

# NOTICE OF COUNCIL MEETING

## PUBLIC AGENDA

An Ordinary Meeting of City of Parramatta Council will be held in PHIVE (COUNCIL CHAMBER) COUNCIL CHAMBER AT 5 PARRAMATTA SQUARE, PARRAMATTA on Monday, 22 April 2024 at 6.30PM.

Gail Connolly PSM  
CHIEF EXECUTIVE OFFICER

# EMERGENCY EVACUATION DIAGRAM

Level 4 East

2 Civic Place, Parramatta NSW 2150

## Evacuation Procedures

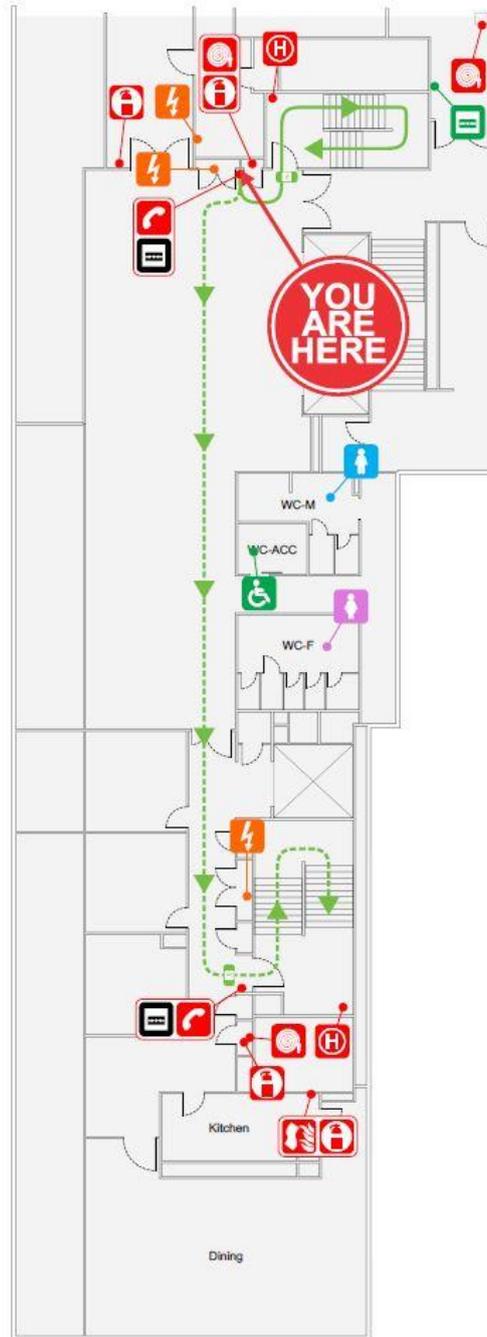
### IN CASE OF FIRE

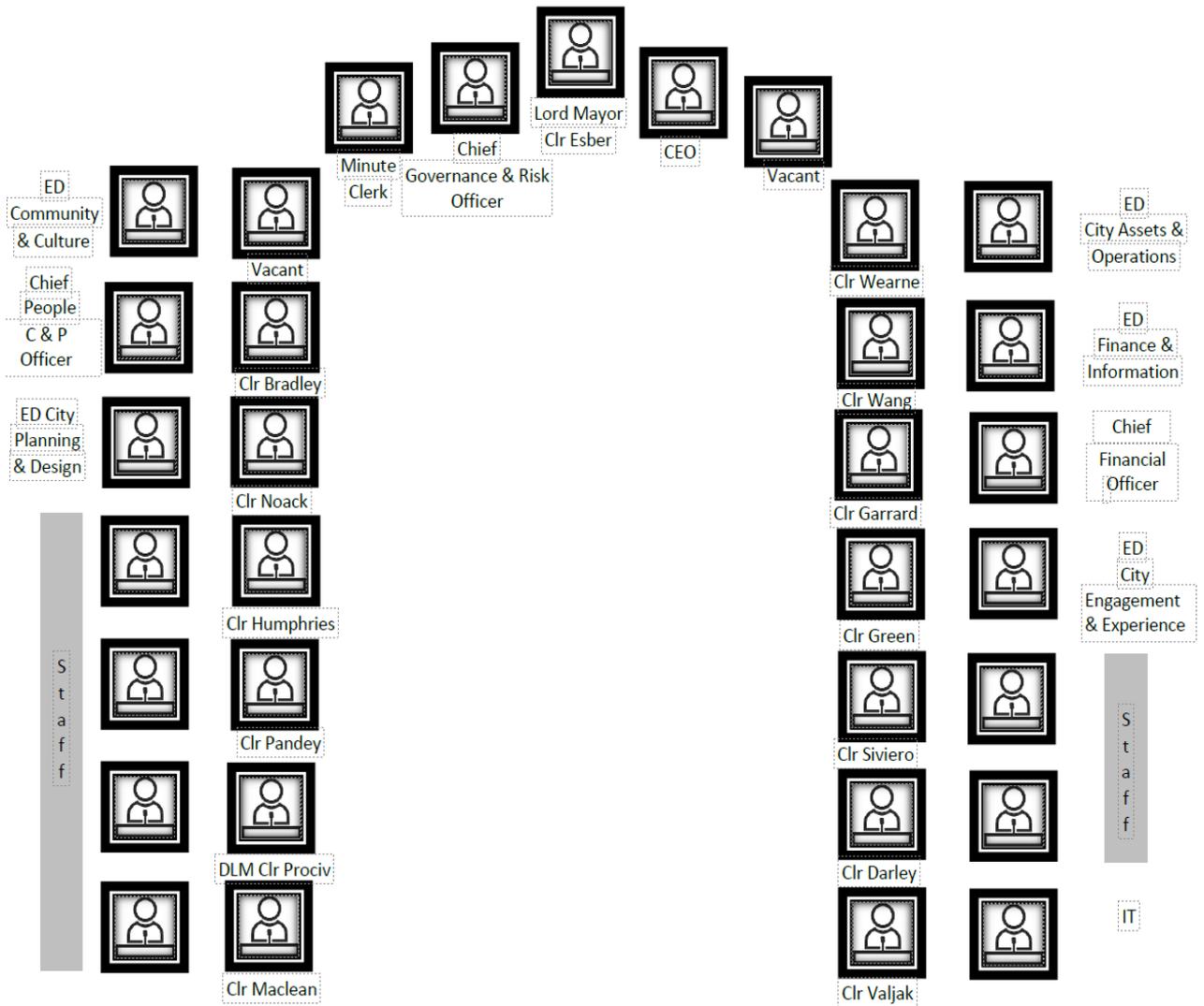
- (R)** REMOVE people from immediate danger
- (A)** ALERT people nearby and raise an alarm (Dial 000)
- (C)** CONFINE fire and smoke (Close doors behind you if safe to do so)
- (E)** EVACUATE via the nearest emergency exit

## Legend


## Site Plan

Parramatta PHIVE





## STATEMENT OF ETHICAL OBLIGATIONS:

In accordance with clause 3.23 of the Model Code of Meeting Practice, Council is obligated to remind Councillors of the oath or affirmation of office made under section 233A of the Local Government Act 1993, and of their obligations under Council's Code of Conduct to disclose and appropriately manage conflicts of interest – the ethical obligations of which are outlined below:

Obligations	
<b>Oath [Affirmation] of Office by Councillors</b>	I swear [solemnly and sincerely declare and affirm] that I will undertake the duties of the office of Councillor in the best interests of the people of the City of Parramatta Council and the City of Parramatta Council that I will faithfully and impartially carry out the functions, powers, authorities and discretions vested in me under the Local Government Act 1993 or any other Act to the best of my ability and judgement.
<b>Code of Conduct Conflict of Interests</b>	
<b>Pecuniary Interests</b>	<p>A Councillor who has a <b>pecuniary interest</b> in any matter with which the Council is concerned, and who is present at a meeting of the Council at which the matter is being considered, must disclose the nature of the interest to the meeting.</p> <p>The Councillor must not be present at, or in sight of, the meeting:</p> <ol style="list-style-type: none"> <li>At any time during which the matter is being considered or discussed, or</li> <li>At any time during which the Council is voting on any question in relation to the matter.</li> </ol>
<b>Non-Pecuniary Conflict of Interests</b>	A Councillor who has a <b>non-pecuniary conflict of interest</b> in a matter, must disclose the relevant private interest in relation to the matter fully and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter.
<b>Significant Non-Pecuniary Conflict of Interests</b>	A Councillor who has a <b>significant</b> non-pecuniary conflict of interest in relation to a matter under consideration at a Council meeting, must manage the conflict of interest as if they had a pecuniary interest in the matter.
<b>Non-Significant Non-Pecuniary Interests</b>	A Councillor who determines that they have a non-pecuniary conflict of interest in a matter that is <b>not significant</b> and does not require further action, when disclosing the interest must also explain why conflict of interest is not significant and does not require further action in the circumstances.

THIS PAGE LEFT INTENTIONALLY BLANK

## TABLE OF CONTENTS

ITEM	SUBJECT	PAGE NO
1	OPENING MEETING	
2	ACKNOWLEDGMENT OF TRADITIONAL OWNERS OF LAND	
3	WEBCASTING ANNOUNCEMENT	
4	GENERAL RECORDING OF MEETING ANNOUNCEMENT	
5	APOLOGIES AND APPLICATIONS FOR LEAVE OF ABSENCE OR ATTENDANCE BY AUDIO-VISUAL LINK BY COUNCILLORS	
6	CONFIRMATIONS OF MINUTES	
	<i>Council - 8 April 2024</i> .....	8
7	DECLARATIONS OF INTEREST	
8	MINUTES OF THE LORD MAYOR	
	Nil	
9	PUBLIC FORUM	
	Nil	
10	PETITIONS	
	Nil	
11	RESCISSION MOTIONS	
	Nil	
12	REPORTS TO COUNCIL - FOR NOTATION	
12.1	Investment Report for March 2024.....	42
12.2	Status Report - Update on Execution of Funding Deeds (Western Sydney Infrastructure Grants and Accelerated Infrastructure Funding Programs) .....	94
13	REPORTS TO COUNCIL - FOR COUNCIL DECISION	
13.1	DEFERRED REPORT FROM OCM 8 APRIL 2024: Public Exhibition of Draft Sportsground Allocation Policy 2024 .....	112
13.2	Public Exhibition of Draft Tomola (Melrose Park North) Development Control Plan and Planning Agreement.....	124
13.3	Public Exhibition of Draft Church Street North Development Control Plan (DCP) .....	223
13.4	Public Exhibition of Amendment to Planning Agreement: 264-268 Pennant Hills Road, Carlingford (AKA 1 Martins Lane, Carlingford) .....	354
13.5	Public Exhibition of Draft Affordable Rental Housing Policy 2024.....	375

13.6	Extension of Interim Term for Parramatta Local Planning Panel Members.....	402
13.7	Adoption of Parramatta City Centre Local Infrastructure Contributions Plan 2022 (Amendment No. 2) .....	407
13.8	LATE REPORT: Public Exhibition of Draft Delivery Program, Operational Plan and Budget (DPOP) 2024/25.....	482
<b>14</b>	<b>NOTICES OF MOTION</b>	
14.1	Parking Issues in Newington and Lidcombe (Carter Street) - Event Parking and Demand for On-Street Parking in Residential Areas.....	484
14.2	Wentworth Point High School - Construction of Oval.....	485
14.3	'No Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters.....	491
<b>15</b>	<b>QUESTIONS WITH NOTICE</b>	
15.1	Council's Kerbside Clean Up Service.....	494
15.2	Provision of Bus Shelters in City of Parramatta .....	496
15.3	Additional Questions taken on Notice at the 25 March 2024 Council Meeting .....	498
15.4	Questions Taken on Notice at the 8 April 2024 Council Meeting .....	500
<b>16</b>	<b>CONFIDENTIAL MATTERS</b>	
16.1	ITT 22/2023 Tender: Maintenance of Stormwater Assets <i>This report is confidential in accordance with section 10A (2) (d) of the Local Government Act 1993 as the report contains commercial information of a confidential nature that would, if disclosed (i) prejudice the commercial position of the person who supplied it; or (ii) confer a commercial advantage on a competitor of the Council; or (iii) reveal a trade secret.</i>	
16.2	ITT 29/2023 Tender: Consultancy Services for Western River Precinct Connections Designs <i>This report is confidential in accordance with section 10A (2) (c) of the Local Government Act 1993 as the report contains information that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business.</i>	
<b>17</b>	<b>PUBLIC ANNOUNCEMENT</b>	
<b>18</b>	<b>CONCLUSION OF MEETING</b>	



# CITY OF PARRAMATTA

---

## MINUTES

---

**Ordinary Council Meeting  
Monday, 8 April 2024  
6.30pm**

**Council Chamber  
Level 4, PHIVE  
Parramatta Square, Parramatta**

## **PRESENT - COUNCILLORS**

The Lord Mayor, Councillor Pierre Esber and Councillors Phil Bradley, Michelle Garrard, Henry Green, Ange Humphries, Cameron MacLean, Paul Noack, Sameer Pandey, Deputy Lord Mayor, Dr Patricia Prociv, Dan Siviero, Georgina Valjak, Donna Wang and Lorraine Wearne.

