refer to Section 6.1) and the impact of the proposal on the relevant heritage items situated in the vicinity of the site (refer to Sections 1.3 and 3.4).

### 6.2.1 Impact Assessment against the PLEP 2011

The statutory heritage conservation requirements contained in Section 5.10 of the Parramatta LEP 2011 are pertinent to any heritage impact assessment for future development on the subject site. We assess the proposal against the relevant clauses below.

CLAUSE	ASSESSMENT
<b><i>(1) Objectives</i></b>	The proposal would entail the demolition of buildings located within a site listed under Schedule 5 of the PLEP 2011. In 2015 a Fabric Analysis was prepared by Heritage 21 which found that the site had undergone several modifications and significant fabric was largely limited to the primary facades and the cantilevered awning of the building along Church and Macquarie Streets. As such, the proposed demolition has been carefully considered under the guidance of Heritage 21 to retain the significant façades, limiting the demolition to highly modified or non-heritage significant fabric. The proposed demolition would be undertaken under the guidance of Heritage 21 and the assigned Structural Engineer in accordance with the Temporary Protection Plan prepared by Heritage 21 in July 2021. The proposed demolition would allow for the conservation of the heritage significant façades while facilitating the future reinstatement of lost elements and the interpretation of its heritage significance within the future development. As such, Heritage 21 believes that the proposed demolition, through retaining heritage-significant elements and the presentation of the building to the surrounding streetscape, would not generate a negative impact on the heritage significance of the site or those in the vicinity.
<b><i>(2) Requirement for consent</i></b>	This Development Application is lodged to Council to gain consent for the works proposed in the vicinity of heritage items listed under Schedule 5 of the Parramatta LEP 2011.
<b><i>(4) Effect of proposed development on heritage significance</i></b>	This Statement of Heritage Impact accompanies the Development Application in order to enable the City of Parramatta, as the consent authority, to ascertain the extent to which the proposal would affect the heritage significance of the subject site and the heritage items in the vicinity.
<b><i>(5) Heritage assessment</i></b>	

### 6.2.2 Impact Assessment Against the PDCP 2011

The subject site is a locally listed heritage item under Schedule 5 of the PLEP 2011. It is also located on a key historic corridor within the Parramatta city centre and is located in the vicinity of several

heritage items. The proposal would entail the partial demolition of a double-storey Federation department store, and the demolition of a 1950s three-storey office building on Marsden Street and a three-storey office building on Church Street. The Fabric Analysis prepared by Heritage 21 in 2015 and subsequent reports have found that significant built fabric on the site is limited to the primary facades of the former Murrays Brothers department store along Macquarie and Church Streets, and as such the proposal would be limited to the demolition of fabric of little significance, retaining and conserving the primary façade and facilitating the future development of the site which would allow for the conservation of significant fabric and the interpretation of the sites heritage significance.

### **Façade Treatment**

The demolition works and façade retention would be undertaken in accordance with the Temporary Protection Plan (TPP) prepared by Heritage 21 in July 2021 and the Existing Façade Bracing Protection Plan prepared by Ace Structural Services in July 2021. The proposed façade works would ensure significant fragile fabric, such as the awning and windows, is removed or protected prior to any demolition and structural bracing of the facades. Further, the proposed bracing of the primary façade would limit fixing into original fabric and the proposed hoarding would be self-supported. Consideration would be taken as to the treatment of the original fabric with the proposed hoarding and subsequent demolition as outlined in the TPP.

Fabric such as the awning and the western portion of the Macquarie Street façade would be removed and stored off site to ensure that it would remain protected throughout the works. The below awning façade has been highly altered and does not contain any significant fabric nor does it resemble the original façade presentation. Heritage 21 recommends that the proposed future development entail the reinstatement of the original display windows and shop fronts based on historical evidence. Further, as outlined in the TPP plaster casts would be taken of the façade detailing to ensure that in the case of any repair or restoration works, detailing can be reinstated accurately.

The protection and conservation of the heritage-significant elements of the building has been carefully considered to ensure that the proposed demolition and future development of the site would not damage any significant fabric or detract from the subject site's heritage significance.

### **Demolition**

The proposed demolition would be carefully undertaken to ensure that significant fabric would be protected. The western portion of the Macquarie Street façade would be partially removed, and safely stored offsite to minimise risk to the significant fabric. Further, a small portion of the Macquarie Street façade would be demolished, to be reinstated prior to the completion of construction. The below awning façade would be demolished however it is highly alter and does not contain any original fabric.

The proposed demolition would be limited to the removal of fabric identified as of little significance, retaining the fabric identified as high significance. Significant heritage fabric is limited to the primary

façade of the former Murrays Brothers department store. As such the demolition of the remainder of the building and the contemporary structures on the site would not engender a negative impact on the heritage significance of the site. Despite the major demolition on the site, the site would largely retain its presentation to the surrounding streetscape and would ensure that its relationship with the heritage items in the vicinity is preserved. Further, the proposed demolition would allow for the future conservation of significant fabric and the reinstatement of lost elements, further enhancing the presentation of the site to the surrounding streetscape and retaining the historic character of the Parramatta town centre.

The demolition on the site would be guided by the Heritage Architect and Structural Engineer to ensure that the significant heritage façade would be retained while allowing for fabric of little significance to be removed. Where demolition would be undertaken in the vicinity of the heritage-significant facades, it would be undertaken by hand to limit the impact on significant fabric. Further, Heritage 21 recommends that a Heritage Architect is engaged to regularly inspect the proposed works and ensure no damage occurs to significant fabric.

Overall, the proposed demolition would be largely limited to the removal of non-significant or alter addition fabric, retaining and protecting the heritage significant facades along Church and Macquarie Street. This would ensure that the heritage significance of the subject site and the surrounding area would be retained, while allowing for the future sympathetic development of the site.

### 6.2.3 Impact Assessment Against the NSW Office of Environment & Heritage guidelines

As acknowledged in Section 6.1.3, the NSW Office of Environment & Heritage has identified a list of considerations in the form of questions aiming at directing and triggering heritage impact assessment. Below, we assess the proposal against the most pertinent of these questions.

Question	Assessment
<b>Demolition of a building or structure</b>	
<i>Have all options for retention and adaptive re-use been explored?</i>	A Fabric Analysis was prepared by Heritage 21 in 2015 which found that significant heritage fabric was limited to the primary façades along Church and Macquarie Streets of the former Murray Brothers department store. The proposed demolition would entail the removal of the 1950s three-storey office building to Marsden Street and the contemporary three-storey office building to Church Street. Further, the former Murray Brother department building would be partially demolished, retaining the significant primary façade. A thorough investigation of all options has been undertaken and Heritage 21 believes the retention of the two non-heritage significant office buildings is not necessary, nor is the retention of the majority of the former Murray Brothers department store. This is due to the lack of significant fabric and major modifications.



<i>Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?</i>	The proposed demolition would be largely limited to the removal of non-significant fabric as outlined in the Fabric Analysis. The buildings proposed for demolition are not of heritage significance. Further, the portion of the former Murrays Brothers department store proposed for demolition has been identified of little heritage significance due to modifications that have resulted in the loss of significant fabric. The significant primary façade would be largely retained, with a portion removed and stored offsite, and a small portion demolished. Further, significant elements such as the awning would be removed and stored offsite prior to demolition. Therefore, the proposed demolition would largely retain significant elements, limiting the impact of the proposed demolition on the heritage significance of the subject site and the surrounding area. The small portion of the significant façade would be reinstated prior to the completion of the project, therefore further minimising the impact on the heritage item. Further, the below awning façade would be demolished. However, it has been subject to multiple changes and does not contain any significant fabric.
<i>Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?</i>	The proposed demolition is not essential, however it would allow for the ongoing use of the subject site and would facilitate conservation works and the reinstatement of lost elements that would enhance the significance of the subject site and its relationship with the Parramatta city centre.
<i>Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?</i>	Heritage 21 has been engaged throughout the design process and has provided ongoing advice which has been incorporated into the final plans. This advice has included the retention of the significant primary facades of the former Murray Brothers department store. Further, Heritage 21 advised that the façade largely be retained in situ rather than entirely removed and rebuilt which has similarly been incorporated into the final proposal. We believe this would limit any negative impacts on significant fabric, ensuring maximum conservation and retention of significant fabric.
<b>Major partial demolition (including internal elements)</b>	
<i>Is the demolition essential for the heritage item to function?</i>	The proposed demolition is not essential for the heritage item to function. However, the proposal would facilitate community engagement with the site and allow for the future conservation of significant fabric, reinstatement of lost elements, and interpretation of the built heritage, archaeological heritage and Aboriginal heritage of the subject site.

<p><i>Are particular features of the item affected by the demolition (e.g. fireplaces in buildings)?</i></p>	<p>The proposed partial demolition of the former Murray Brothers department store would largely be limited to the removal of non-significant fabric. The building has been subject to various modifications following its construction, and as such the proposal would entail the removal of fabric of little significance while retaining fabric of high significance (outlined in the 2015 Fabric Analysis). The proposal would entail the partial demolition of a small portion of the significant primary façade to Macquarie Street. However, it would be reinstated in the future development. Further, the proposal would entail the removal of a small portion of the façade and its storage offsite. This would ensure that the proposed demolition works and future construction works may be undertaken without causing damage to significant fabric.</p> <p>Overall, the proposed demolition has been carefully considered in order to respect the heritage significance of the site and limit any negative impacts on significant fabric.</p>
<p><i>Is the detailing of the partial demolition sympathetic to the heritage significance of the item (e.g. creating large square openings in internal walls rather than removing the wall altogether)?</i></p>	<p>The proposed demolition would largely be limited to the removal of fabric identified as possessing little heritage significance. The proposal would entail the demolition of a small portion of the Macquarie Street façade, however, it would be reinstated prior to the completion of the construction. Further, a small portion of Macquarie Street façade would be removed and stored off site to ensure any damage to original fabric is minimised. Finally, the proposed demolition would ensure fragile significant fabric such as the awning would be removed prior to demolition ensuring it would not be damaged. The detailing of the proposed demolition has been carefully considered and would be undertaken in accordance with the TPP and the structural documentation and under the guidance of Heritage 21 in order to ensure the impact on the heritage significance of the site and associated significant fabric is minimised.</p>
<p><i>If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?</i></p>	<p>The proposed demolition is not the result of the condition of the fabric. The fabric proposed for demolition has been carefully considered and as such the proposal would be limited to the removal of non-original fabric, fabric of little significance, and highly modified fabric. The proposed demolition and future development of the site would allow for the conservation of significant fabric, the reinstatement of lost elements and the interpretation of the heritage significance of the site as key elements.</p>

## 7.0 CONCLUSION & RECOMMENDATIONS

### 7.1 Impact Summary

The NSW Office of Environment & Heritage's guidelines require the following aspects of the proposal to be summarised.<sup>24</sup>

#### 7.1.1 Aspects of the proposal which respect or enhance heritage significance

In our view, the following aspects of the proposal would respect the heritage significance of the subject site and heritage items in the vicinity:

- The proposal would be largely limited to the removal of fabric of little heritage significance;
- The proposal would largely retain fabric of high significance;
- The proposed demolition would largely retain the presentation of the site to the surrounding streetscape;
- The proposed demolition would allow for future conservation of significant fabric;
- The proposed demolition would allow for the future reinstatement of lost fabric;
- The proposed demolition would facilitate community engagement with the building;
- The proposal would allow for the development of interpretation strategies; and
- The proposal would allow for the adaptive reuse of the site in a manner sympathetic to its heritage significance.

#### 7.1.2 Aspects of the proposal which could have detrimental impact on heritage significance

In our view, the proposed demolition of a section of the original façade to Macquarie Street may engender a detrimental impact on the heritage significance of the item. However, only a small portion of the significant façade would be demolished, the remainder retained in situ or stored off site. The portion of the façade proposed for demolition would be reinstated prior to the completion of construction works. Further, the proposed demolition would be undertaken in accordance with the Temporary Protection Plan prepared by Heritage 21 and under the guidance of Heritage 21.

Additionally, the proposed demolition has the potential to impact sub-surface deposits and as such it should be undertaken in accordance with the archaeological reports prepared by Biosis to ensure that there would not be a negative impact on the archaeological heritage of the site.

The neutral impacts of the proposal have been addressed above in Section 7.1.1. Recommendations are provided in Section 7.2 below as further mitigation measures.

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<sup>24</sup> NSW Office of Environment and Heritage, 'Statements of Heritage Impact' (Heritage Office and Department of Urban Affairs & Planning, 1996), <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/hmstatementsofhi.pdf>.

### **7.1.3 Sympathetic alternative solutions which have been considered and discounted**

Heritage 21 provided heritage advice to the applicant which has been incorporated in the final proposal as described in Section 5.0. This regarded:

- The preparation of a Temporary Protection Plan; and
- The retention of the majority of the façade in-situ.

Mitigation measures are provided for consideration in Section 7.2 of this report which are based on our initial recommendations.

## **7.2 Recommendations**

To ensure maximum conservation of the significance of the subject site and items in the vicinity, Heritage 21 also recommends the following:

### **7.2.1 Heritage Tradesmen**

Any works onto the heritage fabric of the subject site should be carried out by suitably qualified heritage professionals and tradesmen. The heritage fabric includes elements identified as significant in the Fabric Analysis prepared by Heritage 21 in 2015 and attached as Appendix I.

### **7.2.2 Photographic Archival Recording**

A Photographic Archival Recording (PAR) should be prepared by a suitably qualified Heritage Consultant prior to any development being carried out on the site.

The report must consist of an archival standard photographic record of the site and buildings including the exteriors, the interiors, the existing character of the streetscape and the views to and from the subject site and heritage items in the vicinity exteriors and interiors.

The recording shall be undertaken in accordance with the guidelines for Photographic Recording of Heritage Items Using Film or Digital Capture (2006) prepared by the NSW Office of Environment & Heritage and copies should be retained in Council's Archives and Local Studies collection.

### **7.2.3 Reinstatement of Fabric**

Following the demolition stage of the works, original fabric as evidenced by physical fabric and historical research should be reinstated where possible and incorporated within the future development of the site.

### **7.2.4 Schedule of Conservation Works**

A Schedule of Conservation Works (SCW) should be prepared by a suitably qualified heritage architect which would identify elements of significance and provide appropriate conservation



measures to ensure the conservation of significant fabric throughout the development and in an ongoing capacity.

#### **7.2.5 Historical Hoarding Photographs**

The hoarding to the site should include historical photographs of the building to ensure that the community can understand the heritage significance of the site through the demolition and construction stages.

#### **7.2.6 Interpretation Strategy**

An Interpretation Strategy should be prepared by a heritage professional. This would identify key users of the site, develop themes and key messages for the identified audience, and propose options for communication of heritage values to visitors and users of the site. This may be in the form of graphic display, art installations, design features or other interpretive media.

#### **7.2.7 Interpretation Plan**

An Interpretation Plan should be prepared to develop content, installation strategy and/or a maintenance plan for the proposed interpretive media. The focus of this exercise is not for passive historical instruction but for interactive engagement between a site and the community.

#### **7.2.8 Heritage Architect Monitoring**

A Heritage Architect should be engaged to periodically monitor the works on site, give necessary advice and sign off upon conclusion.

### **7.3 General Conclusion**

The proposed demolition on the site has been carefully considered and would largely be limited to fabric of little to no heritage significance. Further, the heritage significant façade would be adequately protected throughout the demolition works, ensuring it can be conserved and restored with any future development. Heritage 21 is therefore confident that the proposed development complies with pertinent heritage controls and would not engender a negative impact on the heritage significance of the subject site, and heritage items in the vicinity. We therefore recommend that the City of Parramatta Council view the application favourably on heritage grounds.

## 8.0 SOURCES

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- 'Sydney Subdivision Plans'. State Library of NSW, n.d. Mitchell Map Collection. <http://www.sl.nsw.gov.au/>.