## **PRESENT – STAFF**

Chief Executive Officer - Gail Connolly, Executive Director City Engagement and Experience - Angela Jones-Blayney, Executive Director Finance and Information - John Angille, Director City Planning and Design – Jen Concato, Executive Director Community and Culture - Jonathan Greig, Executive Director City Assets & Operations – George Bounassif, Chief Technology Officer - John Crawford, Chief Governance & Risk Officer - Roxanne Thornton, Chief Financial Officer - Amit Sharma, Group Manager Major Projects and Precincts – David Birds, Group Manager Social and Community Services – David Moutou, ICT Service and Delivery Manager - Ian Vong, Council Secretariat and Policy Officer - Marina Cavar and ICT Service Desk Team Leader - Alex Piccone.

### **1. OPENING MEETING**

The Lord Mayor, Councillor Esber, opened the meeting at 6.32pm.

### **2. ACKNOWLEDGEMENT TO TRADITIONAL OWNERS OF LAND**

The Lord Mayor acknowledged the Burramattagal people of The Darug Nation as the traditional owners of this land, and paid respect to their ancient culture and to their elders past, present and emerging.

### **3. WEBCASTING ANNOUNCEMENT**

The Lord Mayor advised that this public meeting is being recorded and streamed live on the internet. The recording will also be archived and made available on Council's website.

The Lord Mayor further advised that all care will be taken to maintain privacy, however as a visitor in the public gallery, the public should be aware that their presence may be recorded.

### **4. GENERAL RECORDING OF MEETING ANNOUNCEMENT**

As per Council's Code of Meeting Practice, the recording of the Council Meeting by the public using any device, audio or video, is only permitted with Council permission. Recording a Council Meeting without permission may result in the individual being expelled from the Meeting.

## 5. APOLOGIES AND APPLICATIONS FOR LEAVE OF ABSENCE OR ATTENDANCE BY AUDIO-VISUAL LINK BY COUNCILLORS

There were no apologies, All Councillors were present in person

## 6. CONFIRMATION OF MINUTES

### Minutes of the Council Meeting held on 25 March 2024

4741 **RESOLVED:** Councillor Noack and Councillor Humphries

That the minutes be taken as read and be accepted as a true record of the Meeting with the exception of the following required amendments;

- Councillor Pandey is incorrectly referred to as the Lord Mayor on page 2, Item 1 of the Minutes. This will need to be corrected to reference Councillor Esber as the Lord Mayor.
- There were Questions Taken on Notice missing in relation to Item 12.1 Minutes of Audit Risk and Improvement Committee Meeting held on 23 November 2023. These questions will be addressed in an additional report at the 22 April 2024 Council Meeting.

#### Record of Voting:

For the Motion: Unanimous

Note: The missing Questions Taken on Notice mentioned above in the Confirmation of Minutes of the Council Meeting held on 25 March 2024, to be addressed in an additional report at the 22 April 2024 Council Meeting are as follows:

- Can the Agenda and Minutes of the ARIC meetings be published on the website?
- Can we have a Workshop on the key findings of Internal Audits and the recommendations, its similar to internal service ombudsman report we get?
- Can we have an alternate Councillor fill in when the main Councillor is unavailable?

## 7. DISCLOSURES OF INTEREST

**Councillor Darley** disclosed a Non- Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a renter and has been served a 'No Grounds' eviction in the LGA. Councillor Darley will take part in the consideration and voting on this item.

**Lord Mayor Councillor Esber** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that he is a property owner and does not wish to put his position at conflict. Councillor Esber will not take part in the consideration and voting on this item.

**Councillor Garrard** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she owns two properties. Councillor Garrard will not take part in the consideration and voting on this item.

**Councillor Humphries** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a landlord in the LGA. Councillor Humphries will not take part in the consideration and voting on this item.

**Councillor Noack** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that he is a landlord in the LGA. Councillor Noack will not take part in the consideration and voting on this item.

**Councillor Pandey** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that he owns a rental property. Councillor Pandey will not take part in the consideration and voting on this item.

**Councillor Siviero** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that he owns an investment property for which he is a landlord. Councillor Siviero will not take part in the consideration and voting on this item.

**Councillor Valjak** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a landlord of a property and does not wish to put herself in a position on voting or discussing this matter as in her opinion there is conflict between her personal interest in this matter and this item. Councillor Valjak will not take part in the consideration and voting on this item.

**Councillor Wang** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a renter in the LGA. Councillor Wang will not take part in the consideration and voting on this item.

**Councillor Wearne** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a property owner and a landlord in the LGA. Councillor Wearne will not take part in the consideration and voting on this item.

## **PROCEDURAL MOTION DEALING WITH ITEMS BY EXCEPTION**

**RESOLVED:** Councillor MacLean and Councillor Noack

That in accordance with Section 13 of Council's Code of Meeting Practice, the Order of Business be amended to deal with the following items by exception:

- Item 13.4: Public Exhibition of Draft Debt Management and Hardship Assistance Policy 2024
- Item 15.1: Council Rate Categories and History of Rate Increases
- Item 15.2: Accessibility and Baby Change Facilities in Public and Community Toilets
- Item 15.3: Status of Various Council Resolutions
- Item 15.5: Council's Public Trees Program
- Item 15.7: Questions Taken on Notice at the 25 March 2024 Council Meeting

### **Record of Voting:**

For the Motion: Unanimous

#### 13.4 **Public Exhibition of Draft Debt Management and Hardship Assistance Policy 2024**

(Report of the Policy Officer)

4742 **RESOLVED:** Councillor MacLean and Councillor Noack

- (a) That the draft Debt Management and Hardship Assistance Policy be placed on public exhibition for a period of 28 days.
- (b) That Council authorises the Chief Executive Officer to make any necessary editorial and content changes to the draft Debt Management and Hardship Assistance Policy for public exhibition to give effect to Council's resolution.
- (c) That following public exhibition, officers submit the final Debt Management and Hardship Assistance Policy to Council for adoption.

### **Record of Voting:**

For the Motion: Unanimous

## 15.1 Council Rate Categories and History of Rate Increases

(Councillor Kellie Darley)

4743

### **QUESTIONS WITH NOTICE:**

1. What is the percentage of rates revenue received by category this financial year compared to the previous two financial years?

#### **Executive Director Finance and Information Response:**

Over the last 3 financial years, the percentage of rates revenue per category has remained stable. For FY2023-2024 the breakdown is shown in the table below:

Residential	61.8%
Business General	9.8%
Business CBD	15.5%
Business CBD #2	2.2%
Business Industrial	10.7%

2. What is the percentage of rate payers by category this year compared to previous two years?

#### **Executive Director Finance and Information Response:**

Over the last 3 financial years, the percentage of ratepayers per category has remained stable. For FY2023-2024 the breakdown is shown in the table below:

Residential	95.2%
Business General	2.4%
Business CBD	1.4%
Business CBD #2	0.1%
Business Industrial	0.9%

3. How do Council rates in Parramatta compare with other similar LGAs and surrounding LGAs?

#### **Executive Director Finance and Information Response:**

The average ordinary residential rate for the City of Parramatta came in at 7th lowest when compared to 30 other Sydney metropolitan councils.

The average ordinary business rate for the City of Parramatta came in as the 2nd highest when compared to 30 other Sydney metropolitan councils.

4. What has been the average increase of Council rates in Parramatta over the last decade?

**Executive Director Finance and Information Response:**

The increase in Council rates is determined by the NSW government (IPART rate peg) with the average increase in the rate peg by IPART being 2.7%.

5. What is the percentage spread of rate payers across the differing amount levels of rates payable (i.e. what percentage of rate payers pay the minimum and then other amount ranges)?

**Executive Director Finance and Information Response:**

By rate category, the following percentage of ratepayers pay minimum rates in FY2023-2024. (Preparation of rate ranges by other amount ranges/increments, and percentages for every category of rates will require a report to Council).

Rate Category	Minimum
Residential	59.3%
Business General	23.0%
Business CBD	25.5%
Business CBD #2	0.0%
Business Industrial	5.0%

15.2 **Accessibility and Baby Change Facilities in Public and Community Toilets**

(Councillor Kellie Darley)

4744

**QUESTION WITH NOTICE:**

1. How many Council parks have a public toilet? What proportion of these have a baby change table and/or accessible toilet?

**Executive Director, City Assets & Operations response:**

There are 20 Council parks with a public toilet. 16 park amenities have a baby change table and disability access and all 20 amenities have accessible toilets.

2. Do all Council operated community facilities (i.e. halls, meeting rooms, libraries) have an accessible toilet and a baby change table?

**Executive Director, City Assets & Operations response:**

There are 29 sites in total, of which 19 have at least one baby change table and 27 have accessible toilets. All sites have disability access.

3. In each Council public or community toilet with a baby change table, is at least one able to be used by both men and women?

**Executive Director, City Assets & Operations response:**

All Council park toilets that are fitted with a baby change table are able to be used by both women and men.

17 community facilities are fitted with a baby change table which are able to be used by both women and men.

15.3 **Status of Various Council Resolutions**

(Councillor Kellie Darley)

4745

**QUESTIONS WITH NOTICE:**

Please provide a status update on the following Council resolutions:

1. 3706 & 4599 – Smoke Free Parramatta Square

**Executive Director, City Assets & Operations Response:**

Stakeholder engagement for users/visitors of Parramatta and Centenary Squares in relation to Smoke Free Areas is currently being undertaken.

2. 3838 – Tennis Facilities Review and Future Directions

**Executive Director, Community & Culture Response:**

Parts (a) – (d) of resolution have been completed. Parts (e) and (f) to conduct an EOI was not undertaken by the Property and Place Directorate and is now intended to be undertaken after completion of Council's Property Strategy in June 2024.

3. 4115 – Review of Library Opening Hours

**Executive Director, Community & Culture Response:**

Report is being prepared for a Council meeting in late May/early June 2024.

4. 4298 – Parramatta: A Past Revealed

**Executive Director, Community & Culture Response:**

Report was submitted to the Council meeting of 25 March 2024.

5. 4302 – Dog Owners Education Campaign

**Executive Director, City Assets & Operations Response:**

Report is being prepared for a Council meeting in late May/early June 2024.

---

6. 4430 – Revolving Energy Fund

**Executive Director City Assets & Operations Response:**

Councillor workshop is scheduled for May 2024 with a report anticipated to be submitted to a Council meeting in June/July 2024.

---

7. 4503 – Management of Abandoned Shopping Trolleys

**Executive Director, City Assets & Operations Response:**

Report is being prepared for a Council meeting in late May/early June 2024.

---

8. 4338 – Report on Façade Improvement Grants program

**Executive Director, City Assets & Operations Response:**

Report is being prepared for a Council meeting in late April/early May 2024.

---

**Note:** Councillors may obtain information on the status of all Council resolutions at any time via the Councillor Portal. Additionally, Councillors may contact Councillor Support via email or a service request at any time to request a detailed update on the status of any resolution of Council.

## 15.5 Council's Public Trees Program

(Councillor Kellie Darley)

4746

### **QUESTIONS WITH NOTICE:**

1. Roughly how many trees need to be planted annually on streets and parks in the Parramatta LGA to help make sure Council reaches its target of 40% tree canopy by 2050?

#### **Executive Director City Planning & Design response:**

Councillors considered targets at the confidential Councillor workshop on the Canopy Plan on 18 March 2024. Details regarding estimated tree numbers and other operational requirements for canopy improvement will be made publicly available after Council endorses the draft Canopy Plan 2024 for public exhibition.

2. What is the current average cost per new tree planted?

#### **Executive Director City Planning & Design response:**

The cost is dependent on the location and size of tree planting. Costs to install and maintain street trees can vary between \$1,200 upwards of \$10,000 for CBD locations.

3. Does Council have a policy/ procedure around the selection of trees to be planted on public land, including considering Asthma friendly trees, balance of native and exotic trees as well as fruit trees?

#### **Executive Director City Planning & Design response:**

Yes – the Parramatta Street Tree Masterplan and the Auburn Council Street Tree Masterplan apply to areas within the city. They are supplemented by the City of Parramatta Public Domain Guidelines.

## 15.7 Questions Taken on Notice at the 25 March 2024 Council Meeting

(Report of Council Secretariat & Policy Officer)

4747

### **QUESTIONS TAKEN ON NOTICE:**

**Councillor Valjak** asked the following question on Item 8.4 – Celebrating Greek Independence Day – 25 March 2024;

1. Can the CEO please provide an update to Councillors on whether Council will reconsider flag raising ceremonies?

#### **Executive Director City Engagement and Experience Response:**

Flag raising ceremonies are currently still on hold until a flag raising policy is adopted by Council. The draft Policy was considered by the Policy Review Committee on 25 October 2023. At this meeting it was resolved that further consultation on the Policy was required and members of the Committee were requested to provide their feedback for consideration to progress the Policy. At this stage, no feedback has been provided.

---

**Councillor Darley** asked the following questions on Item 12.1 Minutes of Audit Risk and Improvement Committee Meeting held on 23 November 2023;

1. How can Councillors receive the relevant information referred to in the ARIC Minutes when the Minutes are merely referred to Council to receive and note?

**Executive Director Finance and Information Response:**

The Minutes of each ARIC meeting are reported to Council to 'receive and note'. There is no role for Council to deliberate or reconsider any of the matters that have been considered by ARIC.

If any Councillor requires additional information, a request for the information may be made to the Chair of the ARIC by Council resolution. The Chair is only required to provide the information requested by the governing body where the Chair is satisfied that it is reasonably necessary for the governing body to receive the information for the purposes of performing its functions under the Local Government Act 1993. Individual Councillors are not entitled to request or receive information from the ARIC.

Councillor Garrard and Councillor Pandey are the current Councillor members of the City of Parramatta Council Audit, Risk and Improvement Committee (ARIC) and in accordance with the Office of Local Government Guidelines for Risk Management and Internal Audit for Local Government in NSW, the role of a Councillor member is to:

relay to the ARIC any concerns the governing body may have regarding the Council and issues being considered by the ARIC;

provide insights into local issues and the strategic priorities of the Council that would add value to the ARIC's consideration of agenda items;

advise the governing body (as necessary) of the work of the ARIC and any issues arising from it; and

assist the governing body to review the performance of the ARIC each Council term.

Further, the current ARIC Charter states that 'The Committee may, at any time, report to the Council any matter it deems of sufficient importance to do so'.

---

[Public Interest Disclosures Policy – request for training to be provided to Councillors.](#)

**Executive Director Finance and Information Response:**

The CEO has requested the Internal Ombudsman to arrange two training sessions for interested Councillors. These dates are currently being coordinated with Councillor Support to ensure that one session is held during business hours and one session is held during the evening.

---

**Councillor Darley** asked the following question on Item 12.2 ARIC Annual Report 2023

1. [Can Council \(or Councillors\) receive a high-level overview of the key findings from Internal Audits, possibly via a Councillor Workshop?](#)

**Executive Director Finance and Information Response:**

Internal Audit reports are routinely tabled at ARIC meetings where the findings and management responses are reviewed by the Audit, Risk and Improvement Committee (ARIC). As with other matters relating to ARIC, the mechanism for reporting back to Council is via the current Councillor ARIC members or when the ARIC considers it necessary to inform the Council as a significant matter.

---

**Councillor Bradley** asked the following question on Item 12.4 Quarter Two Progress Report - Delivery Program and Operational Plan 2023/24;

1. [Why did only 2 trees get planted within the last DPOP reporting period and how many are planned to be planted? Could we not report on the trees given out to the community?](#)

**Executive Director City Assets and Operations Response:**

There have been hundreds of trees planted in parks across the LGA. However, street trees are scheduled for planting during the cooler Autumn months, with 750 plantings scheduled before the end of the Autumn season. During the September 2023 free plant day, a total of 3,600 plants and trees were given away to the community.

---

**Councillor Noack** asked the following questions on Item 12.5 Traffic Engineering Advisory Group – 21 February 2024 – Minutes;

1. [Bennelong Bridge Load Limit was recently increased from 5 tonne to 30 tonne. When will the 533 bus be allowed to cross this bridge?](#)

**Executive Director City Planning and Design Response:**

The repair options for the bridge are currently being investigated by Council staff and it is expected that the detailed design of the selected option will be undertaken before the end of 2024. Subject to Council allocating the required funding, tenders will be called and works will be targeted for 2025. When the works are completed, Bus Route 533 will be permitted to travel across the bridge.

2. [Roadwork on roundabout and pedestrian crossing at Burroway Road and Hill Road. When will the work be complete?](#)

**Executive Director City Planning and Design Response:**

During physical works on-site, the developer uncovered stormwater assets that were not identified during the initial subgrade investigations. As these assets were in conflict with the approved drainage design, the developer has been working with Council's Stormwater Engineers to modify the design and resubmit for approval. Subject to Council's approval of the revised design and weather conditions, it is expected that construction will recommence in April and be completed in June 2024.

**Councillor Bradley** asked the following question on Item 15.3 Developer Contributions – Parramatta City Local Infrastructure Contributions Plan – Church St North Precinct;

1. [Total works program – it appears that the total works quantum has been fixed. Could Councillors please be provided with a copy of the works program. If possible, if this information could be published on Council's website.](#)

**Executive Director City Planning and Design Response:**

The works schedule for the Contributions Plan is contained at Appendix C (page 21) and is available on Council's website at this link [Parramatta City Centre Local Infrastructure Contributions Plan 2022 \(nsw.gov.au\)](https://www.parramatta.nsw.gov.au/city-centre-local-infrastructure-contributions-plan-2022).

## 8. MINUTES OF THE LORD MAYOR

### 8.1 Youth Week 2024

(Lord Mayor Councillor Pierre Esber)

4748 **RESOLVED:** Lord Mayor, Councillor Esber and Councillor Garrard

- (a) That Council acknowledge City of Parramatta's Youth Week, the largest youth-focused program in over a decade, being held from 11-21 April 2024 with the theme: 'Express. Empower. Get Loud!'.
- (b) That Council celebrate the important perspectives and contributions of young people in the Parramatta community.
- (c) That Council note the ongoing work to develop a Youth Inclusion Framework in consultation with young people, with a draft plan to be presented to Council in August 2024.

#### **Record of Voting:**

For the Motion: Unanimous

Question Taken on Notice (Clr Garrard) regarding Item 8.1 Youth Week 2024;

- Most of the programs listed seem to be targeted towards youth aged 17 and below. Which programs are more older youth (aged 17-24) focused?

Question Taken on Notice (Clr Pandey) regarding Item 8.1 Youth Week 2024;

- Will the any of the events for this year, be focused on the Emerging Civic Leadership Program?

Note: Councillor Pandey requested, where possibly, if the Lord Mayoral Minutes could be distributed earlier on the day of the Council Meeting to allow the Councillors an opportunity to review prior to the meeting.

### 8.2 Proposed Postponement of June 2024 i4Give Day Free Public Fete

(Lord Mayor Councillor Pierre Esber)

4749 **RESOLVED:** Lord Mayor, Councillor Esber and Deputy Lord Mayor, Councillor Prociv

- (a) That Council note that the i4give Foundation is seeking to postpone the 2024 i4give Day free public fete.
- (b) That Council postpone the planned 2024 i4give Day free public fete and support the event being held before 30 June 2025.
- (c) That Council support the 2024 event funds being rolled over and included in the draft 2024/25 budget.
- (d) That Council provide the i4give Foundation with details of the revised public fete event, including the scope, program and budget for the 2025 free public fete.

**Record of Voting:**

For the Motion: Unanimous

**9. PUBLIC FORUM**

Speaker	Report No.	Report Title
Melissa Brooks	14.1	Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters

Note: All Councillors were provided with copies of the Public Forum submissions prior to the Council Meeting.

**10. PETITIONS**

There were no petitions tabled at this meeting.

**11. RESCISSION MOTIONS**

Nil

**12. REPORTS TO COUNCIL - FOR NOTATION**

**12.1 Referral of Inspection Reports by Fire and Rescue NSW**

(Report of the Team Leader Building Compliance)

4750 **RESOLVED:** Councillor Pandey and Councillor Noack

- (a) That Council notes the inspection reports from Fire and Rescue NSW (FRNSW), pursuant to Schedule 5, Part 8 of the Environmental Planning and Assessment Act 1979 (EP&A Act).
- (b) That Council note FRNSW will be advised in due course of the ongoing actions taken by Council officers to address concerns identified by FRNSW.
- (c) That Council note the exercise of powers pursuant to Schedule 5, Part 8 (17) of the EP&A Act, to give fire safety orders addressing fire safety measures to the buildings located at:

- 1 8-10 Howard Avenue, Northmead
- 2 12-14 Howard Avenue, Northmead
- 3 1 Bennelong Parkway, 17 & 19 Amalfi Drive, Wentworth Point,

as outlined in this report and provide further notice of its determination to the Commissioner of FRNSW.

**Record of Voting:**

For the Motion: Unanimous

Question Taken on Notice (Councillor Pandey) regarding Item 12.1 Referral of Inspection Reports by Fire and Rescue NSW;

- Request to resend the advice that was previously provided to Councillors on this matter (flammable building materials).

Question Taken on Notice (Clr Proxiv) regarding Item 12.1 Referral of Inspection Reports by Fire and Rescue NSW;

- Why have Fire Safety Orders been served in Wentworth Point and not in Northmead?

12.2 **Deferred from OCM 12 February 2024 - Delegation of the Lord Mayor and Chief Executive Officer Exercised During the 2023/24 Recess Period**

(Report of the Executive Officer)

4751 **RESOLVED:** Councillor Garrard and Councillor Wang

- (a) That Council note the decisions exercised under delegated authority during the recess period, being Tuesday 12 December 2023 until Sunday 11 February 2024, contained within this report.
- (b) That Council note there was no financial expenditure incurred under joint delegated authority during previous recess periods throughout this term of Council.
- (c) That Council note the typographical error on page 6 of the report – the 2022/23 financial year was quoted when it should have been 2023/24.

**Record of Voting:**

For the Motion: Unanimous

### 13. REPORTS TO COUNCIL - FOR COUNCIL DECISION

#### 13.1 **Minutes of Parramatta Traffic Committee Extraordinary Meeting of 6 March 2024**

(Report of the Traffic & Transport Team Leader)

4752 **RESOLVED:** Councillor Noack and Councillor Humphries

- (a) That Council note the minutes of the Parramatta Traffic Committee extraordinary meeting held on 6 March 2024, provided at Attachment 1.
- (b) Further, that Council approves the recommendations of the Parramatta Traffic Committee extraordinary meeting held on 6 March 2024 provided at Attachment 1 and in this report, noting the following financial implications.

#### **ITEM 2403 A1 WIGRAM STREET, HARRIS PARK – UJJALA CARNIVAL OF COLOURS AND DIWALI FESTIVAL 2024**

The proposed Ujjala Carnival of Colours and Diwali Festival events in Wigram Street, Harris Park in May and October 2024 are to be delivered by Little India Harris Park Business Association (LIHPBA) at no cost to Council. Therefore, this matter has no direct financial impact upon Council's budget.

#### **Record of Voting:**

For the Motion: Unanimous

#### 13.2 **Council Policies for Rescission: Social Investment Funding; Playgrounds**

(Report of Policy Officer)

4753 **MOTION:** Councillor Darley and Deputy Lord Mayor, Councillor Procriv

- (a) That Council approve the immediate rescission of the following Council Policies:
  - i. Social Investment Funding Policy 2016 (Policy 346); and
- (b) That the Playgrounds Policy 2018 (Policy 81) be reported back to the Policy Review Committee for further consideration.

#### **AMENDMENT:** Councillor Garrard and Councillor Wang

That Council approve the immediate rescission of the following Council Policies:

- i. Social Investment Funding Policy 2016 (Policy 346); and
- ii. Playgrounds Policy 2018 (Policy 81).

**Record of Voting:**

For the Amendment: Lord Mayor, Councillor Esber, Councillors Garrard, Green, Humphries, MacLean, Noack, Pandey, Deputy Lord Mayor Councillor Prociv, Siviero, Valjak, Wang and Wearne

Against the Amendment: Councillors Bradley and Darley

On being put to the meeting voting on this amendment was twelve (12) votes FOR and two (2) votes AGAINST. The Amendment became the MOTION.