## Appendix I – Fabric Analysis

# FABRIC ANALYSIS

FORMER MURRAY BROS BUILDING  
197 CHURCH STREET  
PARRAMATTA NSW



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Cover photograph: Former Murray Bros Building at 197 Church Street, Parramatta. (Source: Heritage 21, August 2015)

The following table forms part of the quality management control undertaken by Rappoport Pty Ltd regarding the monitoring of its intellectual property as issued.

Issue	Notes / Description	Date	Initials
1	Draft report (D1) issued for comment.	25.08.2015	PD
2	Draft report (D2) issued for comment.	28.08.2015	PD
3	Final report (RI) issued.	01.09.2015	PD

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## 1.0 INTRODUCTION

### 1.1 Authors

This Fabric Analysis has been prepared by Paul Rappoport and Philippa Doig of Heritage 21 (Rappoport Pty Ltd) Heritage Consultants.

### 1.2 Location

The site consists of two properties, 197 Church Street and 207-209 Church Street, Parramatta, which fall within the boundaries of Parramatta City Council. The former property is occupied by the two storey Murray Brothers department store building (heritage item) situated on the corner of Church and Macquarie Streets (constructed 1925) and a four storey addition to the building constructed c.1950 on the Marsden Street frontage. The latter property is occupied by a concrete building at 207-209 Church Street which is a recent office building.

This report focusses specifically on the former Murray Brothers building located at the corner of Church and Macquarie Streets. The location of the site is shown in Figure 1 and the site and component buildings are shown in Figures 2 and 3.

### 1.3 Purpose of this report

The purpose of this report is to provide an independent assessment of the interior and exterior condition and intactness of the former Murray Brothers building at the corner of Church and Macquarie Streets. The report has been prepared for Holdmark Corporation at the request of requested by Zoran Popovic, Heritage Advisor, Parramatta City Council.

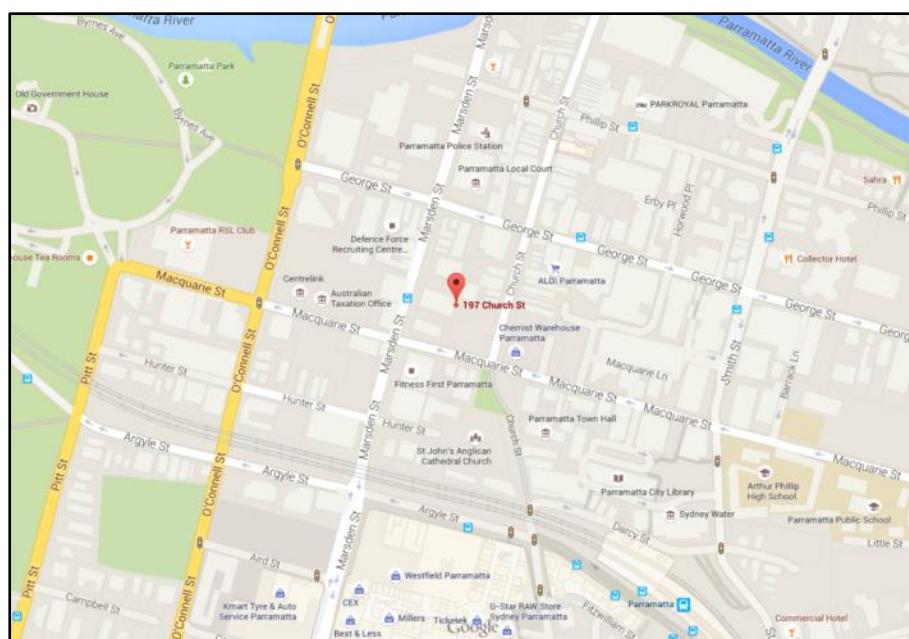


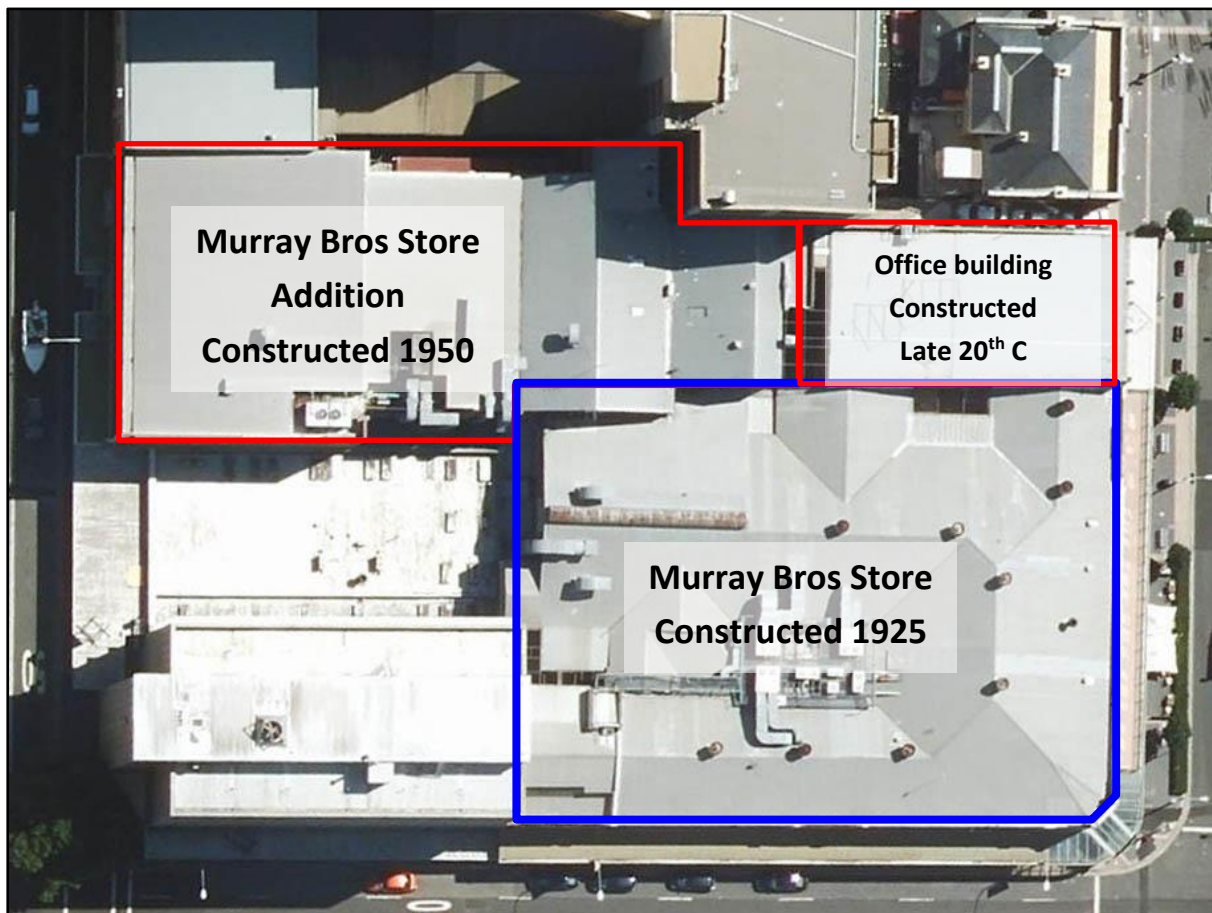
Figure 1: Map showing the location of the site (red marker) within the wider context of the Parramatta City Centre.  
(Source: Google maps, [www.google.com.au/maps](http://www.google.com.au/maps), accessed August 2015)



Figure 2: Aerial photograph showing the extent of the subject site in red outline (large area is 197 Church Street, small area is 207-209 Church Street).

(Source: NSW Department of Lands, Spatial Information Exchange, <https://maps.six.nsw.gov.au/>, accessed August 2015)

Figure 3: The location of the Murray Brothers store is identified below in blue outline.





## 1.4 Heritage status

The Parramatta City Centre Local Environmental Plan 2007 identifies the site at 197 Church Street as a heritage item in Schedule 5 (Item No. 11 – 197 Church Street/Lot 1, DP 710335 – Shop and potential archaeological site – State significance). Although the LEP listing indicates State significance, the site is not listed on the State Heritage Register. The building at 207-209 Church Street is not identified as having any heritage significance.

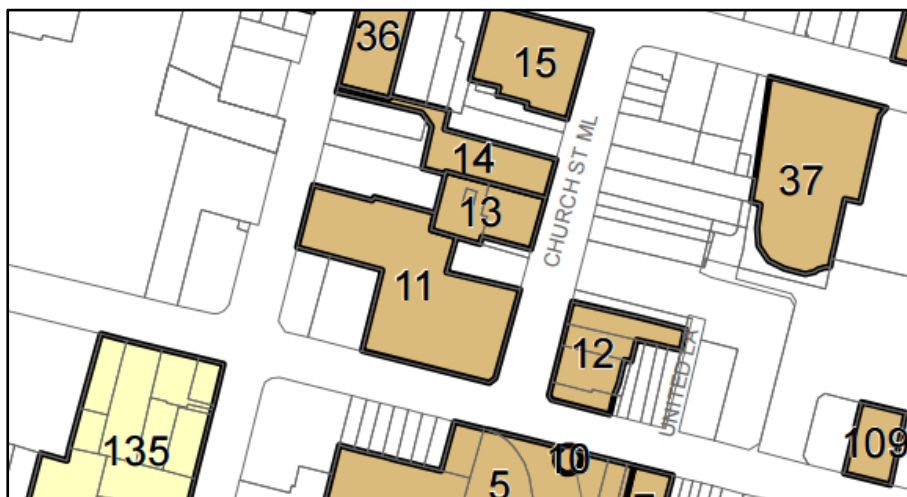


Figure: Section of the Parramatta City Centre LEP 2007 Heritage Map, identifying the subject site as Heritage Item 11. (Source: PCCLEP Heritage Map HER\_001)

## 1.5 Statement of significance

The NSW Heritage Branch Inventory Sheet provides the following Statement of Significance for the property, identified as a 'Shop and Potential Archaeological Site':

Building at 197 Church Street is of significance for Parramatta area for historical and aesthetic reasons and as a representative example of Inter-War period Stripped Classical architectural style building that demonstrates the commercial role of Parramatta in the twentieth century. The building is a related place to a number of buildings associated with the Murray Bros, being a former major department store of this group. Today, it is an important element of the streetscape in Church Street, contributing strongly to the townscape. The site has potential to contribute to an understanding of early urban development of the area.<sup>1</sup>

## 1.6 Methodology

Heritage 21 has been engaged by Holdmark Corporation (owners of the site) to undertake an analysis of the existing built fabric for the purpose of identifying the building elements and their heritage significance and providing recommendations in relation to future development of the site.

<sup>1</sup> NSW Office of Environment and Heritage – State Heritage Inventory – Database No. 2240108

The methodology used in this Fabric Analysis is consistent with *Statements of Heritage Impact* and *Assessing Heritage Significance* contained in the Heritage Branch of the NSW Office of Environment and Heritage published materials and has been prepared in accordance with the principles contained in the most recent edition of *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* (the Burra Charter).

Heritage 21 undertook site inspections on 3 July 2015 and 10 August 2015 to record the state of the extant built fabric throughout the property.

## 1.7 Limitations

- This report is based upon an assessment of the heritage issues only and does not purport to have reviewed or in any way endorsed decisions that are of a planning or compliance nature.
- This report relies solely on secondary sources. Primary research has not been included in this report, other than the general assessment of the physical evidence on site.
- Original building plans were not available in the research conducted for this report.
- This report is limited to the former Murray Brothers building as defined in Figure 3. It excludes the adjacent office building and the Murray Brothers Addition to Marsden Street.

## 1.8 Copyright

Heritage 21 (Rappoport Pty Ltd) holds copyright for this report. Any reference to or copying of the report or information contained in it must be referenced and acknowledged, stating the report's name and date and authorship.

## 2.0 HISTORICAL CONTEXT

### 2.1 Brief History of Murray Brothers

On 29 April, 1876, EN Murray opened a small hardware business in Church Street and in 1877 his brother WR Murray acquired a general store next door. Their combined business thrived and they opened shop on the opposite side of Church Street.

In 1884 the brothers joined forces and formed what would become one of Parramatta's best known businesses, Murray Brothers. A furniture section was added to the other branches of the business which included selling pianos & organs, the manufacture of clothes and even the production of their own jams. Murray Brothers purchased the 'Woollen Mill' from the French family in 1887 for 2000 pounds and operated it under the name of 'Parramatta Woollen Mill'.

In 1889, 'a towering new edifice arose', at a cost of 10,000 pounds, on the site of the Murray Bros store, signalling the arrival of the town's first shopping emporium. A range of household items were sold including furniture and furnishings, crockery, pianos, organs, clothes and jams. In the 1890s Murray Brothers received a Certificate of Merit for colonial made furniture from the Royal Agriculture Society.

During 1903 Murray Brothers was divided into two companies, Murray Bros Ltd and Murray's Limited, maintaining separate but adjacent businesses. Drapery and furniture was under the control of Murray Brothers and the hardware section under the control of Murray's Limited. In 1923 fire gutted the furniture factory at the rear of the Church Street store.

In 1926 the Murray Brothers, one of whom had been trading in Church Street since 1876, opened two new buildings at the Church and Macquarie Streets junction: the Murray Brothers department store on the north-west corner (the subject building) and the Murray's hardware store just north of the Town Hall fronting onto Church and Macquarie Streets.<sup>2</sup>

Prior to the construction of the Murray Bros. Building the site was home to a number of earlier buildings in several development phases dating back to the convict era, the last being the St John's Grammar School.

A notice in the Sydney Morning Herald on 4 March 1925 called for tenders for 'Demolition and re-erection of large business premises; also six shops at corner of Church and Macquarie streets, Parramatta, for Murray Bros. Pty., Ltd. Messrs Pitt and Morrow, architects...Quantities by Mt. H. McCredie...'<sup>3</sup>

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<sup>2</sup> Parramatta Heritage Centre, <http://arc.parracity.nsw.gov.au/blog/2014/05/11/murray-brothers-part-1/#more-526> and <http://arc.parracity.nsw.gov.au/blog/2014/06/02/murray-brothers-part-2/#more-525>, accessed 25/2/15.

<sup>3</sup> 1925 'TENDERS.', *The Sydney Morning Herald* (NSW : 1842 - 1954), 4 March, p. 10, viewed 17 August, 2015, <http://nla.gov.au/nla.news-article16186887>

In August 1958, Murray Brothers constructed a four storey addition to the rear of the main store with a frontage to Marsden Street. The extension was built on land purchased from the Church of England for 250,000 pounds in May 1954.

Murray Brothers operated from this combined site until 1979 when the property was sold to Norman Ross (Properties) Limited. From this time on, the premises were leased to various owners including NSW Building Society Limited. The property was sold to Public Authorities Superannuation Board in 1984. The current owner of the property is Holdmark Properties Pty Limited.

Murray Brothers became Parramatta's oldest and highly respected departmental store with a policy of supplying the needs of residents in and around Parramatta. In 1978, Murray Brothers closed their doors, after 102 years of trading in Parramatta.<sup>4</sup>



Facade of Murray Bros. (Parramatta), drapers, wine and spirit merchants, 26 Oct 1964.

(Source: Fraser, Curly, State Library of NSW collections, Call Number Australian Photographic Agency – 17704)



Recent view of the Marsden Street frontage of the site. (Source: Google maps street view, <https://www.google.com.au/maps/>, accessed August 2015)

<sup>4</sup> Parramatta Heritage Centre, <http://arc.parracity.nsw.gov.au/blog/2014/05/11/murray-brothers-part-1/#more-526> and <http://arc.parracity.nsw.gov.au/blog/2014/06/02/murray-brothers-part-2/#more-525>, accessed 25/2/15

## 2.2 Historic Description of the Building

An article in the Sunday Times, 1925, provides a historical account of the Murray Bros company and a description of the building at 197 Church Street at the time of its opening.