**RESOLVED:** Councillor Garrard and Councillor Wang

That Council approve the immediate rescission of the following Council Policies:

- i. Social Investment Funding Policy 2016 (Policy 346); and
- ii. Playgrounds Policy 2018 (Policy 81).

**Record of Voting:**

For the Motion: Lord Mayor, Councillor Esber, Councillors Garrard, Green, Humphries, MacLean, Noack, Pandey, Deputy Lord Mayor Councillor Prociv, Siviero, Valjak, Wang and Wearne

Against the Motion: Councillors Bradley and Darley

On being put to the meeting voting on this Motion was twelve (12) votes FOR and two (2) votes AGAINST. The Motion was CARRIED.

13.3 **Public Exhibition of Draft Sportsground Allocation Policy 2024**

(Report of the Policy Officer)

4754 **RESOLVED:** Councillor Pandey and Councillor MacLean

That consideration of this matter be deferred by two (2) weeks and reported to the next ordinary Council meeting.

**Record of Voting:**

For the Motion: Unanimous

Question Taken on Notice (Clr Darley) regarding Item 13.3 Public Exhibition of Draft Sportsground Allocation Policy 2024;

- What else can Council do to ensure proper consultation is done with other stakeholders?

The Chief Executive Officer confirmed that the response to this questions can be included in the deferred report.

13.4 **Public Exhibition of Draft Debt Management and Hardship Assistance Policy 2024**

(Report of the Policy Officer)

Item dealt with earlier in the meeting.

13.5 **Gateway Request: Planning Proposal for 124 Wigram Street, Harris Park**

(Report of Project Officer-Land Use)

4755 **RESOLVED:** Councillor Garrard and Councillor Noack

- (a) That Council approve for the purposes of seeking a Gateway Determination from the Department of Planning, Housing and Infrastructure (DPHI) the Planning Proposal for land at 124 Wigram Street, Harris Park at Attachment 1 which seeks to amend the Parramatta Local Environmental Plan 2023 (PLEP 2023) Height of Building Map in relation to the subject site from 72 metres to a maximum building height of 103 metres (118.45 metres including the design excellence bonus).
- (b) That Council request the DPHI to include a condition in the Gateway Determination requiring the preparation of an updated local flood study prior to any public exhibition of the Planning Proposal to reflect the draft Parramatta River Flood Study 2023 study.
- (c) That Council request the DPHI to provide Council with the authorisation to exercise its plan-making delegations for this Planning Proposal.
- (d) That Council note the Local Planning Panel's advice to Council (refer to Attachment 2) is consistent with the Council Officer's recommendation in this report.
- (e) That Council delegate authority to the Chief Executive Officer to correct any minor anomalies of a non-policy and administrative nature that may arise during the amendment process.

**Record of Voting:**

For the Motion: Lord Mayor, Councillor Esber, Councillors Darley, Garrard, Green, Humphries, MacLean, Noack, Pandey, Deputy Lord Mayor Councillor Prociv, Siviero, Valjak, Wang and Wearne

Against the Motion: Councillor Bradley

On being PUT to the meeting voting on this item was Thirteen (13) votes FOR and One (1) vote AGAINST. The Motion was CARRIED

13.6 **Planning Agreement Amendments: 20-22 Macquarie Street, Parramatta and 197-207 Church Street/89 Marsden Street, Parramatta**

(Report of Team Leader Infrastructure Planning)

4756 **RESOLVED:** Councillor Garrard and Councillor Wang

- (a) That Council endorse in-principle amendments to existing Planning Agreements relating to land at 20-22 Macquarie Street and 197-207 Church Street and 89 Marsden Street, Parramatta to delete the obligations relating to *Public Access & Easements*, including any ancillary amendments.
- (b) That delegated authority be granted to the CEO to prepare the draft Deeds of Variation to the Planning Agreements for public exhibition purposes.
- (c) That the draft Deeds of Variation to the Planning Agreements be publicly exhibited for 28 days.
- (d) That, the outcomes of the public exhibition be detailed in a further report to Council.

**Record of Voting:**

For the Motion: Lord Mayor, Councillor Esber, Councillors Darley, Garrard, Green, Humphries, MacLean, Noack, Pandey, Deputy Lord Mayor Councillor Prociv, Siviero, Valjak, Wang and Wearne

Against the Motion: Councillor Bradley (abstain)

On being PUT to the meeting voting on this item was Thirteen (13) votes FOR and One (1) vote AGAINST. The Motion was CARRIED.

## ADJOURNMENT OF MEETING

At 7.43pm, the Lord Mayor, Councillor Esber adjourned the meeting for 5 minutes.

At the time of the Adjournment, the following Councillors were present:

Lord Mayor, Councillor Esber, Deputy Lord Mayor, Councillor Prociv and Councillors MacLean, Pandey, Humphries, Noack, Bradley, Wearne, Garrard, Wang, Siviero, Green, Darley and Valjak.

## RECONVENED MEETING

At 7.50pm, the Lord Mayor, Councillor Esber reconvened the meeting.

At the time of the reconvened meeting, the following Councillors were present:

Lord Mayor, Councillor Esber and Councillors MacLean, Prociv, Pandey, Humphries, Noack, Bradley, Wearne, Garrard, Wang, Siviero, Green, Darley and Valjak.

Note: The following disclosures of interests were made in respect to item 14.1

**Lord Mayor Councillor Esber** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that he is a property owner and does not wish to put his position at conflict. Councillor Esber will not take part in the consideration and voting on this item.

**Councillor Garrard** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she owns two properties. Councillor Garrard will not take part in the consideration and voting on this item.

**Councillor Humphries** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a landlord in the LGA. Councillor Humphries will not take part in the consideration and voting on this item.

**Councillor Noack** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that he is a landlord in the LGA. Councillor Noack will not take part in the consideration and voting on this item.

**Councillor Pandey** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that he owns a rental property. Councillor Pandey will not take part in the consideration and voting on this item.

**Councillor Siviero** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for

Clean Up Service for Renters) for the reason that he owns an investment property for which he is a landlord. Councillor Siviero will not take part in the consideration and voting on this item.

**Councillor Valjak** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a landlord of a property and does not wish to put herself in a position on voting or discussing this matter as in her opinion there is conflict between her personal interest in this matter and this item. Councillor Valjak will not take part in the consideration and voting on this item.

**Councillor Wang** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a renter in the LGA. Councillor Wang will not take part in the consideration and voting on this item.

**Councillor Wearne** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters) for the reason that she is a property owner and a landlord in the LGA. Councillor Wearne will not take part in the consideration and voting on this item.

Note: At 7.51pm the following Councillors left the meeting;

Lord Mayor, Councillor Esber and Councillors Garrard, Humphries, Noack, Pandey, Siviero, Valjak, Wang and Wearne.

Note: Councillors Darley, MacLean, Green, Prociv and Bradley remained in the meeting.

Note: The Lord Mayor Councillor Esber declared a disclosure of interest in the following item therefore vacated the Chair at 7.52pm

Note: The Deputy Lord Mayor Councillor Prociv assumed the role of Chairperson.

The Deputy Lord Mayor Councillor Prociv advised that due to a lack of quorum on Item 14.1 (Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters), the item could not be debated or voted on.

14.1 **Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters**

(Councillor Kellie Darley)

**Councillor Darley** disclosed a Non- Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that she is a renter and has been served a 'No Grounds' eviction in the LGA. Councillor Darley will take part in the consideration and voting on this item.

**Lord Mayor Councillor Esber** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that he is a property owner and does not wish to put his position at conflict. Councillor Esber will not take part in the consideration and voting on this item.

**Councillor Garrard** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that she owns two properties. Councillor Garrard will not take part in the consideration and voting on this item.

**Councillor Humphries** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that she is a landlord in the LGA. Councillor Humphries will not take part in the consideration and voting on this item.

**Councillor Noack** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 for the reason that he is a landlord in the LGA. Councillor Noack will not take part in the consideration and voting on this item.

**Councillor Pandey** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that he owns a rental property. Councillor Pandey will not take part in the consideration and voting on this item.

**Councillor Siviero** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that he owns an investment property for which he is a landlord. Councillor Siviero will not take part in the consideration and voting on this item.

**Councillor Valjak** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that she is a landlord of a property and does not wish to put herself in a position on voting or discussing this matter as in her opinion there is conflict

between her personal interest in this matter and this item. Councillor Valjak will not take part in the consideration and voting on this item.

**Councillor Wang** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that she is a renter in the LGA. Councillor Wang will not take part in the consideration and voting on this item.

**Councillor Wearne** disclosed a Significant, Non-Pecuniary interest in relation to Item 14.1 Council Support to End 'No-Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters for the reason that she is a property owner and a landlord in the LGA. Councillor Wearne will not take part in the consideration and voting on this item

This matter lapsed due to a lack of quorum.

Note: At 7.54pm the following Councillors returned to the meeting

Lord Mayor ,Councillor Esber and Councillors Garrard, Humphries, Noack, Pandey, Siviero, Valjak, Wang and Wearne.

## 15. QUESTIONS WITH NOTICE

### 15.1 **Council Rate Categories and History of Rate Increases**

(Councillor Kellie Darley)

Item dealt with earlier in the meeting.

### 15.2 **Accessibility and Baby Change Facilities in Public and Community Toilets**

(Councillor Kellie Darley)

Item dealt with earlier in the meeting.

### 15.3 **Status of Various Council Resolutions**

(Councillor Kellie Darley)

Item dealt with earlier in the meeting

## 15.4 Playground Replacement Program

(Councillor Kellie Darley)

4757

### **QUESTION WITH NOTICE:**

- Please provide a list of playgrounds 15 years and older by Ward, with the name of the playground, suburb, year constructed, condition rating and year estimated to be replaced.

### **Executive Director, City Assets & Operations Response:**

Please see table below: A detailed confidential table will be provided under separate cover to Councillors via the Councillor Portal.

CoP Playgrounds as at March 2024				
SITE	SUBURB	WARD	YEAR CONSTRUCTED	EQUIPMENT AGE
Lake Parramatta Reserve Playground	NORTH PARRAMATTA	NORTH ROCKS	2007	17
Kim Rutherford Reserve	EPPING	EPPING	2008	16
Mobbs Lane Reserve Playground	EPPING	EPPING	2005	19
W.R.Musto Park Playground	PARRAMATTA	DUNDAS	2006	18
Noller Park Playground	PARRAMATTA	ROSEHILL	2007	17
Thane Street Park Playground	WENTWORTHVILLE	PARRAMATTA	2008	16
Somerville Park Playground	EASTWOOD	EPPING	2001	23
Shannons Paddock Playground	WENTWORTHVILLE	PARRAMATTA	2005	19
Elizabeth MacArthur Park Playground	TELOPEA	DUNDAS	2004	20
Rapanea Community Forest Playground	DUNDAS VALLEY	EPPING	1996	28
Symonds Avenue Reserve Playground	NORTH PARRAMATTA	DUNDAS	2006	18
Don Moore Reserve Playground	NORTH ROCKS	NORTH ROCKS	2008	16
North Rocks Park Junior Playground	CARLINGFORD	NORTH ROCKS	2007	17
Tynan Park Playground	ERMINGTON	DUNDAS	2004	20
Bradley Drive Reserve Playground	CARLINGFORD	NORTH ROCKS	2005	19
John Hourigan Reserve Playground	NORTHMEAD	NORTH ROCKS	2005	19
North Rocks Park Playground	CARLINGFORD	NORTH ROCKS	2007	17
Robin Street Playground	CARLINGFORD	EPPING	2006	18
Hughes Avenue Reserve Playground	ERMINGTON	ROSEHILL	2008	16
Lockyer Reserve Playground	ERMINGTON	DUNDAS	2007	17
Anna Maria King Park Playground	DUNDAS	DUNDAS	2008	16
Caroline Chisholm Playground	WINSTON HILLS	NORTH ROCKS	2006	18
Joseph Knox Park Playground	PENDLE HILL	PARRAMATTA	2008	16
Model Farms Reserve Playground	WINSTON HILLS	NORTH ROCKS	2004	20
Palestine Park Playground	WINSTON HILLS	NORTH ROCKS	2003	21
Birk Park Playground	CONSTITUTION HILL	PARRAMATTA	2006	18
Bruce Cole Reserve Playground	WINSTON HILLS	NORTH ROCKS	2007	17
Eric Primrose Reserve Playground	RYDALMERE	ROSEHILL	2008	16
Hannibal MacArthur Park Playground	RYDALMERE	ROSEHILL	2007	17
John Carver Reserve Playground	RYDALMERE	DUNDAS	2007	17
Timbergetters Reserve Playground	WINSTON HILLS	NORTH ROCKS	2006	18
Willmot Reserve Playground	TOONGABBIE	PARRAMATTA	2007	17
Doris Sargeant Park Playground	OLD TOONGABBIE	PARRAMATTA	2004	20
Marri Badoo Reserve Playground	RYDALMERE	DUNDAS	2004	20
McMillan Avenue Reserve Playground	WINSTON HILLS	NORTH ROCKS	2004	20
Williams Reserve Playground	DUNDAS	DUNDAS	2004	20
Dunrossil Park Playground	CARLINGFORD	EPPING	2007	17
Robin Hood Park Playground	NORTHMEAD	PARRAMATTA	2003	21
Armagh Park - Alice Watkins Playground	CONSTITUTION HILL	PARRAMATTA	2007	17
Ambrose Hallen Park Playground	TOONGABBIE	PARRAMATTA	2006	18
Peachtree Avenue Reserve Playground	CONSTITUTION HILL	PARRAMATTA	2009	15
Ron Hill Park Playground	TOONGABBIE	PARRAMATTA	2009	15
Bretby Park Playground	RYDALMERE	ROSEHILL	2009	15

2. What is the average cost range to replace a playground currently?

**Executive Director, City Assets & Operations Response:**

An average cost cannot be provided. (Costs can range from \$175,000 for a local playground up to \$1 million for a district playground).

3. What factors are concerned when prioritising playgrounds to be replaced?

**Executive Director, City Assets & Operations Response:**

A multi-factor assessment approach is used taking into consideration factors such as the asset condition rating, age, walking catchments and current and future playground provision arising from the Community Infrastructure Strategy.

4. What is the lifespan of our playgrounds?

**Executive Director, City Assets & Operations Response:**

In accordance with Council's current Asset Management System, the useful life of our playgrounds is generally 15 years, however this can be extended up to 30 years on a case by case basis.

5. What is the current budget for playground replacements?

**Executive Director, City Assets & Operations Response:**

The playground replacement budget for 2023/24 is \$1,020,000.

15.5 **Council's Public Tree Program**

(Councillor Kellie Darley)

Item dealt with earlier in the meeting.

15.6 **Developer Contributions for Local Infrastructure (City Centre/Church St Precinct, North Parramatta)**

(Councillor Phil Bradley)

4758

**QUESTIONS WITH NOTICE:**

1. As advised by the Executive Director, City Planning and Design, for the CBD/City Centre full development, "the current funding gap between the total works program [for local community infrastructure] and the estimated [developer contribution] income is \$1.295 Billion" ie. \$1,295 million. What please is the breakup list of items and their location included in the "total works program"/schedule?

**Executive Director, City Planning & Design Response:**

The list of items, estimated cost and priority is included within the Works Program to the Parramatta City Centre Local Infrastructure Contributions Plan 2022 in Appendix C (which is a statutory requirement in any plan). Maps showing the location of the works are included at Appendix D. The Plan is available at: [Parramatta City Centre Local Infrastructure Contributions Plan 2022 \(nsw.gov.au\)](https://www.parramatta.nsw.gov.au/works-program).

2. Officers have previously advised that “to fully fund the [directly attributable] apportionable component [of work schedule items], the proposed [contribution] rates would, in theory, need to double”.
  - a) In the Church St North [Parramatta] precinct, the stated 20% reduction of theoretical GFA would already reduce the cost of development by about 20% and thus the cost of a 5% developer contribution by about 20%. Why then should Council allow an *additional 20% cost reduction* of the city centre 5% developer contribution rate to 4% for residential development?
  - b) Likewise, why should Council allow a 25% additional cost reduction of the city centre 4% contribution rate to 3% for commercial development, when a theoretical 20% reduction of GFA would already reduce the cost of a 4% developer contribution rate by about 20%?

**Executive Director, City Planning & Design Response:**

To fully fund the apportionable component of the works program of about \$1.2 billion, the Officer’s report to the meeting of 25 October 2021 (page 762) stated that the 3% levy in place at that time would need to double to **6% levy** (assuming full development of all sites). However, this rate could not be supported on development feasibility grounds, which was verified by independent testing. The previous report to Council of 26 February 2024 (page 109) explained the rationale for the proposed percentage rates for the Church Street North precinct (4% for Residential and 3% for Commercial) that were endorsed by Council for exhibition – page 12). As contributions in the City Centre are calculated using estimated development cost, a reduction in the development potential on a site or in a precinct inevitably reduces the potential overall income across that precinct. These principles also apply to commercial development.

3. Given the apparent “double dipping” reduction of the 4%/3% recommended developer contribution referred to in 2 above, surely a slightly increased 4.5% residential and 3.5% commercial contribution rate in the Church St North precinct would still be “viable” by providing a very profitable Internal Rate of Return of about 20% and provide about \$5 million more for the community?

**Executive Director, City Planning & Design Response:**

Council’s endorsed draft rates for the Church Street North precinct align with the 20% reduction in development potential between Council’s original CBD Planning Proposal and the final planning

controls developed through the State Government-led rezoning. An analysis of the rates recommended to Council and their impact on the theoretical Internal Rate of Return (IRR) achievable by developers in the precinct is provided in the Officer's Report of 25 October 2021 (Paragraphs 18 and 19). The consultant's report suggests that even at higher FSRs, a 5% contribution would only just meet the industry accepted benchmark of 20% IRR. Therefore, officers are satisfied that the 4% recommended for residential is an appropriate adjustment given the 20% decrease in development potential and the need to retain business confidence and continue to attract investment in the Parramatta CBD.

4. Approximately what proportion of the LGA's residential and commercial rates, fees and/or charges will need to be contributed each year to fund the estimated \$1.295 Billion infrastructure shortfall associated with new development in addition to these paying for Council's operating expenses?

**Executive Director, City Planning & Design Response:**

The Works Program within the City Centre contributions plan sets out estimated costs of works and locations for delivery over the 40-year life of the contributions plan based on local infrastructure assumptions and priorities when the Program was developed (2021-2022). The Works Program is subject to periodic reviews and change. The final commitment to deliver particular works aligns with Council's Delivery Program and Operational Plan and budgeting processes as resolved by Council each year. In addition, funding for certain projects usually entails a mix of developer contributions, VPA funding, grants from Federal and State governments and Council funds. For these reasons, officers are not in a position to estimate what proportion of funding for the works program will be derived from rates vs other sources of funding that become available each year.

**15.7 Questions Taken on Notice at 25 March 2024 Council Meeting**

(Report of the Council Secretariat and Policy Officer)

Item dealt with earlier in the meeting.

**PROCEDURAL MOTION  
MOVE TO CLOSED SESSION**

**RESOLVED:** Councillor Noack and Councillor Wearne

That at this time of the meeting, being 7.57pm, the Lord Mayor, Councillor Esber advised that the meeting would move into Closed Confidential Session to allow consideration of matters in Closed Session in accordance with Section 10A of the *Local Government Act 1993*. Accordingly, members of the press and public are excluded from the closed session and access to the correspondence and reports

relating to the items considered during the course of the Closed Session will be withheld.

This action is taken to discuss:

**16.1 Request for Quotation - Lake Parramatta Reserve Swimming Area (Area A) Lackey Street, North Parramatta** (Group Manager Capital Projects)

*This report is confidential in accordance with section 10A (2) (d) of the Local Government Act 1993 as the report contains commercial information of a confidential nature that would, if disclosed (i) prejudice the commercial position of the person who supplied it; or (ii) confer a commercial advantage on a competitor of the Council; or (iii) reveal a trade secret.*

**Record of Voting:**

For the Motion: Unanimous

Note: Council moved into closed session at 7.57pm

Note: Councillor Green left the meeting at 8.17pm and did not return.

## 16. CLOSED SESSION

16.1 **Request for Quotation - Lake Parramatta Reserve Swimming Area (Area A) Lackey Street, North Parramatta**

(Report of Group Manager Capital Projects)

**MOTION:** Councillor Garrard and Councillor Wearne

That consideration of this matter be deferred until a Councillor Workshop has been held.

**AMENDMENT:** Councillor Darley and Councillor MacLean

- (a) That the quotation submitted by RARE Environmental Pty Ltd for construction of Area A of the Lake Parramatta Reserve Swimming Area Upgrade for the sum of \$1,135,727.85 (excluding GST) be accepted.
- (b) That all unsuccessful contractors be advised of Council's decision in this matter.
- (c) That Council delegate authority to the Chief Executive Officer to finalise and execute all necessary documents.
- (d) That a Councillor workshop be held to discuss risk mitigation measures at Lake Parramatta.

**Record of Voting:**

For the Amendment: Lord Mayor, Councillor Esber, Deputy Lord Mayor, Councillor Prociv Councillors Bradley, Darley, Humphries MacLean, Noack, Pandey and Valjak

Against the Amendment: Councillors Garrard, Siviero, Wang and Wearne.

On being put to the meeting, voting on the Amendment was nine (9) votes FOR and four (4) votes AGAINST. The Amendment therefore became the MOTION.

**MOTION:** Councillor Darley and Councillor MacLean

- (a) That the quotation submitted by RARE Environmental Pty Ltd for construction of Area A of the Lake Parramatta Reserve Swimming Area Upgrade for the sum of \$1,135,727.85 (excluding GST) be accepted.
- (b) That all unsuccessful contractors be advised of Council's decision in this matter.
- (c) That Council delegate authority to the Chief Executive Officer to finalise and execute all necessary documents.
- (d) That a Councillor workshop be held to discuss risk mitigation measures at Lake Parramatta.

**Record of Voting:**

For the Motion: Lord Mayor, Councillor Esber, Deputy Lord Mayor, Councillor Prociv Councillors Bradley, Darley, Humphries, MacLean, Noack, Pandey and Valjak

Against the Motion: Siviero, Garrard, Wearne and Wang

On being put to the meeting, voting on the Motion was nine (9) votes FOR and four (4) votes AGAINST. The Motion was CARRIED.

Question Taken on Notice (Clr Garrard) in relation to Item 16.1 Request for Quotation - Lake Parramatta Reserve Swimming Area (Area A) Lackey Street, North Parramatta (CLOSED SESSION)

## **PROCEDURAL MOTION RETURN TO OPEN SESSION**

**RESOLVED:** Councillor Noack and Councillor MacLean

That Council move into open session.

### **Record of Voting:**

For the Motion: Unanimous

Note: Council Moved to Open Session at 8.56pm.

## **PROCEDURAL MOTION CONSIDERATION OF RECOMMENDATIONS FROM CLOSED SESSION**

**RESOLVED:** Councillor Noack and Councillor MacLean

That the recommendations in relation to Item:

- **16.1 Request for Quotation - Lake Parramatta Reserve Swimming Area (Area A) Lackey Street, North Parramatta**

be received and noted as resolutions of Council without any alteration and amendment thereto.

### **Record of Voting:**

For the Motion: Unanimous

### **16.1 Request for Quotation - Lake Parramatta Reserve Swimming Area (Area A) Lackey Street, North Parramatta**

(Report of Group Manager Capital Projects)

**4759 RESOLVED:** Councillor Noack and Councillor MacLean

- (a) That the quotation submitted by RARE Environmental Pty Ltd for construction of Area A of the Lake Parramatta Reserve Swimming Area Upgrade for the sum of \$1,135,727.85 (excluding GST) be accepted.
- (b) That all unsuccessful contractors be advised of Council's decision in this matter.
- (c) That Council delegate authority to the Chief Executive Officer to finalise and execute all necessary documents.

(d) That a Councillor workshop be held to discuss risk mitigation measures at Lake Parramatta.

**Record of Voting:**

For the Motion: Lord Mayor, Councillor Esber, Deputy Lord Mayor, Councillor Procv Councillors Bradley, Darley, Humphries, MacLean, Noack, Pandey and Valjak

Against the Motion: Siviero, Garrard, Wearne and Wang

On being put to the meeting, voting on the Motion was nine (9) votes FOR and four (4) votes AGAINST. The Motion was CARRIED.

**CONCLUSION OF MEETING**

The meeting concluded at 8.58pm.

This page and the preceding 31 pages are the Minutes of the Ordinary Council Meeting held on Monday, 8 April 2024 and confirmed on Monday, 22 April 2024.