### LEADERS OF COMMERCE IN PARRAMATTA

#### OLD FIRM'S NEW ENTERPRISE

Murray Bros. Erect Magnificent Department Store

The erection of a magnificent department store at the corner of Church and Macquarie streets, Parramatta, by Murray Bros. (Parramatta) Ltd., is another evidence of the confidence which has been so frequently displayed by this firm in the future of the district.

Leaders of commerce in every respect since the business was founded in 1876, Murray Bros. have always been right at the front in any movement intended to promote the progress of Parramatta. They have set the highest standards of business integrity, and their fame for efficient and fair dealing has led to the gradual extension of their activities, firstly throughout the whole of this part of the State, even to the Mountains, and afterwards into the distant country, so that, even as far outback as Bourke, they have found a clientele. No better tribute could be paid to this well-known business house than the plain statement of fact that there were people who became its customers when it was first established, whose names are still on its books.

The new store will carry every kind of merchandise, and following the policy which they have steadfastly pursued for nearly 50 years, the firm will offer in every department the highest quality of goods at the lowest possible prices. There has in the past been little need for Parramatta residents to shop in Sydney; there will be less when the new store is opened.

In short, it is the intention of Murray Bros. to give to the district a business establishment which will be in every respect equal to the best, in point of good service, to any in the metropolis.

The name of the governing director, Mr. William R. Murray, is, in itself, a surety for the fulfilment of the policy indicated. He has been associated with nearly every important civic undertaking during his long and honourable career in Parramatta, and has given abundant evidence that he possesses the highest ideals of public service. He is fortunate in having associated with him in his various activities, his son, Mr. G. L. Murray, who inherits his ability and character.

### THE NEW EMPORIUM

Facing that old and historic church of St. John's, the new building illustrated in these columns will be an ornament to Parramatta. It will be finished in February next.

This store, when finished, will be one of the largest outside the city area, and will constitute a general departmental store, embracing many new departments, in addition to those already carried out by the Firm. The building will be carried out in brick, with cement facings. Although the main portion of the building is only two storey, the total floor space amounts to approximately 24,000 square feet, on



the ground floor, and 17,000 on the top floor, the major portion of which will be devoted to Show Rooms.

A large portion of the ground floor will be carried out in polished jarrah wood parquet flooring, and the remaining flooring is Battleship linoleum on concrete. Lofty ceilings, few columns, and plenty of natural light, together with absolute fire protection by means of concealed Grinnell sprinklers, have been obtained, and the interior is being finished throughout in polished Queensland maple. On the ground floor a large double maple staircase, 10 feet wide, gives access to the upper floor.

Special consideration has been given to the offices and administrative block, which are situated in a central position in the building, with large strongroom accommodation, record rooms, etc. and a complete cash system, on the most modern lines, has been installed to save delay to customers.

A welcome innovation has been provided in the rest room accommodation for the men and women customers, with ample white tiled, hygienic lavatory accommodation adjoining. Large cart docks have been provided, capable of holding three large lorries at a time, with big despatch space and electric goods elevator from the upper floor. The whole of the first floor has been given over to furniture showrooms, and a large flat roof has been provided for recreation purposes for the Firm's staff. The whole of the interior of the shop is being fitted up in maple and glass show cases, millinery showrooms, fitting rooms, and all the latest types of fixtures suitable to each department, the main idea being to keep all saleable articles especially clothing, under glass, to protect them from becoming shop soiled.

The shop window display constitutes an important phase, and special attention has been given to the display of furniture by means of windows carried out after the style of rooms in domestic homes.

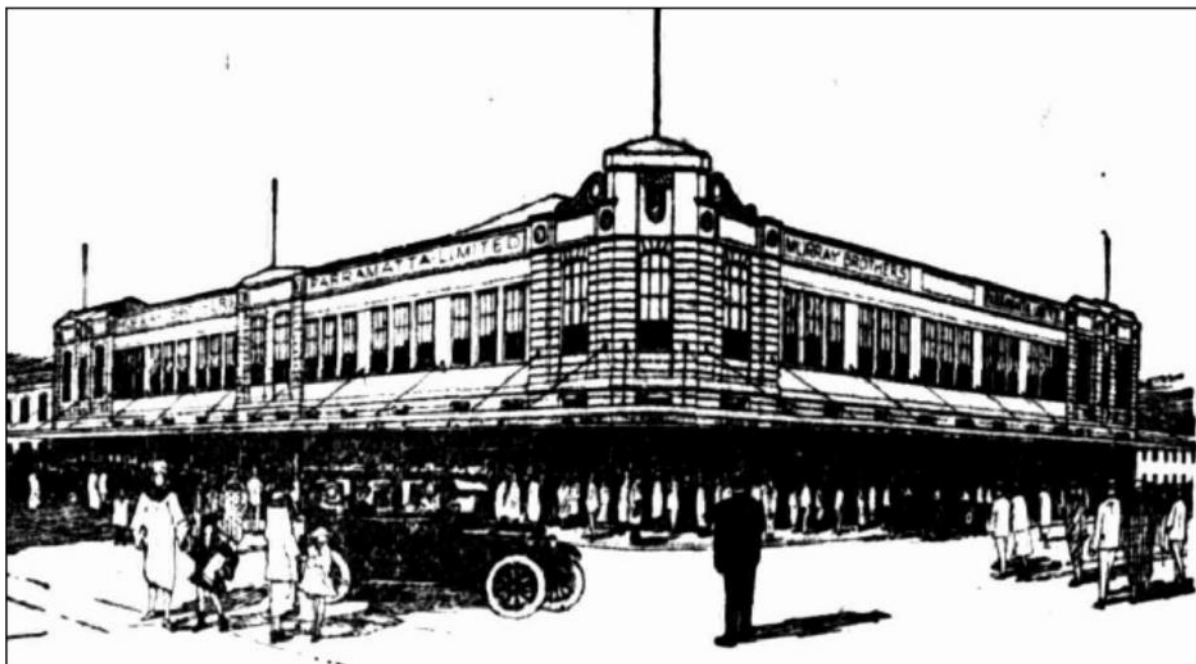
Altogether, the building has about 350 feet run of shop display windows fronting Macquarie and Church streets, with a big island window on the corner. Included in the building there is a special Sundae Shop, a complete unit, and in Macquarie-street, four large shops have also been allowed for. Provision has also been made for a suite of dental surgeries, waiting and workrooms, etc., and a photographic studio complete with workrooms, dark rooms, offices, waiting rooms, laboratory, etc. All the windows throughout the building are steel.

The fire sprinklers are being supplied and fitted by Dobson, Wormolds, Ltd., the cash system by Lamson Paragon Ltd., the ceilings throughout by Wunderlich's Ltd., sanitary work by Tylors Ltd., interior shop fittings by Bray and Holliday Ltd., steel windows by Crittall's Ltd., steel work by Sydney Steel Co. Ltd., bricks by Goodlet and Smith Ltd., strongroom door by Chubb's Ltd., shop fronts by Smith and Clark Ltd., lifts by the English Electric Co.

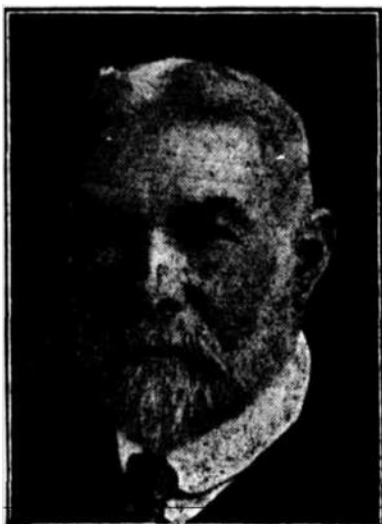
Contractors are Messrs. R. Wall and Sons, and the building is being carried out under the supervision of Messrs. Pitt and Morrow, architects, 154 Castlereagh street, Sydney.<sup>5</sup>

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<sup>5</sup> 1925 'LEADERS OF COMMERCE IN PARRAMATTA.', Sunday Times (Sydney, NSW : 1895 - 1930), 22 November, p. 4, viewed 10 August, 2015, <http://nla.gov.au/nla.news-article128162846>



ARCHITECT'S SKETCH OF NEW DEPARTMENTAL STORE



Governing Director: WILLIAM R. MURRAY.



Managing Director: MR. G. L. MURRAY.

(Source: 1925 'LEADERS OF COMMERCE IN PARRAMATTA.', Sunday Times (Sydney, NSW : 1895 - 1930), 22 November, p. 4, viewed 10 August, 2015, <http://nla.gov.au/nla.news-article128162846>)

## 2.3 Photographic Timeline

The following photographic timeline has been compiled from a number of historic sources to better understand the original form and finishes of the building and how these have changed over time. These photographs inform the Fabric Analysis in the next section.

### 2.3.1 Photographs and illustrations in the 1920s

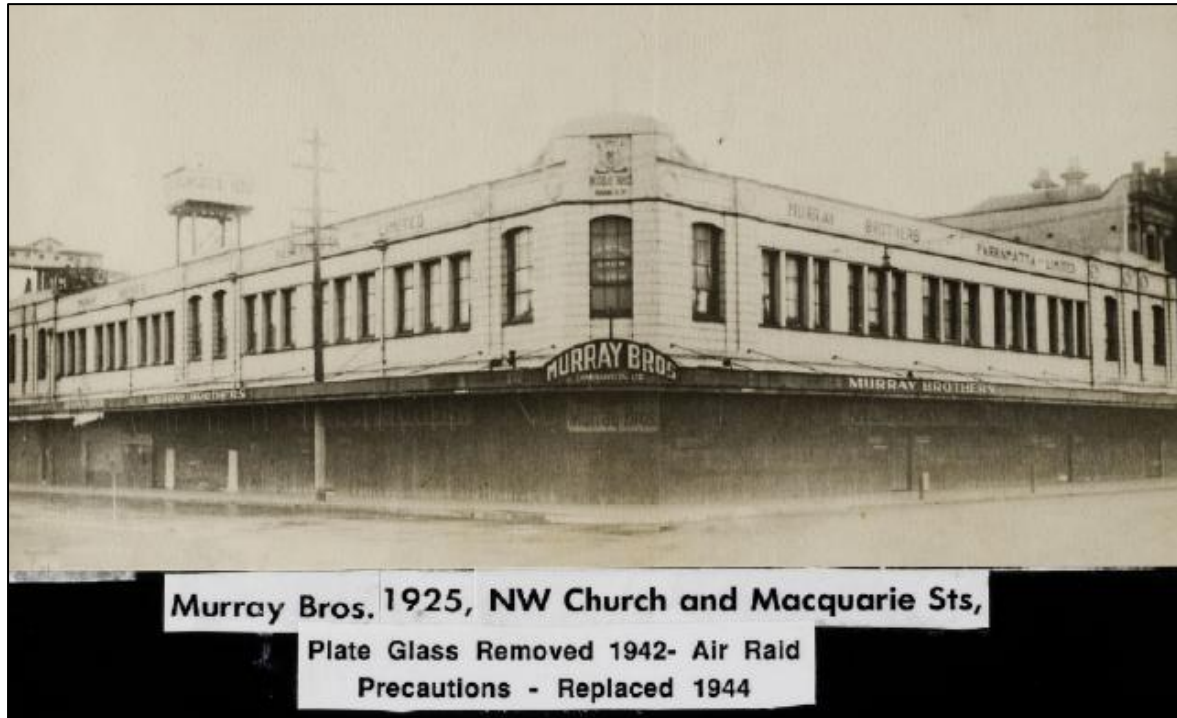


Figure 4: Photograph of the Murray Bros Building in the 1925. The photo notes that the plate glass was removed as an Air Raid precaution during WWII.

(Source: Parramatta Local Studies Photograph Collection/Local Studies Library, LSOP 673,

<http://heritagecentre.parracity.nsw.gov.au/search.do;jsessionid=170umwHGQTIXaxYhFIFwCgHI?id=90671&db=object&page=1&view=detail>)

### 2.3.2 Photographs and illustrations in the 1930s

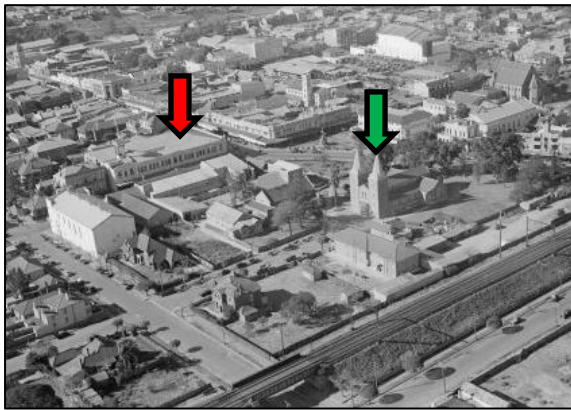


Figure 5: Aerial view, c.1935, with Murray Bros building (red arrow) and St John's Church (green). (Source: National Library of Australia, <http://nla.gov.au/nla.pic-vn4654271>)



Figure 6: Northwards view along Church Street, 1938, showing Murray Brothers building at intersection. (Source: <https://www.pinterest.com/pin/396176098444334996>, accessed 25/2/15)



Church Street, Parramatta, view of intersection with Macquarie Street looking north, c.1930s. (Source: Parramatta Local Studies Photograph Collection/Local Studies Library, LSOP 377, <http://heritagecentre.parracity.nsw.gov.au/search.do;jsessionid=170umwHGQTIxaxYhFIFwCgHI?id=90205&db=object&page=1&view=detail>)



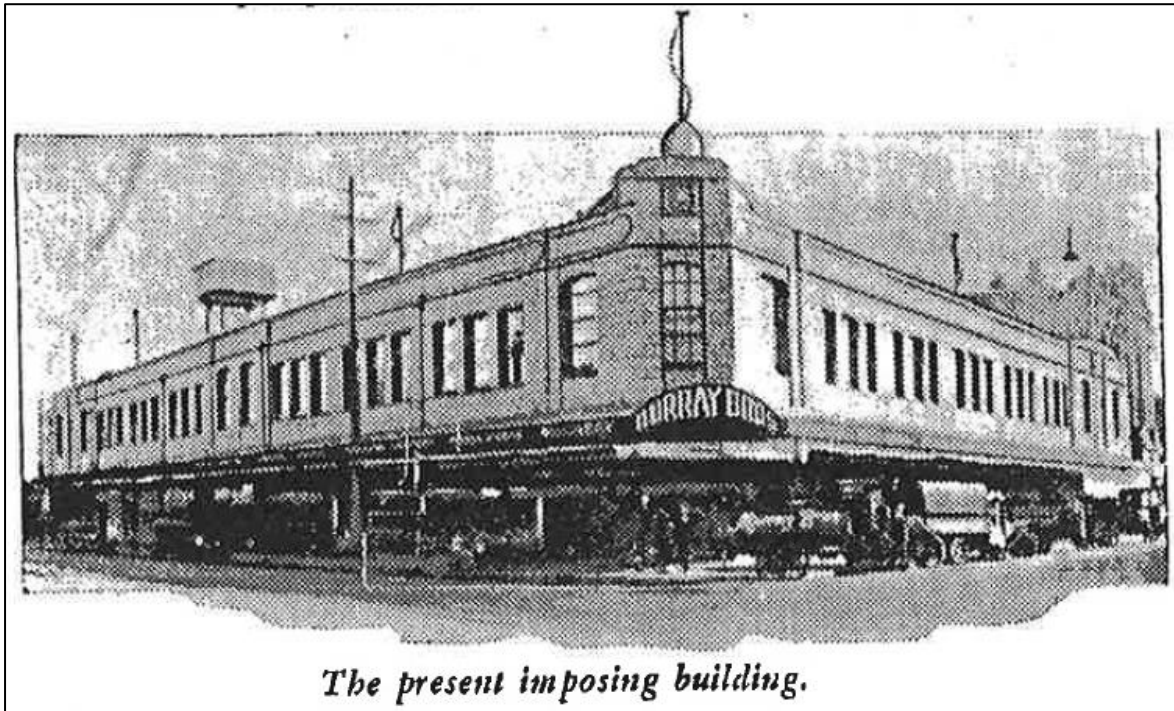


Figure 7: A depiction of the building in an advertisement in 1933.

(Source: Advertisement in Parramatta, 1788-1933, from Parramatta Local Studies Centre, VF648 & 649)



Figure 8: Church Street, Parramatta looking north with the Murray Brothers Department Store on the left and the "horse parapet" on the right, c.1930. Note the extensive 'Murray Bros Parramatta' signage and the flagpole at the corner.

(Source: Parramatta Local Studies Photograph Collection/Local Studies Library, LSOP 318,

<http://heritagecentre.parracity.nsw.gov.au/search.do;jsessionid=170umwHGQTIXaxYhFIFwCgHI?id=90140&db=object&page=1&view=detail>)





Figure 9: Detail of photograph dated 1939 showing Murray Bros store on the left, on Church Street, Parramatta. (Source: Parramatta Local Studies Library – photograph on display August 2015).

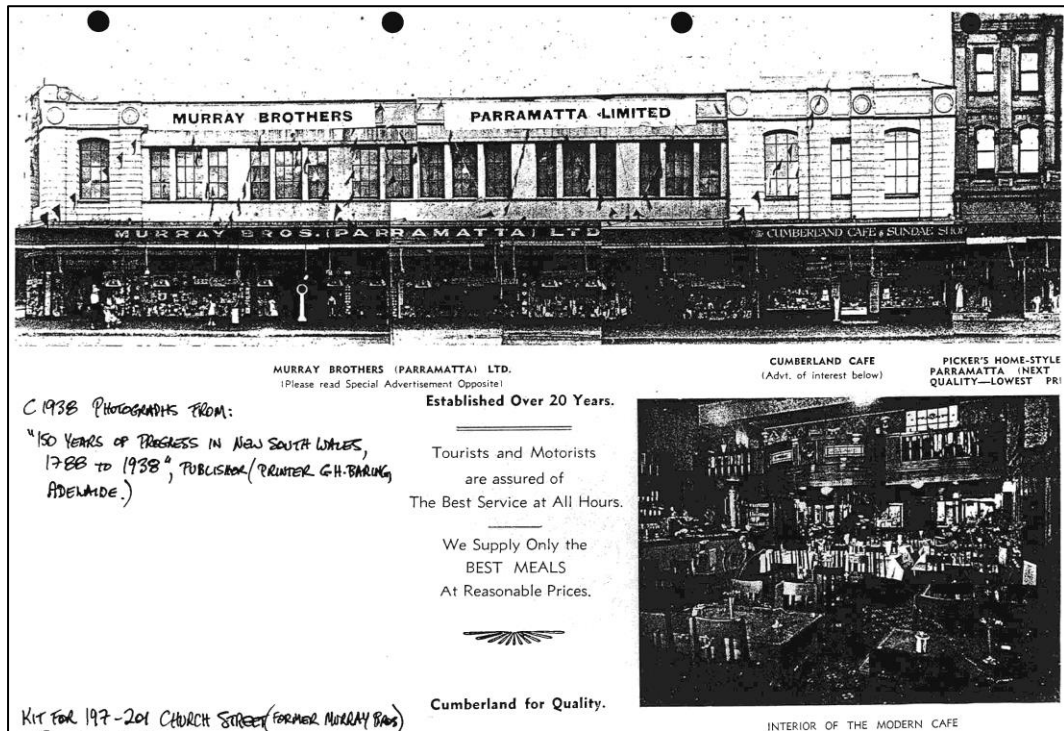


Figure 10: 1938 Photograph of the Murray Bros. Building Church Street façade with the Cumberland Café and Sundae Shop at right, and lower right, an internal view of the café. (Source: Church Street Colour Scheme - Inventory Sheet for Advance Bank Corner, former Murray Bros, 197-201 Church Street, cnr Macquarie Street, Parramatta, Parramatta Local Studies Collection)



Figure 11: Photograph of Staff of Murray Bros. Parramatta Ltd, 1939, outside the store. In the background the original shop windows are visible with internal curtains. The windows at the ground floor appear to be steel framed smaller panels, similar to the upper floor levels which remain today. (Source: Parramatta Local Studies Centre, VF648 & 649)



### 2.3.3 Photographs and illustrations in the 1940s



Figure 12: Aerial photograph in 1943 showing the roof of the Murray Bros Building. (Source: NSW Department of Lands, Spatial Information Exchange, <https://maps.six.nsw.gov.au/>, accessed August 2015)



Figure 13: Murray Bros Parramatta Soft Furnishings Department, 1948. Note the custom joinery for storage and displays. (Source: Parramatta Local Studies Centre, VF648 & 649)

#### 2.3.4 Photographs and illustrations in the 1950s



Figure 14. Southwards aerial view, c. 1950, showing St John's Church and Murray Brothers building (arrow) at corner of Church and Macquarie Streets. (Source: McClymont, John. *Pictorial History Parramatta & District*. Alexandria: Kingsclear, 2001, p. 89)

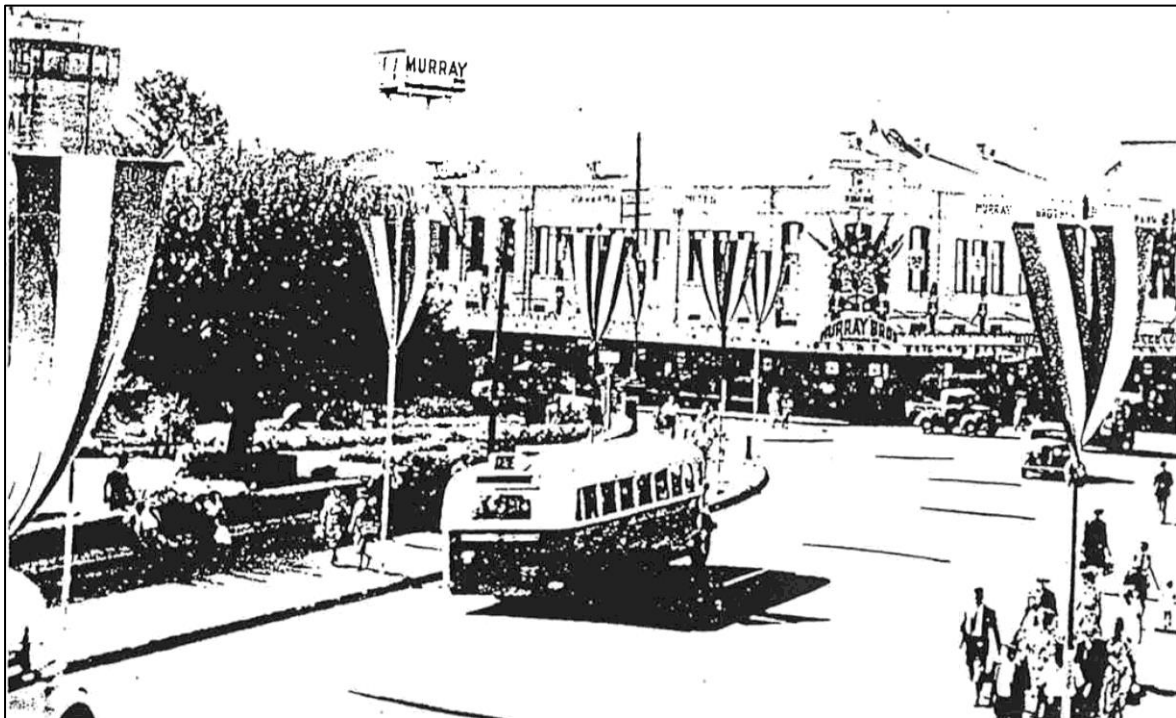


Figure 15: Photograph of Murray Bros store decorated for the visit of HRH Queen Elizabeth II in 1954. (Source: Church Street Colour Scheme - Inventory Sheet for Advance Bank Corner, former Murray Bros, 197-201 Church Street, cnr Macquarie Street, Parramatta, Parramatta Local Studies Collection)



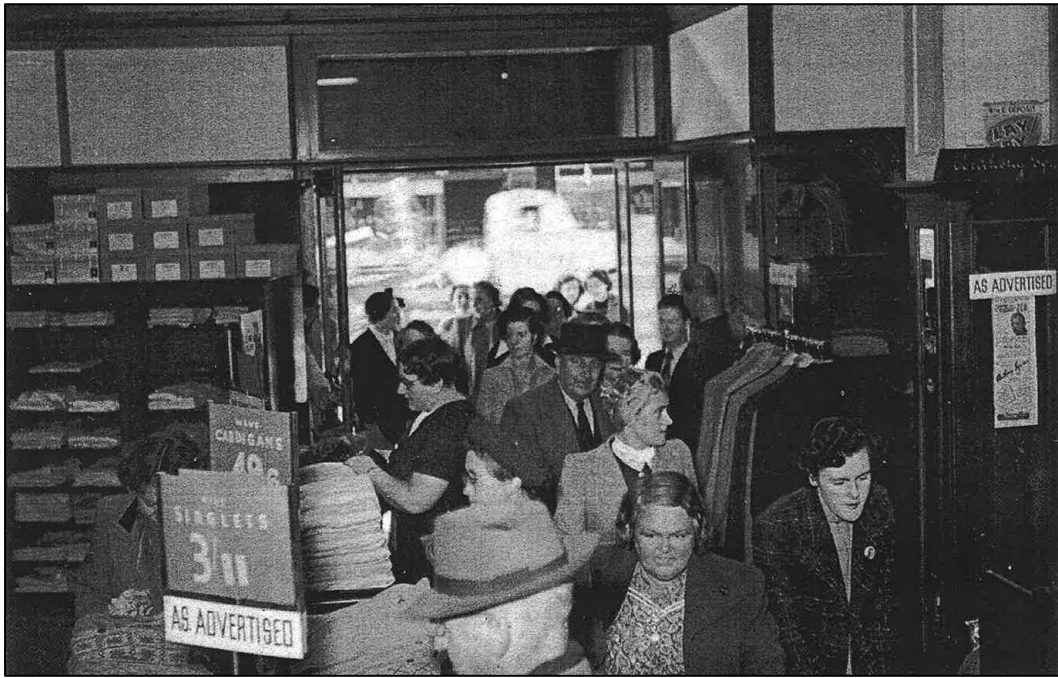


Figure 16: Old entrance to Mercery Department, Church Street, 1950s. Visible is one of the two main store entrances, along with the swinging doors at the entry, glazing, and timber panelling to the interior on the right hand side. (Source: Parramatta Local Studies Centre, VF648 & 649)

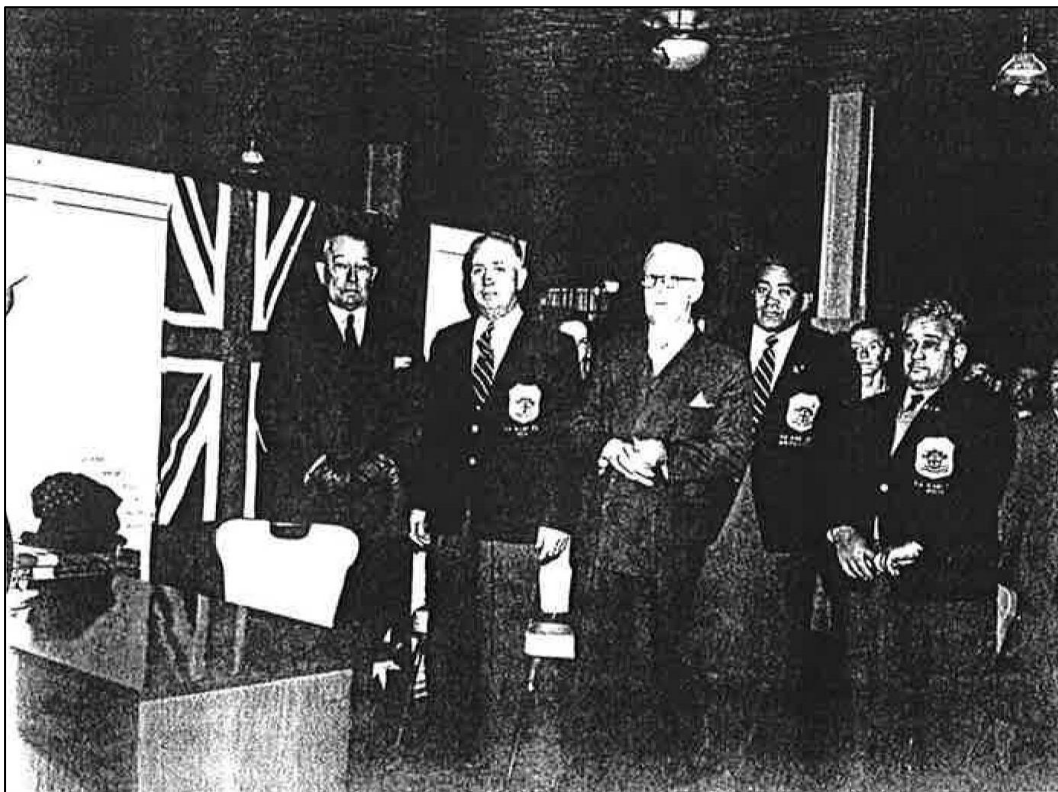


Figure 17: Photograph in the interior of the Murray Bros. Building (undated, c.1950s). Note the square section columns in the background, suspended lamps and pressed metal ceilings. (Source: Parramatta Local Studies Centre, VF648 & 649)





Figure 18 (top): Staff of the Lay-by department at Murray Brothers Department Store, Parramatta, 1951. The photograph shows fine timber joinery/panelling in the interior of the store.

Figure 19 (bottom): Staff in the accounts department at Murray Brothers Department Store, Parramatta, circa 1951. Note the fine timber panelling creating internal partitions, and in the background the circular and square section columns, pressed metal ceilings and suspended lamps.