---

Chairperson

UNCONFIRMED

THIS PAGE LEFT INTENTIONALLY BLANK

**REPORTS TO COUNCIL - FOR NOTATION**

**22 APRIL 2024**

12.1	Investment Report for March 2024 .....	42
12.2	Status Report - Update on Execution of Funding Deeds (Western Sydney Infrastructure Grants and Accelerated Infrastructure Funding Programs).....	94

## REPORTS TO COUNCIL - FOR NOTATION

---

<b>ITEM NUMBER</b>	12.1
<b>SUBJECT</b>	Investment Report for March 2024
<b>REFERENCE</b>	F2024/00282 - D09386897
<b>REPORT OF</b>	Tax and Treasury Accountant
<b>CSP THEME:</b>	Fair

**WORKSHOP/BRIEFING DATE:** Nil

### PURPOSE:

The purpose of this report is to inform Council of the investment portfolio performance and compliance for the month of March 2024.

### RECOMMENDATION

That Council receive and note the Investment Report for March 2024.

### BACKGROUND

1. In accordance with clause 212 of the *Local Government (General) Regulation 2021 (the Regulation)*, a report setting out details of all money invested must be presented to Council monthly.
2. The report must include a certificate as to whether the investments have been made in accordance with the *Local Government Act 1993 (the Act)*, the *Local Government (General) Regulation 2021* and Council's Investment Policy.

### ISSUES/OPTIONS/CONSEQUENCES

#### Investment Portfolio Summary

3. The investment portfolio closing balance as of 31 March 2024 was \$486.8m. The average portfolio holdings held throughout the month was \$496.5m.
4. The majority of Council's investment portfolio is in term deposits (63%). The portfolio also includes liquid floating rate notes (FRNs), cash, and the TCorp Long Term Growth Fund (LTGF).
5. Approximately 10.12% of the portfolio comprises of less conservative long-term investments with exposure to credit markets and domestic and international shares. The investment portfolio is well diversified and weighted towards higher-rated institutions.
6. The table below lists the diversified range of investments held by Council as at 31 March 2024.

Table 1: Summary of investment portfolio

Investment Product	000's	% Held	Monthly Return	Annualised Return
Term Deposits	306,050	0.63	0.36	4.35
Floating Rate Notes	67,995	0.14	0.47	5.67
Bonds	32,240	0.07	0.13	1.59
Cash at Call	31,004	0.06	0.38	4.60
31 Day Notice Funds	171	0.00	0.40	4.80
CFS Global Managed Funds (CFS)	15,642	0.03	0.73	8.95
TCorp Long Term Growth Fund (LTGF)	33,637	0.07	2.12	28.03
<b>Total Investment Funds</b>	<b>486,739</b>	<b>1.00</b>	<b>0.49</b>	<b>5.97</b>
<b>*COPC Internal Benchmark</b>			<b>0.48</b>	<b>6.67</b>
<b>Ausbond Bank Bill Index Benchmark</b>			<b>0.37</b>	<b>4.41</b>
<b>(Underperformance) / Outperformance &gt; Ausbond BBI</b>				<b>1.56</b>

**\*COPC Internal Benchmark returns** - based on Council's individual benchmarks across the various asset classes it invests within its own portfolio. The following individual benchmarks are the measurements, used for each asset class.

**Cash:** RBA Cash Rate

**Term Deposits:** based on Council's weighted average duration using multiple ADIs average monthly rate

**FRNs:** AusBond Credit FRN Index

**CFS Global Credit Income Fund:** AusBond Credit Index

**NSW TCorpIM Long-Term Growth Fund:** NSW TCorpIM Internal Benchmark

**Investment performance for the month.** The investment portfolio reported a monthly actual return of **0.49%** for March 2024 (or 5.97% on an annualised basis), outperforming the monthly Ausbond bank bill index **by 156 basis** points annualised. The TCorp Fund actual return of 2.12% was the main contributor to performance, as both Domestic and international shares continued their rally this month, reaching new highs and contributing to overall returns of the Fund.

7. **Historical investment performance.** The table below provides year-to-date and historical investment performance compared to the Ausbond Bank Bill Index.

Table 2: Historical investment portfolio performance

Past and Present Performance	FYTD	1 Year	2 Year	3 Year
Total Portfolio	4.87	4.74	3.34	2.57
Ausbond Bank Bill Index Benchmark	4.35	4.19	3.11	2.08
<b>Outperformance</b>	<b>0.52</b>	<b>0.55</b>	<b>0.23</b>	<b>0.49</b>

8. **Investment Revenue:** As at the end of March 2024, the cumulative actual interest/income earned, was approximately **\$1.144m above** the annual budget. This outperformance is on the back of strong managed funds returns over the last quarter.

Going forward for 2023-24 Advisors exercise caution and expect volatility from the **TCorp Long-Term** given it has exposure to both domestic and international shares. This fund has a long duration view of 7-10 years and cannot be accurately measured for performance in the short term.

Table 3: Cumulative Interest table

Month-End	Cumulative Budget	Cumulative Investment Revenue	Difference (\$)
Jul 2023	\$1,766,667	\$2,157,596	\$390,929
Aug 2023	\$3,533,333	\$3,384,092	-\$149,241
Sep 2023	\$5,300,000	\$4,137,027	-\$1,162,973
Oct 2023	\$7,066,667	\$4,976,807	-\$2,089,860
Nov 2023	\$8,833,333	\$7,682,940	-\$1,150,393
Dec 2023	\$10,600,000	\$10,367,665	-\$232,335
Jan 2024	\$12,366,667	\$12,629,655	\$262,988
Feb 2024	\$14,133,333	\$14,971,968	\$838,635
Mar 2024	\$16,274,999	\$17,419,131	\$1,144,132
Apr 2024	\$18,416,665		
May 2024	\$20,558,331		
Jun 2024	\$22,700,000		

**Note:** Council values all managed funds, Floating rate notes, and bonds on a mark to market basis each month. Any gain or loss in valuation is capitalised to interest income based on actual monthly statements.

Table 4: Managed Fund Valuations Capitalised

Managed Funds Long-Term Investments	Asset Valuation Feb-24	Asset Valuation Mar-24	Value Capitalised Net Return	Monthly Interest Return Actual
TCorp Long Term Growth Fund	\$32,938,619	\$33,637,135	\$698,516	2.12%
CFS Global Managed Fund	\$15,528,107	\$15,641,556	\$113,450	0.73%
<b>Total:</b>	<b>\$48,466,726</b>	<b>\$49,278,691</b>	<b>\$811,966</b>	<b>1.68%</b>

9. During March, unrealised capital valuations on Managed funds rose by approximately \$812k. This increase in capital valuation, has been capitalised and is included in the cumulative investment revenue shown in table 3.
10. **The CFS Global Credit fund** accounts for around 3.21% of Council's total investment portfolio. The Fund returned +0.73% (actual) in March, as market valuations in global credit securities increased. With a running yield of 5% p.a., advisors recommend Council retains this "grandfathered" Fund given the alternative to invest in cash and deposits are yielding slightly lower.
11. **Maturities and Transactions:** Overall, the portfolio remains well diversified from a maturity perspective, with around 21% of assets directed to medium term (2-5 years).
12. Where liquidity permits, Council advisors recommend new surplus funds be directed towards 1–5-year horizons given this is where the most attractive value can be found.

## 13. The following Investment transactions occurred during March 2024:

Table 5: Investment Maturities

Type	Issuer	Rating	Principal (\$)	Purchase Date	Maturity Date	Coupon (%)
TD	G&C Mutual Bank	BBB	5,000,000.00	14-Aug-23	07-Mar-24	5.25
TD	JUDO BANK	BBB-	4,000,000.00	18-Sep-23	14-Mar-24	5.07
TD	Summerland Bank	Unrated	3,000,000.00	20-Mar-23	21-Mar-24	5.06
TD	Auswide Bank	BBB	4,000,000.00	09-Aug-23	28-Mar-24	5.47
TD	Warwick Credit Union	Unrated	1,000,000.00	26-Sep-23	28-Mar-24	5.26
			<b>17,000,000.00</b>			

Table 6: New Investment Purchases

Type	Issuer	Rating	Principal (\$)	Purchase Date	Maturity Date	Coupon (%)	Fossil Fuel- Green
FRN	ING Bank (Australia) Ltd	A	1,000,312.00	22-Mar-24	22-Mar-27	5.30	No
FRN	NAB	AA-	3,489,115.00	22-Mar-24	22-Mar-29	5.25	No
FRN	Suncorp	A+	2,499,362.50	19-Mar-24	19-Mar-29	5.33	Yes
TD	Move Bank	Unrated	2,000,000.00	15-Mar-24	13-Mar-25	5.25	Yes
TD	Move Bank	Unrated	2,000,000.00	15-Mar-24	27-Mar-25	5.25	Yes
TD	Summerland Bank	Unrated	2,000,000.00	13-Mar-24	13-Mar-25	5.20	Yes
			<b>12,988,789.50</b>				

14. During the month Council invested \$13m, in Term Deposits and Floating Rate Notes, of which \$9.5m were invested in **environmentally sustainable fossil fuel free investments**.

## 15. Portfolio Maturity Duration

Table 7: Maturity profile

Compliant	Horizon	Invested (\$)	Invested (%)	Min. Limit (%)	Max. Limit (%)	Available (\$)
✓	0 - 365 days	\$287,979,928	59.24%	20%	100%	\$198,144,921
✓	1 – 2 years	\$64,776,724	13.33%	0%	70%	\$275,510,671
✓	2 – 5 years	\$99,731,062	20.52%	0%	60%	\$191,943,847
✓	5 – 10 years	\$33,637,135	6.92%	0%	15%	\$39,281,592
		<b>\$486,124,850</b>	<b>100.00%</b>			

## 16. The portfolio complies with Council's Investment Policy limits, with ample investment opportunity still available within all institutional rating, duration, and counterparty limits.

Graph 1: Investment Policy rating capacity.



\*BBB-/BBB+ limits combined under Council's investment policy.

- Counterparty Limits.** All individual counterparty limits comply with council's investment policy, with the following exceptions:

Table 8: Exceptions to counterparty limits

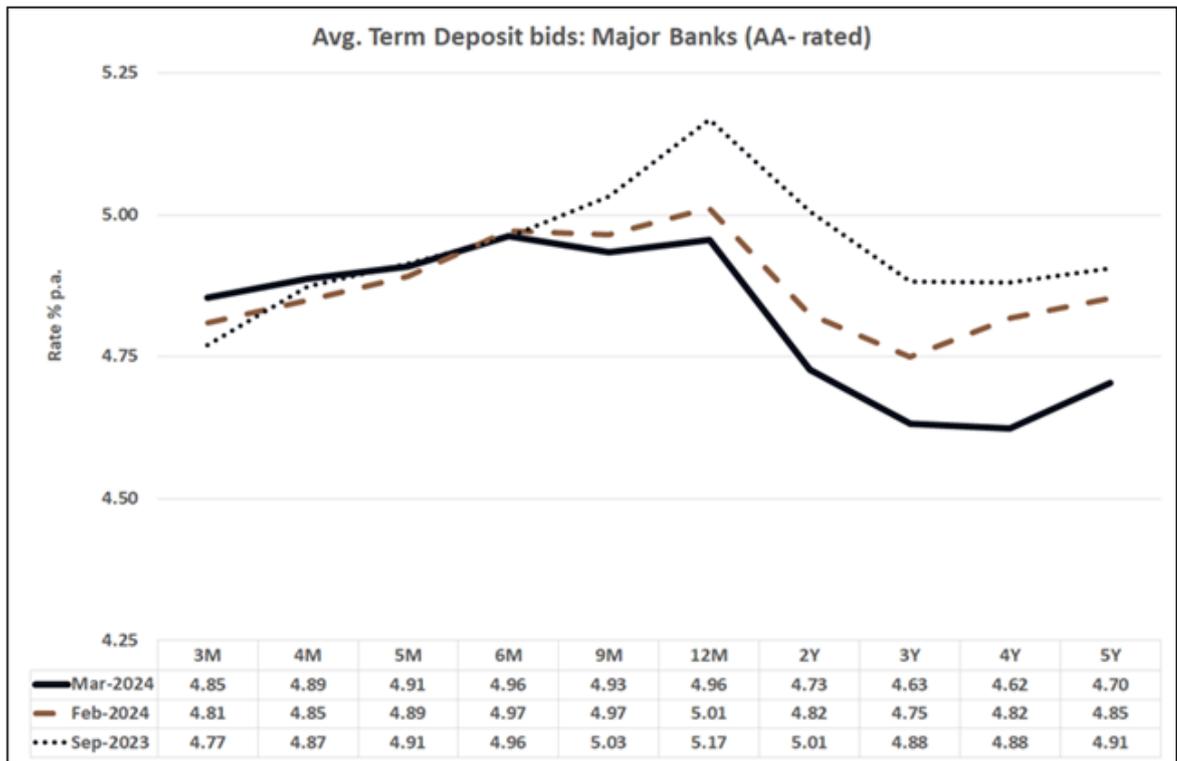
Institution	Policy Limit (\$'000)	Held (\$'000)	Overweight (\$'000)	Reason	Compliance Date
-------------	-----------------------	---------------	---------------------	--------	-----------------

No Exceptions

- As at the end of March 2024, Council did not have an overweight position to any single ADI. Overall, the portfolio is well diversified across the entire credit spectrum, including some exposure to unrated ADIs.
- A full list of counterparty holdings is available on page 9 of the Arlo Advisory comprehensive report (Attachment 2).
- Current Yields** Councils Floating Rate Notes are currently yielding around 5.65% FYTD with unrealised capital gains of approximately \$365k based on current market valuations.
- The CFS Global Credit Fund** holds a diverse range of securities across the global credit market. It remains very well diversified by issuer to mitigate default risk. It invests in nearly 600 corporate bonds from issuers in various countries and industry sectors. Any spread contraction going forward allows credit and asset-backed holdings to enjoy significant capital gains. With a running yield of around +5% per annum, Council will continue to hold this fund.
- Council's term deposit portfolio** (63% of the portfolio) was yielding 4.20% p.a. at month-end, with a weighted average duration of around 245 days or 8 months.