(Source: Parramatta Local Studies Photograph Collection/Local Studies Library, LSOP 289 & 291, <http://heritagecentre.parracity.nsw.gov.au/search.do;jsessionid=170umwHGQTXaxYhFwCgHI?id=90168&db=object&page=1&view=detail>)

### 2.3.5 Photographs and illustrations in the 1960s

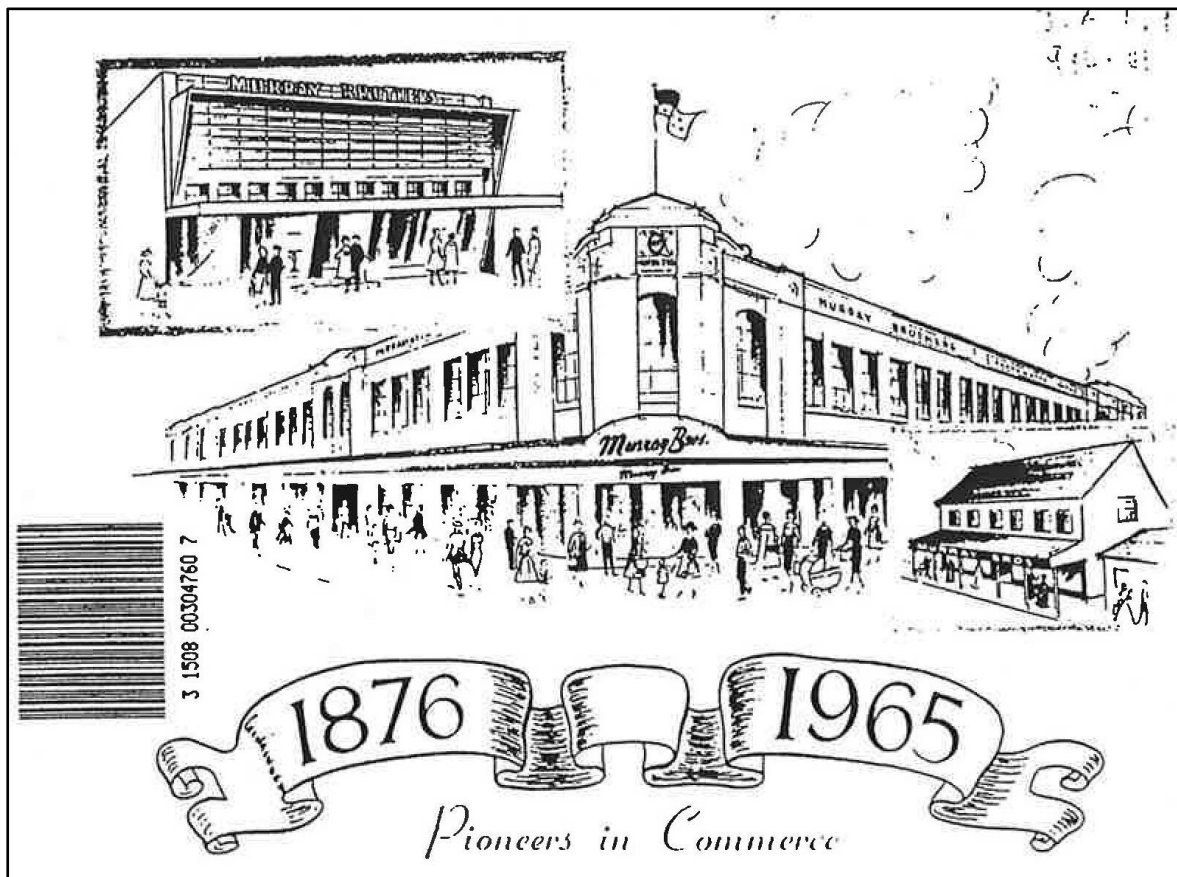
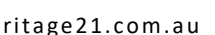


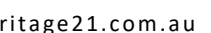
Figure 20: Illustration of Murray Bros Building in 1965, including the new additions on Marsden Street (inset top left) and the original Murray Bros Store on another site on Church Street (inset bottom right). (Source: Church Street Colour Scheme - Inventory Sheet for Advance Bank Corner, former Murray Bros, 197-201 Church Street, cnr Macquarie Street, Parramatta, Parramatta Local Studies Collection)





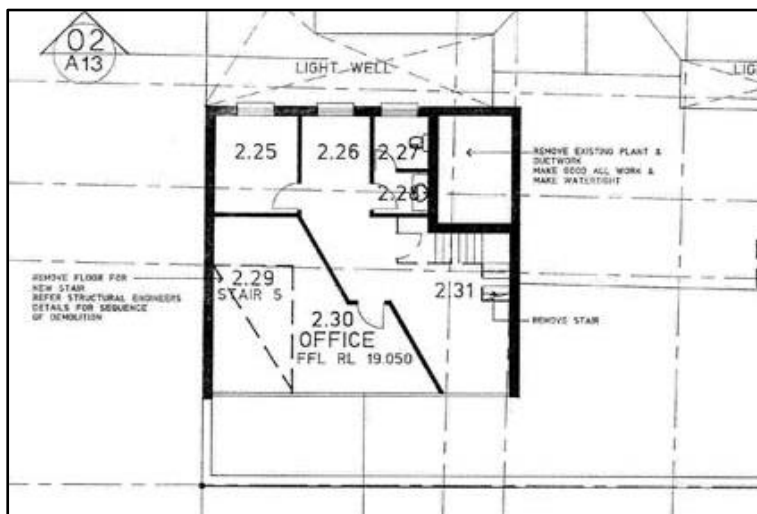
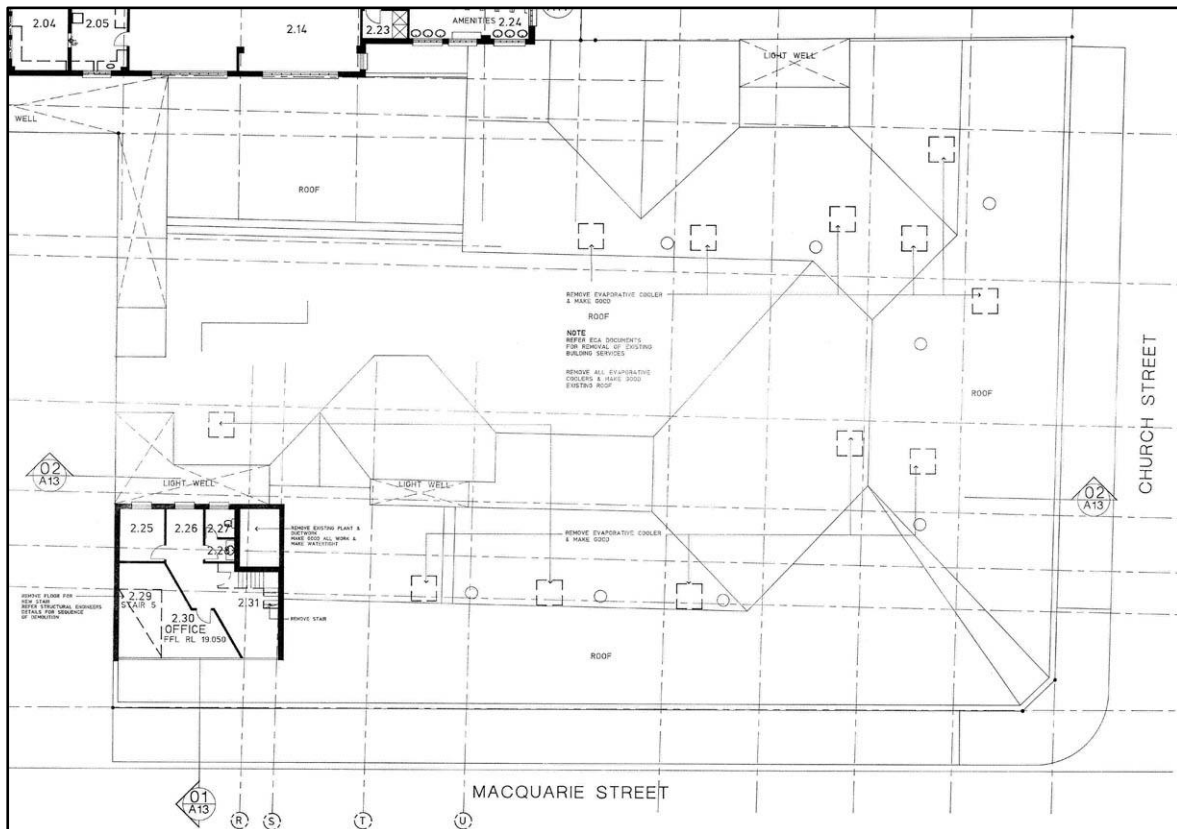


Job No. 2412



Job No. 2412





### Section of Second Floor / Roof plan

The demolition plan identifies the following fabric as existing in 1992:

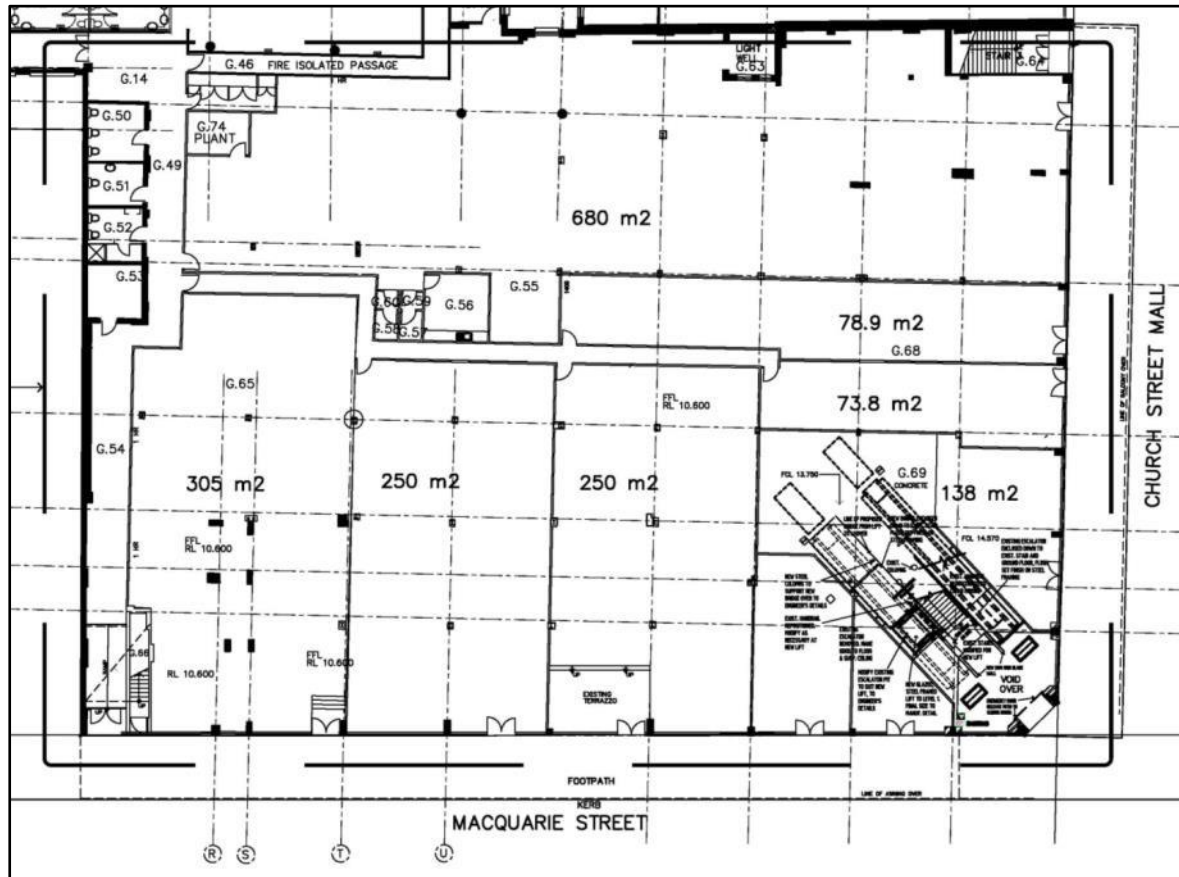
- Staircase to caretakers flat (not present today).
- Layout of caretakers flat is similar to existing today.
- Evaporative coolers are located on the roof.



- The elevations show a proposed new glazed balustrade and new balcony and balustrade. Demolition of the original awnings was proposed. Although the awnings existing today has pressed metal undersides, based on historic and current photographs it does appear to have been raised and the structure altered (tie rods no longer visible).
- All three windows near the corner are altered with a new pre-cast arch and removal of brickwork to create wider windows (see photo at left with five panes of glass across – formerly three).
- A new glazed awning is proposed at the corner (present today)
- Lintels and brickwork above the ground floor corner window are removed. New steel framed glazing is added (see photo at left).

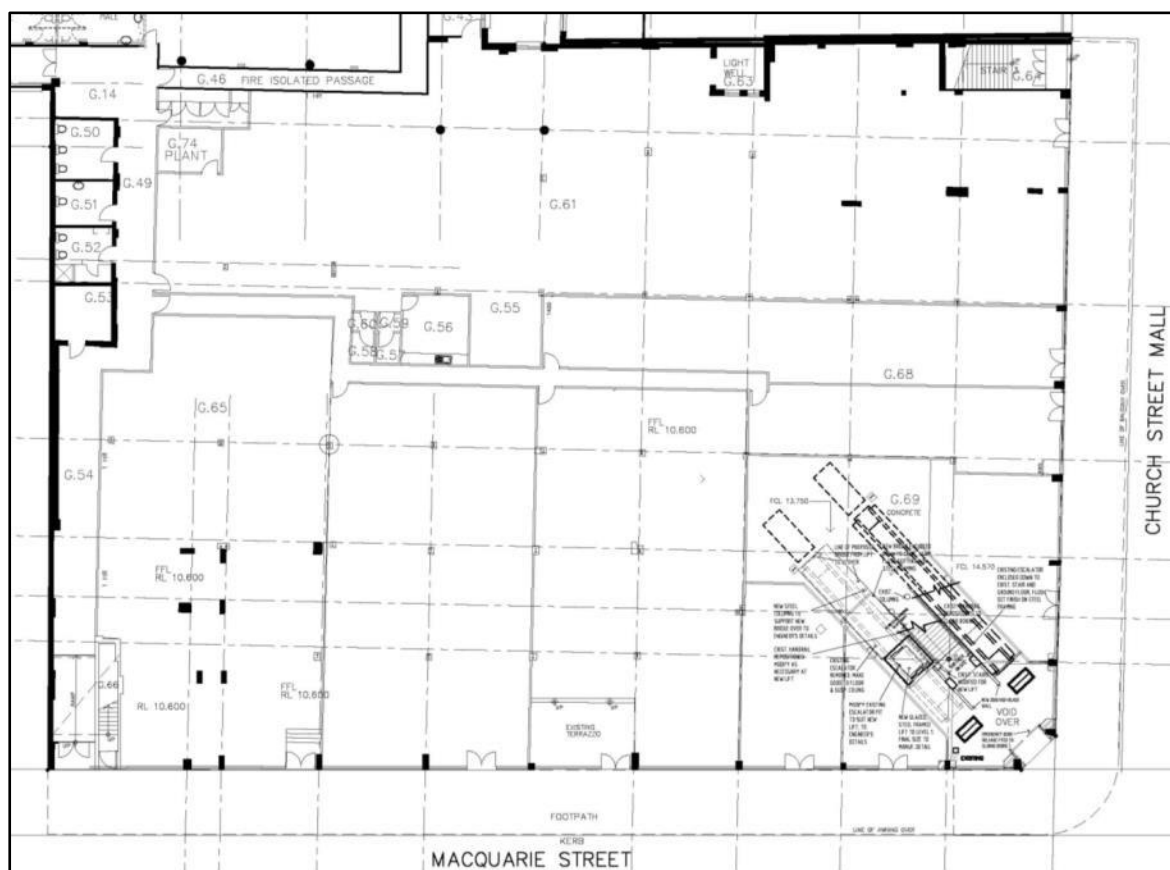
## 2.5 Review of plans dated 2008

The following plans were prepared for a Development Application for the site in 2008 by Grant Simmons Architects and have been provided to Heritage 21 by the architect. Comments made are based on the items in the plans identified as existing at the time of preparation.



Section of site and location plan

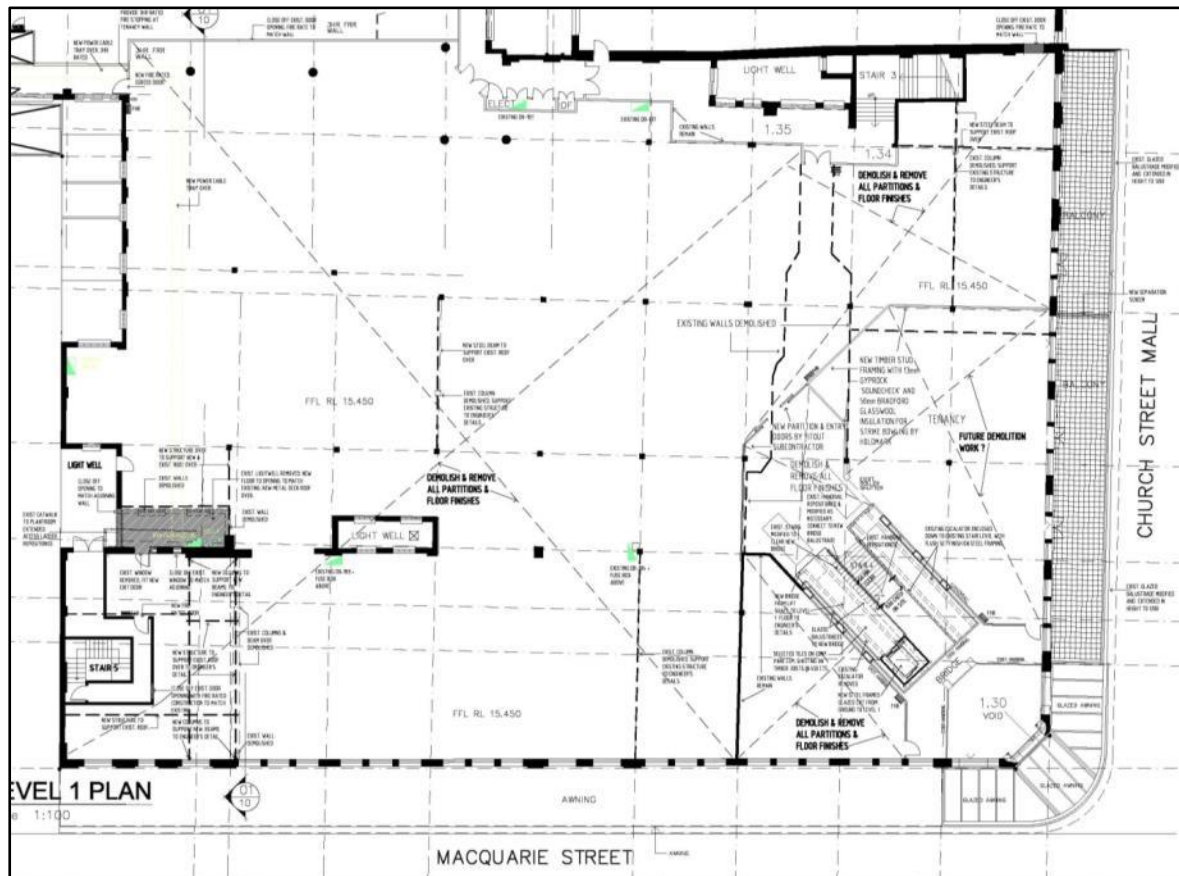
- This plan shows the ground floor tenancies (five on Macquarie Street and four on Church Street) all with access from Church Street and the size of the tenancies which vary. The layout has changed since 1992 when there are four tenancies shown on Macquarie Street and three on Church Street.
- Other internal details are discussed under the next plan.



**Section of Ground Floor plan**

- This plan shows the ground floor tenancies (four on Macquarie Street and four on Church Street) all with access from Church Street. The number of tenancies and the access points have been modified since 1992.
- The corner of the shopfront is shown with two escalators, both noted as existing.
- The entry point on Macquarie Street has terrazzo flooring.
- A number of service rooms are located on walls near the rear of the building and service corridors run throughout the interior.
- The layout of internal columns is irregular (not in a consistent grid) and appears to have been modified in some areas from walls based on the different sizes of columns. Column forms include round sections, different sizes of square sections and rectangular sections. Based on early photograph, it is likely that the original columns are the small square sections.
- The external walls are mostly glazed with some small masonry sections remaining.

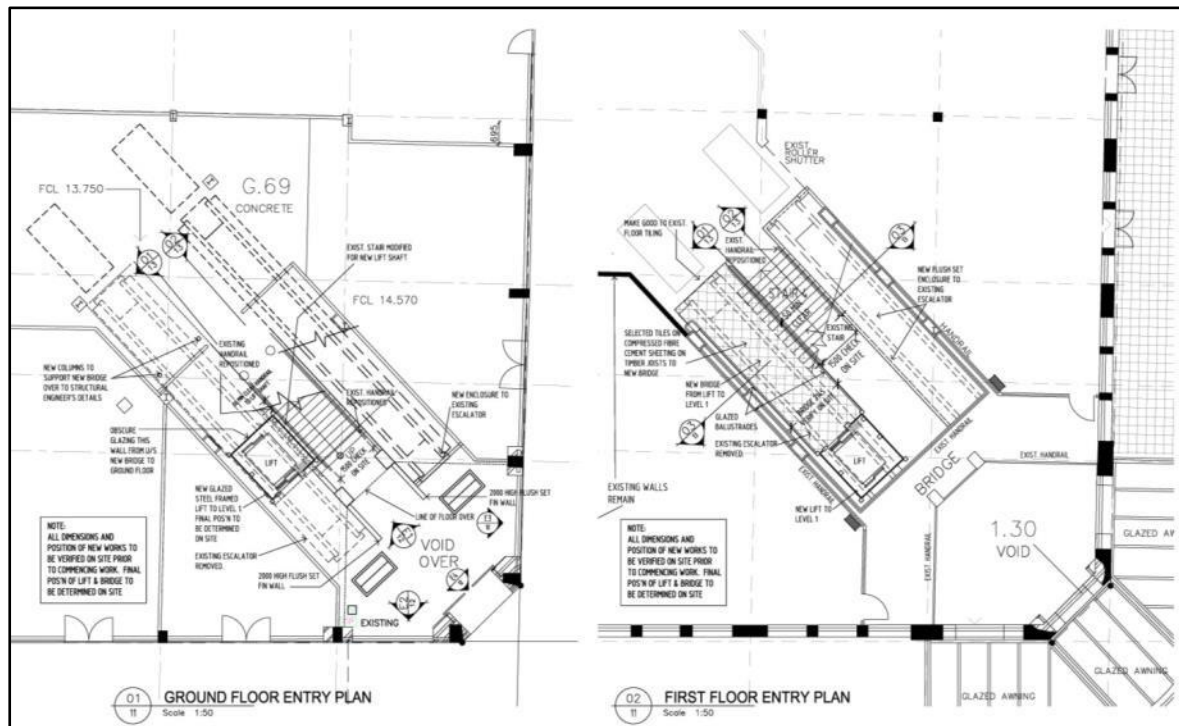




Section of First Floor plan

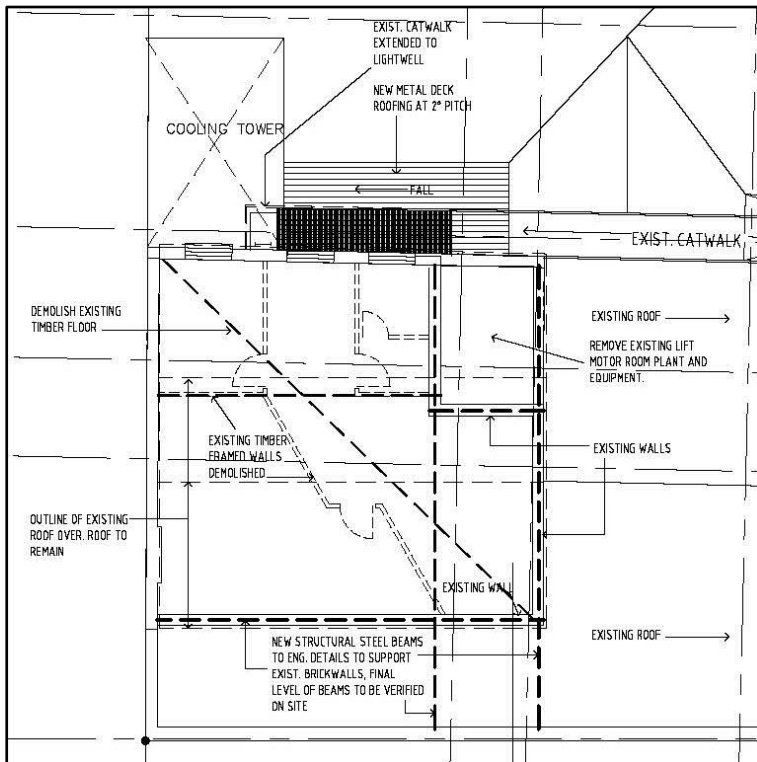
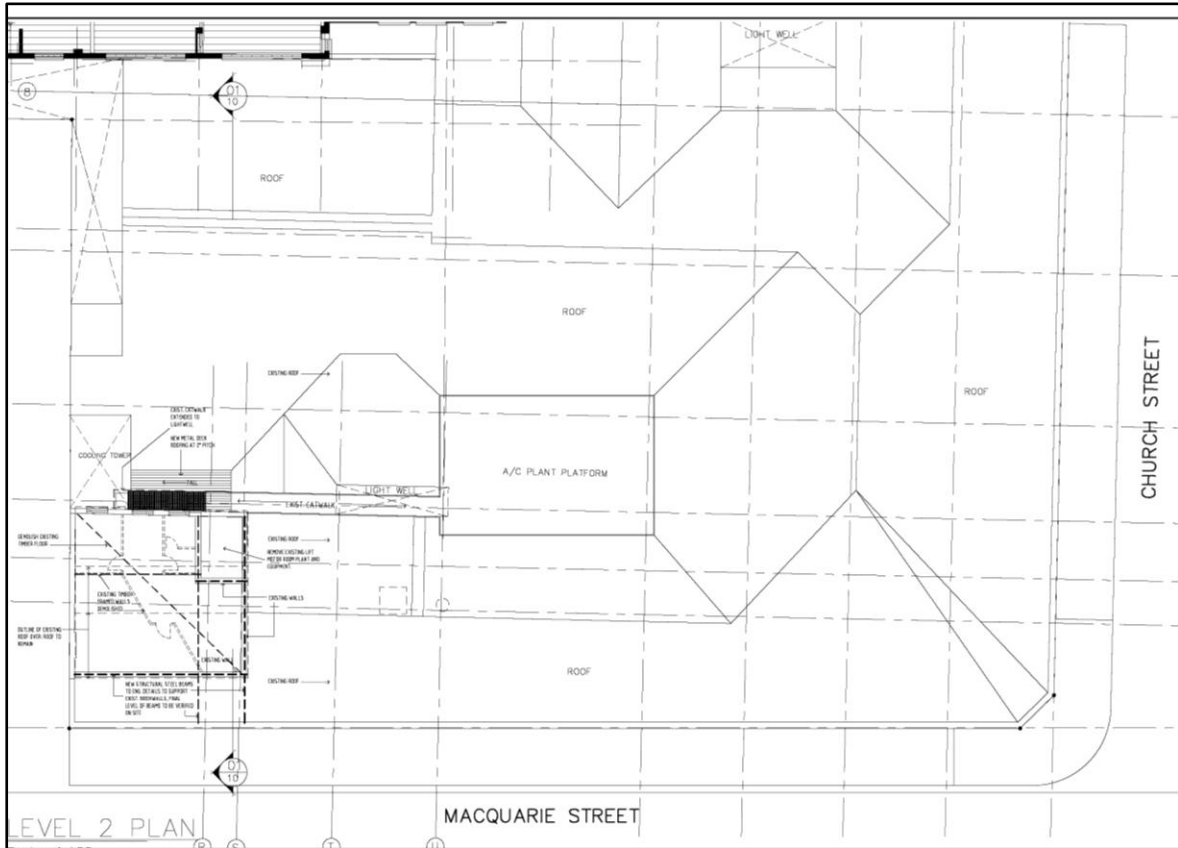
- The first floor consists of two tenancies, a larger area to the west and a smaller area to the east, separated by a corridor running from the escalators towards the north.
- The plan indicates that there are existing internal partitions in the main tenancy space and a number of internal walls are identified as existing along the tenancy boundaries.
- The reflected ceiling plan (not shown) states that ceilings in the foyer areas flush set plasterboard.
- The layout of internal columns is irregular (not in a consistent grid) and appears to have been modified in some areas from walls based on the different sizes of columns. Column forms include round sections, different sizes of square sections and rectangular sections. Based on early photograph, it is likely that the original columns are the small square sections.
- The external walls are all glazed in the original steel windows although the western side facing Church Street has had some windows converted to doors to allow doors to access a balcony area. The corner area appears to have been modified when the void area was created.
- The awning is intact around the perimeter, although the glazing above the corner is a modification from the original form. The Church Street side of the awning has an accessible balcony area.





Ground and First Floor entry plan

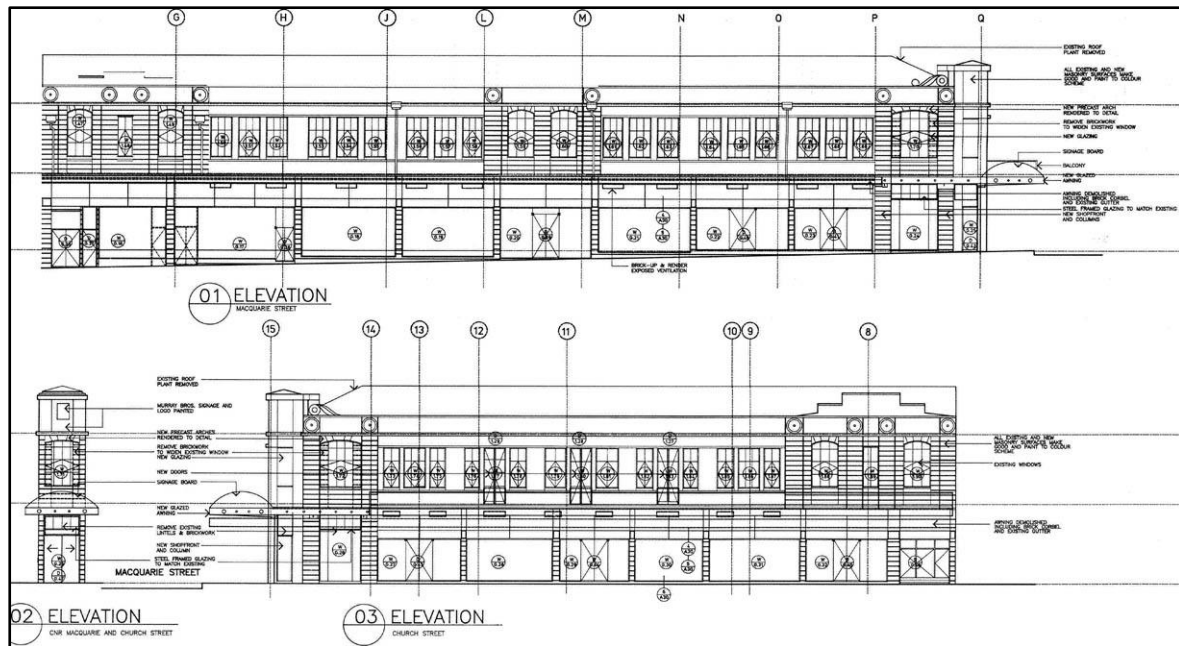
- The plan shows the entry foyer as having access from the street corner, a double height void with bridge above, two escalators and a central staircase. There is no existing lift shown at this time.
- The existing floor finish in the first floor corridor is identified as tiling.



### Section of Level 2 plan

(Detail of Caretakers Flat to left)

- The plan shows the layout of the caretakers flat (dotted walls). No staircase access is shown.



### Section of Street elevations

- The plan identifies exposed ventilation on the Macquarie Street façade to be bricked up and rendered (likely to be an earlier modification)
- The Church Street frontage shows the modified openings for doors on the added balcony area above the awning. The balcony is shown with a glazed balustrade.

## 2.6 Current conditions of the building

### Physical Description

The NSW Heritage Branch Inventory Sheet for the property provides the following physical description of the building:<sup>6</sup>

Two storey Inter-War Stripped Classical store of stuccoed brickwork. Rendered brick walls have decorative stringline and parapet above entablature and splayed entrance. Memorial stone inscribed in parapet reads: 'Murray Bros. Parramatta Ltd.' with paterie decoration either side of memorial and above entrance. Front doors are replacement glass doors to modern entrance with escalator beyond. Awning is flat, with Wunderlich ceilings to both street frontages, on Church Street side strengthened to support balcony seating.