During March, at the very short end (3-5 months), the average major bank deposit rates were around 2-4bp higher compared to the previous month. In contrast, major bank deposit rates at the long-end fell between 10-20bp across the 2–5-year tenors. The longer-term rates are around 20-30bp lower across the board compared to where they were 6 months ago (September 2023), with rate cut expectations now gathering pace.

Graph 2: Term Deposit Yields



23. Council engages Arlo Advisory for assistance in all investment matters relating to advice, risk, and portfolio weighting. Arlo monitor the portfolio daily and conduct a monthly health check review. This confirms that Council’s portfolio is being conducted in accordance with the Act, the Regulation, and the Investment Policy.
24. Detailed investment performance commentary in relation to each investment product /type and counterparty, can be found in the Arlo Advisory comprehensive report attached (Attachment 2).

## Certification of Investments

25. I hereby certify the investments for the month of March 2024 have been made in compliance with the Act, the Regulations, Council's Investment Policy, and the adviser's recommendations.

**John Angilley, Executive Director, Finance & Information**

## CONSULTATION & TIMING

### Stakeholder Consultation

26. The following stakeholder consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Stakeholder</b>	<b>Stakeholder Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
29 Mar 2024	Arlo Advisory	All Investments are within Policy guidelines and supported by Councils independent advisor.  Refer Arlo Comprehensive Report	All Investments are within Policy limits and reconcile to the General Ledger as at 31 Mar 2024	John Angilley Executive Director, Finance & Information  Bruce MacFarlane Treasury & Tax Accountant

### Councillor Consultation

27. The following Councillor consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Councillor</b>	<b>Councillor Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
N/A	N/A	N/A	N/A	N/A

## LEGAL IMPLICATIONS FOR COUNCIL

28. There are no legal implications resulting from this report.

**FINANCIAL IMPLICATIONS FOR COUNCIL**

29. As of 31 March 2024, cumulative interest income outperformed the year-to-date budget by approximately **\$1.144m.**

Overall actual interest is tracking strongly versus budget despite some monthly volatility.

Bruce MacFarlane  
**Treasury Tax & Accounts Payable Manager**

John Angilley  
**Executive Director Finance & Information**

Gail Connolly  
**Chief Executive Officer**

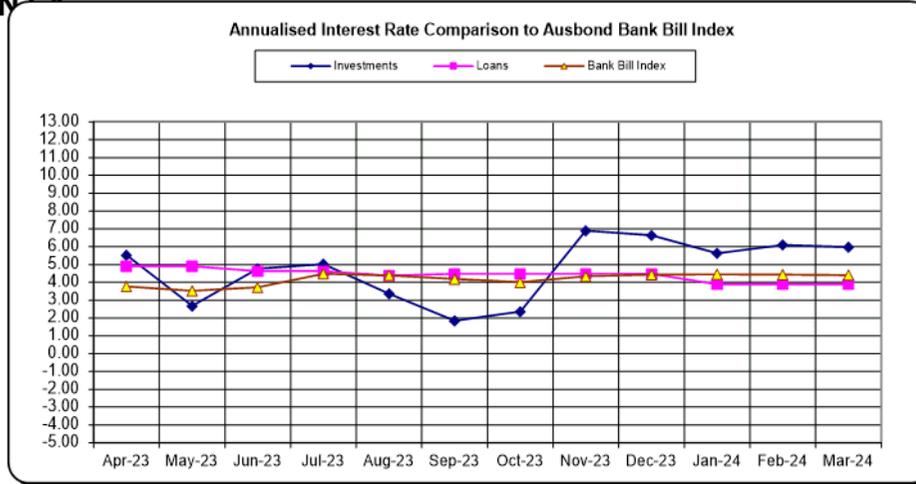
**ATTACHMENTS:**

<a href="#">1</a>  	Investment and Loans Performance Graph March 2024.pdf	1 Page
<a href="#">2</a>  	Arlo Advisory Comprehensive Investment Report -March 2024 .pdf	35 Pages
<a href="#">3</a>  	List of Council Investments by maturity March 2024.pdf	8 Pages

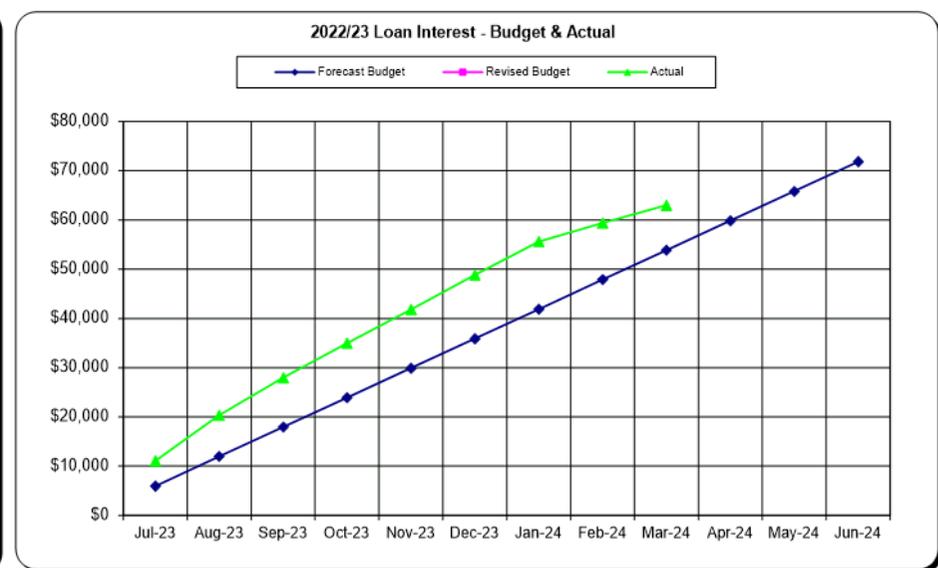
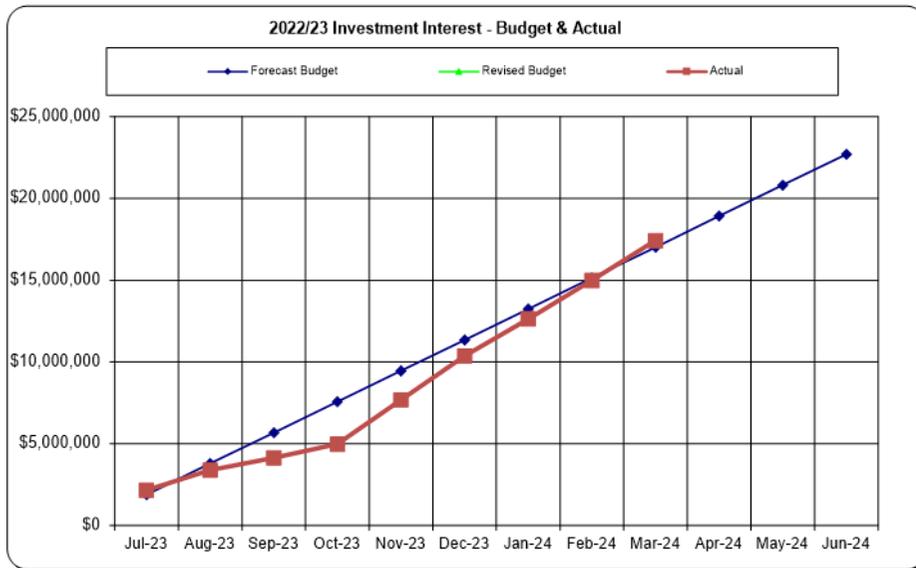
**REFERENCE MATERIAL**

ATTACHMENT 1

CL..... Governance & Corporate



Investments and Loans Interest - Year to Date Budget Performance





## Monthly Investment Review



**CITY OF  
PARRAMATTA**

March 2024

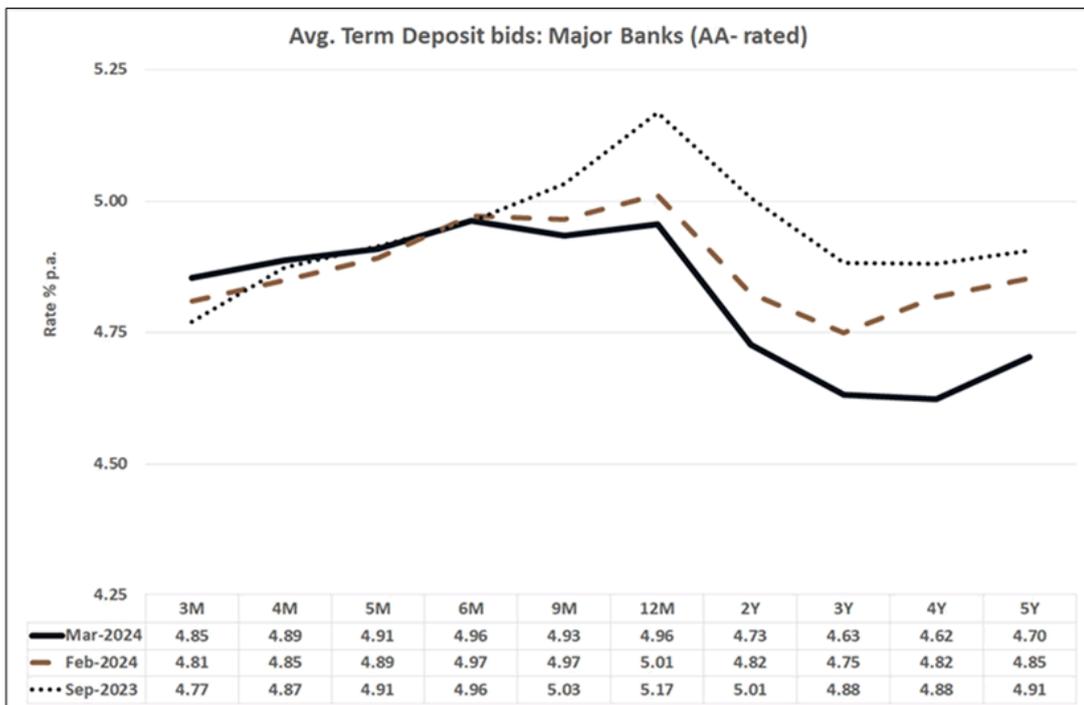
Arlo Advisory Pty Ltd  
ABN: 55 668 101 795  
Authorised Representative of InterPrac Financial Planning Pty Ltd  
AFSL 246 638  
Phone: +61 2 9053 2987  
Email: [michael.chandra@arloadvisory.com.au](mailto:michael.chandra@arloadvisory.com.au) / [melissa.villamin@arloadvisory.com.au](mailto:melissa.villamin@arloadvisory.com.au)  
125 Middle Harbour Road, East Lindfield NSW 2070



## Market Update Summary

Risk assets performed well in March as the narrative of economic resilience overshadowed concerns that rates may remain higher for an extended period of time.

Over March, at the very short-end (3-5 months), the average major bank deposit rates were around 2-4bp higher compared to the previous month. In contrast, major bank deposit rates at the long-end fell between 10-20bp across the 2-5 year tenors. The longer-term rates are around 20-30bp lower across the board compared to where they were 6 months ago (September 2023), with rate cut expectations now gathering pace.



Source: Imperium Markets

With a global economic downturn and multiple interest rate cuts being priced starting later this year, investors should consider taking an ‘insurance policy’ against a potentially lower rate environment by investing across 2-5 year fixed deposits, targeting rates above or close to 4%-5% p.a. (small allocation only).