...

This item historically significant.

This item is aesthetically significant.

This item is representative.

### Building photograph in 2004



Figure 21: c.2004 photograph of the Murray Brothers Building on the subject site. (Source: NSW Office of Environment and Heritage – State Heritage Inventory – Database No. 2240108)

<sup>6</sup> NSW Office of Environment and Heritage – State Heritage Inventory – Database No. 2240108



The following photographs showing the current conditions of the building were taken by Heritage 21 on 3 July 2015 and 10 August 2015:

### Exterior façades and awnings



Figure 22: View of the building from the corner of Macquarie (left) and Church (right) streets.



Figure 23: Western end of Macquarie Street façade.



Figure 24: Western end of Macquarie Street façade.



Figure 25: Eastern end of Macquarie Street façade.



Figure 26: Southern end of Church Street façade.



Figure 27: Church Street façade.



Figure 28: Northern end of Church Street façade.



Figure 29: Wall and awning detail at northern end of Church Street façade.



Figure 30: Detail of pressed metal undersides of awnings.



Figure 31: Awning on Church Street, looking north.



Figure 32: Awning on Macquarie Street, looking west.



### Ground floor shop interiors (selected examples)



Figure 33: Interior of Art Shop on Macquarie Street showing contemporary finishes and modified columns.

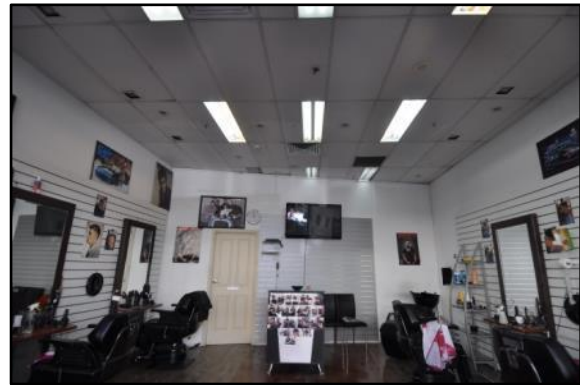


Figure 34: Interior of Barber Shop on Macquarie Street showing contemporary finishes.

### Ground floor foyer interior

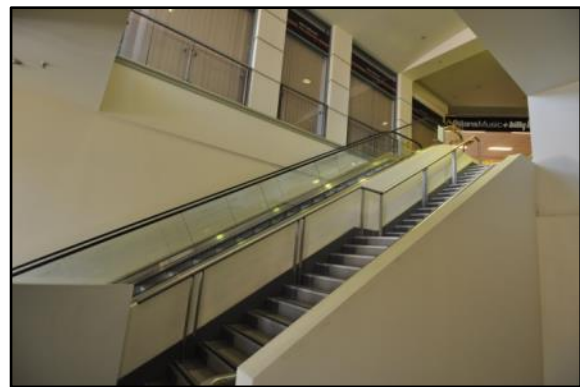
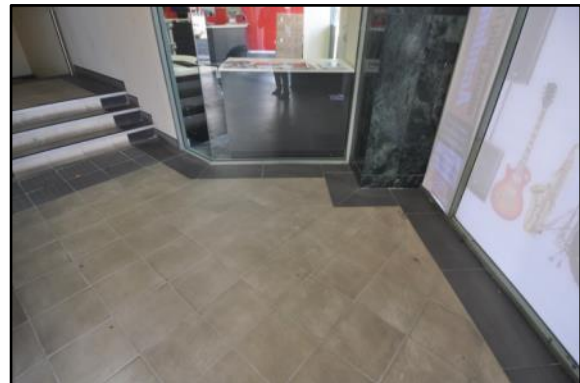


Figure 35: Photographs showing the interior of the foyer areas at Ground Floor, the escalator, staircase and lift.

## First floor foyer interior

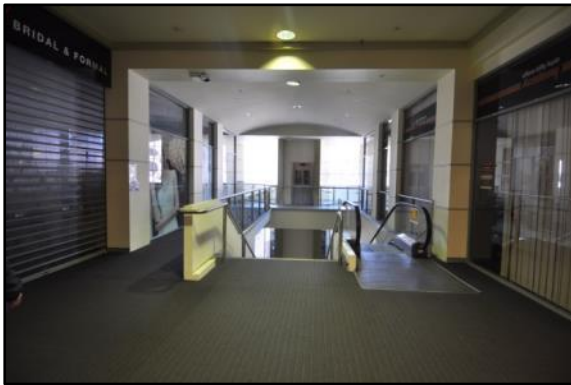


Figure 36: View towards shopfront corner from first floor interior showing escalator and stairs.

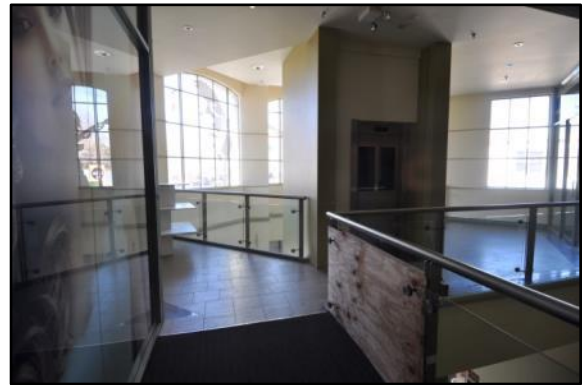


Figure 37: View of bridge above the foyer area.



Figure 38: View from bridge to corridor on first floor.



Figure 39: View above the foyer area.

## First floor corridor



Figure 40: View along corridor on first floor towards rear of building. Contemporary wall, floor and ceiling finishes.



Figure 41: Steel windows in service corridor at rear of building. Contemporary wall, floor and ceiling finishes.





Figure 42: Service corridor at rear of building. Contemporary wall, floor and ceiling finishes.



Figure 43: Service corridor at rear of building. Contemporary wall and ceiling finishes and round profile column.



Figure 44: Service corridor at rear of building. Contemporary wall, floor and ceiling finishes. Original steel windows.



Figure 45: Steel windows in service corridor at rear of building. Contemporary wall, floor and ceiling finishes.

### First floor – Service area at rear of building

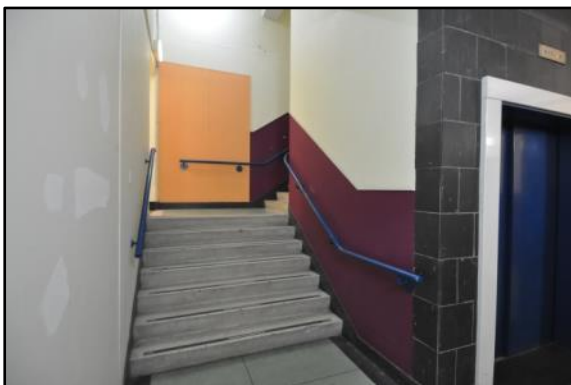


Figure 46: Service area lift and staircase at rear of building on first floor.

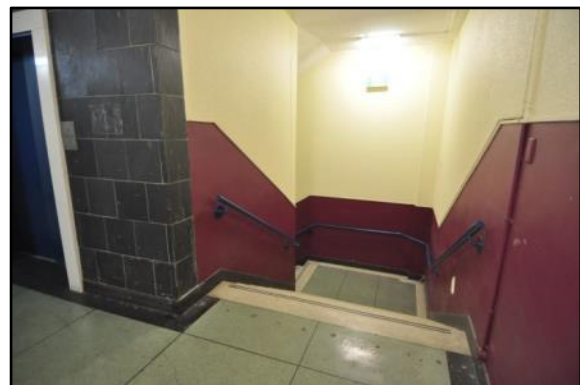


Figure 47: Service area lift and staircase at rear of building on first floor.

**First floor – Music Store tenancy interior**

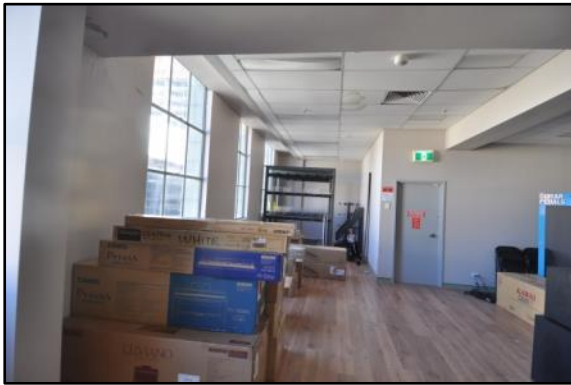


Figure 48: Interior with contemporary wall, floor and ceiling finishes and bulkheads of former rooms below caretakers flat. Original steel windows.

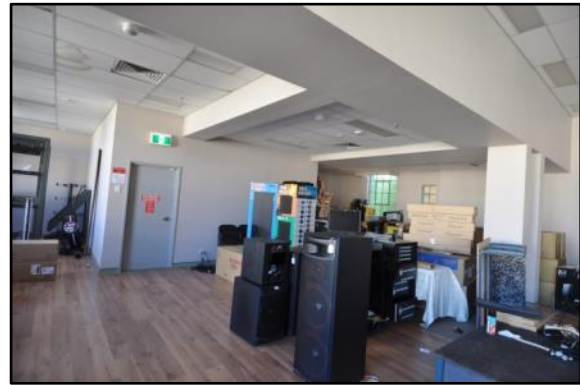


Figure 49: Interior with contemporary wall, floor and ceiling finishes and bulkheads of former rooms below caretakers flat. Original steel windows.

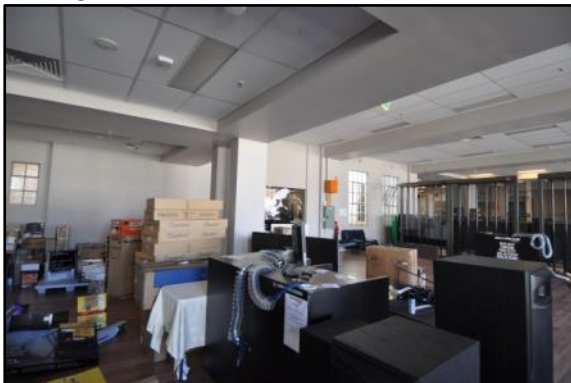


Figure 50: Interior with contemporary wall, floor and ceiling finishes and bulkheads of former rooms below caretakers flat. Original steel windows.



Figure 51: Interior with contemporary wall, floor and ceiling finishes. Original steel windows to lightwell.



Figure 52: Detail of steel windows to light well showing hopper style openings and corrosion.

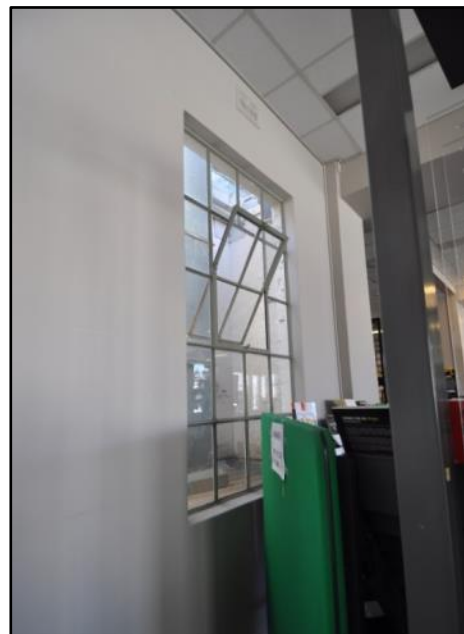


Figure 53: Detail of steel windows to light well showing swivel style openings.

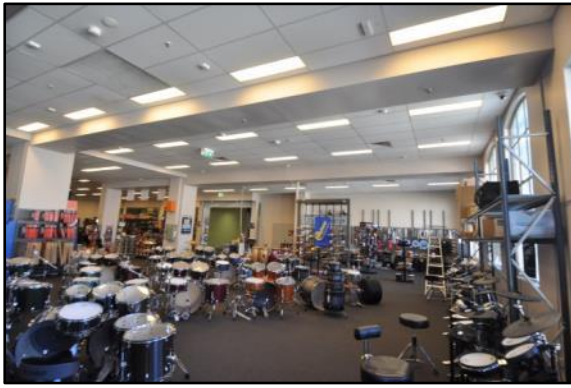


Figure 54: Interior with contemporary wall, floor and ceiling finishes and bulkheads of former partitions/structural supports.

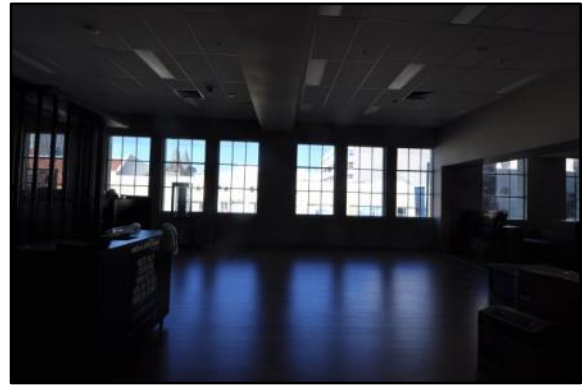


Figure 55: Detail of steel windows to Macquarie Street from interior of Music Store.

#### First floor – Bridal Store tenancy interior



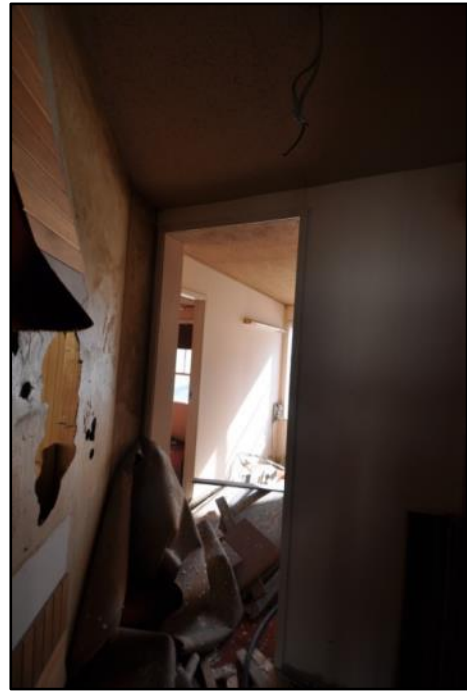
Figure 56: Interior with contemporary wall, floor and ceiling finishes. Modified steel windows at right for doors to balcony.

#### Second floor – Caretakers Flat interior

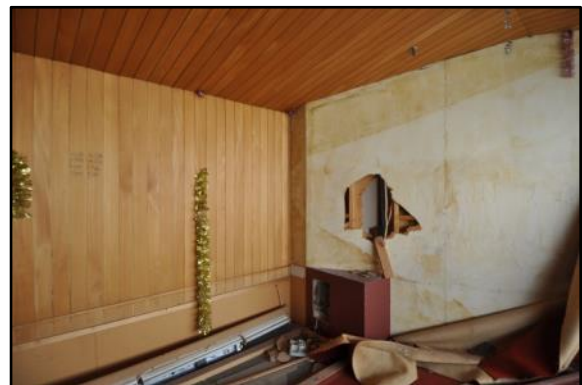


Figures 57 & 58: South-east corner. Services have been inserted into the space. Linings are not original and are peeling away. Most surfaces in poor condition and damaged.





Figures 59 & 60: Central corridor. Linings are not original and are peeling away. Most surfaces in poor condition and damaged.

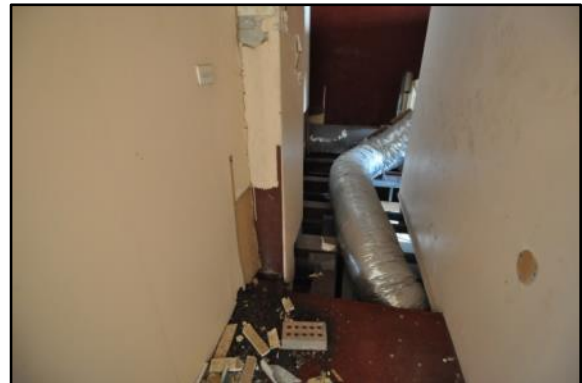


Figures 61, 62, 63 & 64: Main room on south side. Linings are not original and are peeling away. Most surfaces in poor condition and damaged. Timber flooring and masonry wall visible.

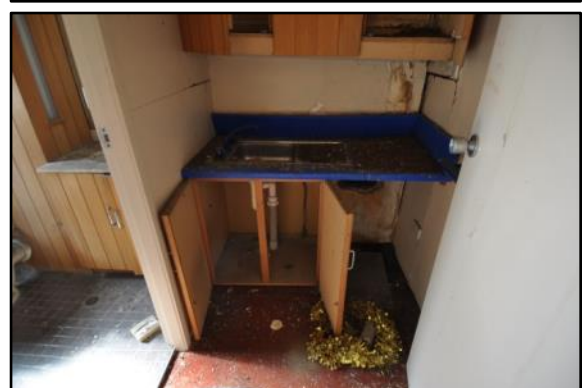




Figures 65 & 66: Interior of room at north-west corner. Linings are not original and are peeling away. Most surfaces in poor condition and damaged.



Figures 67 & 68: Room on north (left) and corridor where former staircase was. Linings are not original and are peeling away. Most surfaces in poor condition and damaged. Services have been inserted into the space.



Figures 69, 70, 71 & 72: Kitchenette/bathroom areas at north-east corner. Fixtures and finishes are not original. Most surfaces in poor condition and damaged. Timber flooring and masonry wall visible.

### 3.0 FABRIC ANALYSIS

#### 3.1 Treatment of Fabric

Not all building fabric is of such significance as to warrant conservation on an equivalent level. This assessment looks at the significance and condition of fabric and the extent and approximate dates of prior changes to make recommendations for appropriate conservation actions.

Table 1 shows the significance gradings used and their explanation. Different components of a place may make a different contribution to the heritage value of a place. Fabric is graded in accordance with NSW Heritage Practice using the following rating system: ‘exceptional’, ‘high’, ‘moderate’, ‘little’ or ‘intrusive’.<sup>7</sup> Fabric identified in this report as being of exceptional, high and moderate significance should be retained and conserved. Fabric identified as being of little significance may be modified or removed if such change is appropriate for the ongoing conservation of the place. Fabric identified as being intrusive should be removed.

Key	Significance	Justification
E	EXCEPTIONAL	Rare or outstanding element directly contributing to an item’s local and State significance.
H	HIGH	High degree of original fabric. Demonstrates a key element of the item’s significance. Alterations do not detract from significance.
M	MODERATE	Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item.
L	LITTLE	Alterations detract from significance. Difficult to interpret.
I	INTRUSIVE	Damaging to the item’s heritage significance.

Table 1: Significance gradings for fabric

Table 2 shows the condition gradings used and their explanation.

Key	Condition	Explanation
VG	VERY GOOD	Little or no deterioration.
G	GOOD	Stable fabric unlikely to require much attention in the next 5 years other than regular inspections and maintenance as required.
F	FAIR	Fabric of less stable integrity requiring monitoring in the next 5 years. Likely to require sundry repairs/conservation.
P	POOR	Fabric identified as having lost its essential structural integrity on the basis of observed deterioration. Likely to require essential maintenance and repair in the immediate to medium term.
VP	VERY POOR	Fabric requiring immediate attention due to its observed dilapidation.

Table 2: Condition gradings for fabric

<sup>7</sup> Assessing Heritage Significance (NSW Heritage Manual update, 2001)

### 3.2 Fabric Analysis by area

In a site walk-through of the building with Zoran Popovic (Heritage Advisor, Parramatta City Council), it was identified that four components of the former Murray Bros building should be the subject of a Fabric Analysis to assess their significance. The components identified were:

1. Exterior façade;
2. Street awning;
3. Internal structural layout and open department store character; and,
4. Caretaker's flat (Level 2).

Each of these components is assessed in following subsections.

3.2.1 Fabric Analysis of Exterior Façade	
Description:	The building is a two storey Inter-War Stripped Classical style store of cement stuccoed brickwork. Rendered brick walls have decorative stringline and parapet above entablature and splayed entrance. Memorial stone inscribed in parapet reads: 'Murray Bros. Parramatta Ltd.' with paterie decoration either side of memorial and above entrance. The first floor is composed of regular bays within which are set multi-paned steel framed windows creating repetition along the façades. The ground floor is composed of contemporary glass shopfronts set within the original structural grid. A main entrance has been added at the building corner (formerly two separate entries, one on each façade).
Modifications:	<p>The first floor façade has relatively few modifications. Those noted are:</p> <ul style="list-style-type: none"> <li>• Widening of three windows at corner from three panes wide to five panes wide</li> <li>• Modification of some windows to doors on Church Street Façade to access the balcony above the awning</li> <li>• Painted signage on the parapet has been removed</li> <li>• The former flagpole at the corner and water tower on the Macquarie Street façade has been removed.</li> </ul> <p>Alterations to the façade at the ground floor are noted in the plans, history and physical evidence on the site:</p> <ul style="list-style-type: none"> <li>• Access added at corner and foyer area added (the original building had an entry on each street)</li> <li>• Shopfronts and access points altered multiple times to suit many changing tenants</li> </ul>
Overall Condition Assessment:	<p>Good</p> <p>The façades appear from a visual inspection to be generally in good condition. Some minor areas of peeling paint were noted.</p>
Overall Significance Assessment:	<p>High</p> <p>The first floor façades are generally highly intact and the alterations are sensitive and do not detract from the significance of the building.</p>

	Although the ground floor has been altered more extensively, the original bay structure has been retained along with the shopfront character.
Recommended conservation action:	The building façade is highly intact above the awning and alterations do not detract from its significance. It is recommended that the first floor is retained and the ground floor which has been more extensively altered is retained and adapted for changing uses as necessary. Changes to the ground floor should respect the structural bay and traditional run of shopfront windows within each structural bay set out in the original building. The exterior façade should be repainted in accordance with the Parramatta City Council Church Street Colour Scheme.

### 3.2.2 Fabric Analysis of Street Awning

Description:	The street awning is an original feature of the building and extends on the Church and Macquarie Street frontages providing shelter to pedestrians. The awning is composed of a metal fascia with pressed metal undersides and metal sheet roofing, draining back towards the building. The structure is mostly concealed although near the corner painted timber beams are visible. On the Church Street frontage a balcony level has been added above the awning accessible from the first floor Bridal shop tenancy.
Modifications:	<ul style="list-style-type: none"> <li>• The awning section on the street corner was modified c.1992 to have a glazed section at the shop corner to allow additional light into the new foyer space.</li> <li>• A balcony has been added on the Church Street frontage c.1992</li> <li>• The awning has been structurally strengthened and original tie-rods removed.</li> <li>• Original Murray Bros. Signage on the awning on the edges and at the corner has been removed.</li> <li>• Based on a comparison of historic photographs and recent plans, the awning may have been raised at some point by approximately half a metre.</li> </ul>
Overall Condition Assessment:	Good – No significant deterioration noted in visual inspections. The fascia edging has some areas of water staining and paint deterioration.
Overall Significance Assessment:	High Despite alterations the awning retains a similar form and function to the original building and is an important functional and aesthetic feature. The undersides of the awning are the only remaining pressed metal features in the building. The awning is an important feature in the Church Street streetscape.
Recommended conservation action:	The awning should be retained. Guttering should be regularly inspected and any areas of corrosion treated. The fascia should be regularly cleaned and repainted where paint has failed in accordance with the Church Street Colour Scheme (Parramatta City Council). Consideration should be given to reinstatement of former Murray Bros. signage as a form of interpretation of the site. Sensitively installed lighting should be considered to highlight the detail of the underside of the awning and the building facades.



**3.2.3 Fabric Analysis of Internal structural layout and open department store character**

Description:	<p>The interior of the building contains two floors. The lower floor is composed of a number of different sized tenancies with direct access from Church and Macquarie Streets, and service corridors and areas near the centre and rear of the floor. At the street intersection is a double height internal foyer with a lift, staircase and escalator to the first floor which has one large tenancy to the west and a smaller tenancy to the east, separated by a corridor running to the northern wall of the building, and then west, providing access to service areas.</p> <p>Interior areas are all fit out in contemporary floor wall and ceiling finishes. Some original fabric is observed in the steel framed windows to the exterior, rear and light wells, and in the limited number of small square section columns found in some areas of the ground and first floor tenancies.</p>
Modifications:	<p>When originally constructed the interior of the building was used as a department store with the first floor used as Show Rooms and the ground floor fit out in show cases, with some tenancies on the exterior of the ground floor of the building for a Sundae Shop on the northern end of the Church Street façade and four large shops on Macquarie Street along with a suite of dental surgeries, waiting and workrooms, etc., and a photographic studio complete with workrooms, dark rooms, offices, waiting rooms, laboratory, etc.</p> <p>Although the retail use of the building remains, very little fabric remains to tell the story of the original department store function. The only fabric which remains internally are some wall remnants which are difficult to interpret and some square section columns among columns of a range of other shapes and sizes.</p> <p>The following original elements are no longer present and no evidence of them remains:</p> <ul style="list-style-type: none"> <li>• Internal fittings including maple and glass show cases, millinery showrooms, fitting rooms</li> <li>• Polished Queensland maple finishes</li> <li>• Pendant lights in pressed metal ceilings (no evidence of pressed metal ceiling panelling was found in any interior space)</li> <li>• Floor finishes in polished jarrah wood parquet flooring and Battleship linoleum on concrete.</li> <li>• 10 foot wide double maple staircase for access to the upper floor</li> <li>• Original office and administrative block in the centre of the building with the strongroom accommodation, record rooms, etc.</li> <li>• Cart docks</li> <li>• Flat roof provided for recreation purposes for the Firm's staff.</li> </ul> <p>The original interior of the building was described as having</p>

	<p>'lofty ceilings, few columns, and plenty of natural light, together with absolute fire protection by means of concealed Grinnell sprinklers.'</p> <p>The original column grid, high ceilings and open space finely finished character of the building has been eroded by the continual changes to the interior of the building and the loss of virtually all original fabric. Although it is recognised that some of the columns in the interiors are original, these are limited and the many changes to the structural grid have muddled the reading of the interior as a continuation of the external bays and the reading of the building as an open department store.</p>
Overall Condition Assessment:	<p>Good-Fair</p> <p>The interior of the building is generally in good condition, however, numerous examples of water entry were noted including large areas of staining on ceiling panels and the extent of damage may be concealed by the current fit out and within the roof cavity. Many of the steel windows are corroded and some are broken or cracked in light wells and in service corridors.</p>
Overall Significance Assessment:	<p>Little</p> <p>Although the retail use has remained, very little fabric remains to tell the story of the Murray Bros. Department Store building. In our opinion, the extent of changes including alterations to the original access pattern by closing off the two main side entrances, creating a new corner entrance, removing the original maple staircase and extensive modifications to the original structural grid makes it difficult to determine the original form and use pattern of the building.</p>
Recommended conservation action:	<p>In our opinion, there is no internal fabric requiring conservation. It is recommended that any proposed changes to or replacement of the interior of the building should seek to improve the character of internal spaces in line with the original character of the department store. This means establishing a two storey space with 'lofty ceilings, few columns, and plenty of natural light' in line with the original architectural character. It is noted that the rear of the building and light wells have a number of original steel windows, many of which are corroded and some of which are cracked. As the main façade of the building contains a large number of intact windows, if extensive changes are proposed to the interior, in our opinion it would not be necessary to retain the windows which are not publicly visible. It is recommended that consideration be given to salvaging windows for use in some form of future interpretation of the site.</p>

**3.2.4 Fabric Analysis of Caretaker's flat (Level 2).**

Description:	<p>It is understood that a caretaker's flat was a feature of department store buildings of the early twentieth century allowing a caretaker to live on the property, however no historic information was found relating to the presence of the caretaker's flat and no descriptions or photographs of original finishes were available.</p> <p>The interior of the caretakers flat does not contain any finishes which could be identified as original and the interior condition is very poor with finishes ripped off walls or coming away from ceilings, holes in walls, debris and rubbish present, evidence of pigeon infestations and general dilapidation.</p>
Modifications:	<ul style="list-style-type: none"> <li>• Internal finishes and fixtures appear to be more consistent with the mid-late twentieth century. It is likely this area was refit several times either while in use by Murray Bros. or after being sold to Norman Ross (Properties) Limited in 1979.</li> <li>• In c.1992 staircase access to the caretakers flat was removed. The space has not been accessible since this time and is only accessible by climbing through the roof below.</li> <li>• Services have been inserted through the floor below.</li> </ul>
Overall Condition Assessment:	<p>Fair-Poor</p> <p>The flat has not been accessible for over two decades. The space is dilapidated with finishes damaged or coming away from walls, debris filling the space, services inserted through the floor and evidence of pigeon infestation.</p>
Overall Significance Assessment:	<p>Little</p> <p>It is our opinion that the caretakers flat has historical significance but that the alterations detract from any aesthetic significance it may have possessed and it is difficult to interpret. The flat is not visible from the public realm, is not accessible or used within the building and does not contribute to the Macquarie Street streetscape.</p>
Recommended conservation action:	<p>In our opinion, retention of this component of the building is not considered necessary. It is recommended that the presence of the flat and its purpose is included in any future interpretation of the site.</p>

## 4.0 CONCLUSION AND RECOMMENDATION

The following points summarise the Fabric Analysis:

- The façade and awning of the building is of high significance, in good condition and generally the changes to the façade have been sympathetic;
- The interior of the building has been altered and changed extensively on several occasions and no original fittings and finishes remain. Some original columns remain in the interior, however the reading of the structure of the building is muddled by the extent of change and by the lack of consistent internal treatment. It is not possible to read the original architectural character of 'lofty ceilings, few columns, and plenty of natural light' described in newspaper accounts of the building at the time of its opening, or the use of the building as a luxury department store. In summary, the interior is considered to have little significance.
- Steel windows to light wells at the rear constitute original fabric. Salvage and reuse of these windows is suggested if future works include their removal. Windows could be used in presentation of interpretive media for the site.
- In our opinion the caretakers flat may have historical significance but the extensive alterations detract from any aesthetic significance it may have possessed and make it difficult to interpret. The flat is not visible from the public realm, is not accessible or used within the building and does not contribute to the Macquarie Street streetscape.

The following recommendations are made:

- The street facades and awning should be retained and enhanced by sensitive changes to reinstate lost features such as window displays, signage and original entrance points;
- The external façade should be painted in accordance with the Church Street Colour Scheme prepared by Parramatta City Council (refer Attachment A);
- Any proposed changes to or replacement of the interior of the building should seek to improve the character of internal spaces in line with the original character of the department store by establishing a two storey space with 'lofty ceilings, few columns, and plenty of natural light' in line with the original architectural character.
- It is recommended that any original steel windows salvaged from the interior and rear of the building be considered for use in future site interpretation.
- Prior to any changes taking place a Photographic Archival Record of the interior and exterior of the building is prepared in accordance with the guidelines of the Office of Environment and Heritage:  
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infoarchivalrecords.pdf>



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## APPENDIX A – CHURCH STREET COLOUR SCHEME

The photograph taken by Heritage 21 in August 2015 shows the existing building in August 2015.



The image below shows the proposed heritage colour scheme for the building at 197 Church Street, sourced from the Church Street Colour Scheme prepared by Parramatta City Council.