## City of Parramatta Council's Portfolio Summary

### Term Deposits

Term Deposits (fixed and floating) account for around 63% of the total investment portfolio at month-end. Council's term deposit portfolio was yielding 4.20% p.a. at month-end, with a weighted average duration of around 245 days or ~8 months. Where liquidity permits, we recommend increasing the overall duration towards 9-12 months incrementally over the current financial year.

### Senior FRNs

Council's senior floating rate notes (FRNs) make up around 13½% of the total investment portfolio at month-end. The market valuation of Council's FRNs collectively remained relatively flat, rising **+0.01% (actual)** in March (**or +\$4,943 in dollar terms**). A total of \$7m of new investments were placed with the higher rated banks during the month.

Summary	February 2024	March 2024	Net Flow (\$)	Monthly Change %
Face Value	\$58,300,000	\$65,300,000	\$7,000,000	+12.01%
Market Value	\$58,583,879	\$65,588,822	\$4,943	+0.01%

We highlight that Council's FRNs are senior ranked assets and high in the bank capital structure. We expect that, if held to maturity, the FRNs will pay back its original face value (\$100.00), along with its quarterly coupons throughout the life of the security. That is, we do not expect Council to lose any capital or interest payments from its current holding in its senior FRNs given all banks continue to maintain high capital buffers as required by APRA.

At month-end, Council's FRNs are now marked at an **unrealised capital gain of +\$288,926** (noting some were purchased at a slight discount to par in the secondary market).

### BBB rated senior FRNs

As per all FRNs, we have no issues with Council's investments in "BBB" rated senior FRNs given all counterparties continue to hold robust balance sheets with high levels of capital. On a mark-to-market basis, collectively they rose around **\$2,285 in dollar terms or +0.01% (actual)** for the month.

Summary	February 2024	March 2024	Net Flow (\$)	Monthly Change %
Face Value	\$16,400,000	\$16,400,000	\$0	+0.00%
Market Value	\$16,473,690	\$16,475,974	\$2,285	+0.01%

At month-end, Council's "BBB" rated FRNs are now marked at an **unrealised capital gain of ~\$76,078**.



### Senior Bonds

Since September 2020, Council has an outstanding \$27m placed in Northern Territory Treasury Corporation (NTTC) fixed bonds rated AA- (same as the domestic major banks), locking in yields between 0.90%-1.40% p.a. The weighted average yield on these investments was 1.09% p.a., with a current weighted average duration of 1.61 years.

We believe these investments were sensible at the time of investment given the unprecedented low rate environment and the RBA's forward guidance at the time of investment (no rate rises "until at least 2024"). We reiterate that the NTTC bonds are a 'retail' offering and not 'wholesale' issuances. Given the lack of liquidity and high penalty costs if they were to be sold/redeemed prior to the maturity date, they are considered to be a hold-to-maturity investment and will be marked at par value (\$100.00) throughout the term of investment.

During August 2021, Council purchased \$600k in the ING (AAA) covered fixed bond at a yield of 1.16% p.a. This is likely to be held for the entire term given the rate hike cycle over the past two years. Given it is now trading at a significant discount to par, we recommend buying additional units if available, to average-in at a more attractive yield. Separately, recently, Council purchased fixed bonds with BoQ (BBB+) and Judo (BBB-) Bank at discounted values – these are likely to result in capital gains as they mature and were originally purchased at above +5% and +6% yields respectively.

### TCorp Long-Term Growth Fund

The NSW TCorp Fund accounts for ~7% of Council's total investment portfolio. **The Fund returned +2.12% (actual) during March.** Domestic and international shares continued their rally this month, reaching new highs and contributing to overall returns of the Fund.

Summary	Feb 2024	Mar 2024	Investment (\$)	Net Return (\$)	Net Return (%)
Market Value	\$32,938,619	\$33,637,135	\$0	+\$698,516	+2.12%

Global inflation has seemingly eased at the beginning of 2024. Advanced economy consumer price inflation fell below 3% annually in January, its lowest level since May 2021. However, some recent high monthly inflation reads has shifted out market expectations of when central bank rate cuts will start in, and the extent of easing likely to occur, over 2024.

The Fund should be looked at with a long-term view, with a minimum holding period of +7 years. Given the exposure to the volatile asset of shares, Council should expect to see, on average, a negative month once every 3 months over a long-term holding period.



### CFS Global Credit Income

The CFS Global Credit Income Fund accounts for around 3% of Council's total investment portfolio. **The Fund returned +0.73% (actual) in March**, as the market valuation of the fund's assets in global credit securities increased during the month.

Summary	Feb 2024	Mar 2024	Difference (\$)	Difference (%)
Market Value	\$15,528,107	\$15,641,556	+\$113,450	+0.73%

The Fund holds a diverse range of securities across the global credit market. It remains very well diversified by issuer in order to mitigate default risk. It invests in nearly 600 corporate bonds from issuers in various countries and industry sectors. Any spread contraction going forward allows credit and asset-backed holdings to enjoy significant capital gains.

With a running yield of around +5% p.a., we recommend Council retains this "grandfathered" Fund given the alternative to invest in cash and deposits (Council's approval list) are yielding lower.

### Cash Accounts

Cash accounts make up around 6½% of Council's investment portfolio at month-end. Council's cash accounts are likely to yield up to 0.15% p.a. (at most) above the official cash rate over coming years i.e. yield up to 4.50% p.a. at current yields. Short-dated term deposits will continue to outperform overnight cash accounts in most cases so we recommend keeping cash levels at a bare minimum to meet ongoing liquidity requirements.



### Council's Budgeted Income for FY2023-2024

Council's budgeted income for FY2023-2024 has been revised to \$22.7m. Based on an average total investment portfolio size of around \$480m, that equates to a budgeted yield of around 4.73% for the current financial year.

For the financial year to date, the cumulative interest revenue earned was roughly \$1.14m above the revised budgeted income. In the upcoming financial year, we exercise caution given the volatility from the TCorp Long-Term Growth Fund during any month (fluctuations can be up or down \$1m on any month).

Month-End	Cumulative Budget	Cumulative Investment Revenue	Difference (\$)
Jul 2023	\$1,766,667	\$2,157,596	\$390,929
Aug 2023	\$3,533,333	\$3,384,092	-\$149,241
Sep 2023	\$5,300,000	\$4,137,027	-\$1,162,973
Oct 2023	\$7,066,667	\$4,976,807	-\$2,089,860
Nov 2023	\$8,833,333	\$7,682,940	-\$1,150,393
Dec 2023	\$10,600,000	\$10,367,665	-\$232,335
Jan 2024	\$12,366,667	\$12,629,655	\$262,988
Feb 2024	\$14,133,333	\$14,971,968	\$838,635
Mar 2024	\$16,274,999	\$17,419,131	\$1,144,132
Apr 2024	\$18,416,665		
May 2024	\$20,558,331		
Jun 2024	\$22,700,000		

We remain cautious given that risks remain to the downside, particularly if there is another selloff in equities and/or bonds as the market factors in a global economic downturn.



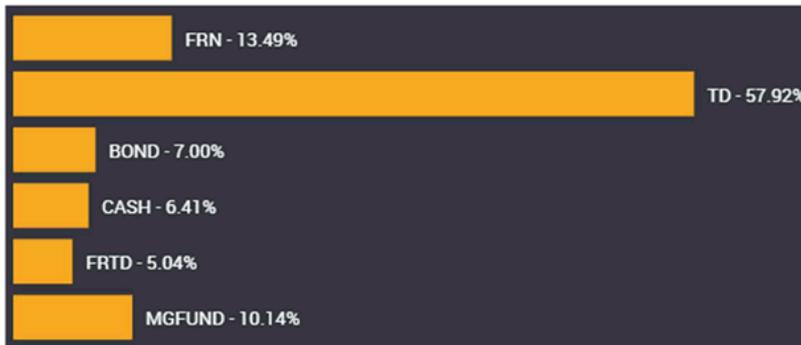
## Council’s Portfolio & Compliance

### Asset Allocation

As at the end of March 2024, the portfolio was mainly directed to fixed and floating rate term deposits (63%). The remaining portfolio is directed to FRNs (13%), overnight cash accounts (6%), bonds (7%), and the managed funds with CFS Global Credit Income Fund and NSW T-Corp Long Term Growth Fund (10%, combined).

Senior FRNs remain relatively attractive as spreads have generally widened over the past 2 years. New issuances may be considered again on a case by case scenario. In the interim, staggering a mix of fixed deposits between 9-12 months to 3 years remains a more optimal strategy to maximise returns over a longer-term cycle.

With multiple rate cuts and a global economic downturn being priced in coming years, investors can choose to allocate a small proportion of longer-term funds and undertake an insurance policy against any potential future rate cuts by investing across 2-5 year fixed deposits, locking in and targeting yields close to or above 4%-5% p.a.





**Term to Maturity**

Overall, the portfolio remains well diversified from a maturity perspective with around 21% of assets directed to medium-term assets (2-5 years). All minimum and maximum criteria meet within the Policy guidelines:



Where liquidity permits, we recommend new surplus funds be directed to 1-5 year horizons given this is where the most attractive value can be found. We suggest this be allocated to any remaining attractive fixed term deposits or newly issued FRNs (refer to respective sections below).

Compliant	Horizon	Invested (\$)	Invested (%)	Min. Limit (%)	Max. Limit (%)	Available (\$)
✓	0 - 365 days	\$287,979,928	59.24%	20%	100%	\$198,144,921
✓	1 - 2 years	\$64,776,724	13.33%	0%	70%	\$275,510,671
✓	2 - 5 years	\$99,731,062	20.52%	0%	60%	\$191,943,847
✓	5 - 10 years	\$33,637,135	6.92%	0%	15%	\$39,281,592
		<b>\$486,124,850</b>	<b>100.00%</b>			



### Counterparty

As at the end of March 2024, Council did not have an overweight position to any single ADI. Overall, the portfolio is well diversified across the entire credit spectrum, including some exposure to the unrated ADIs.

Compliant	Issuer	Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	BoQ Covered	AAA	\$903,816	0.19%	50.00%	\$242,158,609
✓	Bendigo Covered	AAA	\$5,219,916	1.07%	50.00%	\$237,842,508
✓	Suncorp Covered	AAA	\$552,531	0.11%	50.00%	\$242,509,894
✓	ING Covered	AAA	\$803,910	0.17%	50.00%	\$242,258,515
✓	ANZ	AA-	\$12,582,434	2.59%	40.00%	\$181,867,506
✓	CBA	AA-	\$32,394,491	6.66%	40.00%	\$162,055,449
✓	NAB	AA-	\$60,724,210	12.49%	40.00%	\$133,725,730
✓	Northern Territory	AA-	\$30,000,000	6.17%	40.00%	\$164,449,940
✓	Westpac	AA-	\$24,500,000	5.04%	40.00%	\$169,949,940
✓	Citibank NA	A+	\$1,001,337	0.21%	25.00%	\$120,529,875
✓	Macquarie	A+	\$2,435,721	0.50%	25.00%	\$119,095,492
✓	Suncorp	A+	\$20,262,724	4.17%	25.00%	\$101,268,489
✓	UBS AG	A+	\$5,785,219	1.19%	25.00%	\$115,745,994
✓	CFS Global CI	A	\$15,641,556	3.22%	25.00%	\$105,889,656
✓	ICBC	A	\$78,052,664	16.06%	25.00%	\$43,478,548
✓	ING Bank Aus.	A	\$25,000,312	5.14%	25.00%	\$96,530,900
✓	Aus. Military Bank	BBB+	\$5,000,000	1.03%	15.00%	\$67,918,727
✓	Aus. Unity Bank	BBB+	\$4,000,000	0.82%	15.00%	\$68,918,727
✓	BankVIC	BBB+	\$5,000,000	1.03%	15.00%	\$67,918,727
✓	Bank of Us	BBB+	\$21,000,000	4.32%	15.00%	\$51,918,727
✓	BoQ	BBB+	\$5,988,422	1.23%	15.00%	\$66,930,306
✓	Bendigo-Adelaide	BBB+	\$3,117,098	0.64%	15.00%	\$69,801,630
✓	Hume Bank	BBB+	\$4,500,000	0.93%	15.00%	\$68,418,727
✓	QT Mutual Bank	BBB+	\$999,742	0.21%	15.00%	\$71,918,985
✓	AMP Bank	BBB	\$10,671,392	2.20%	15.00%	\$62,247,336
✓	Auswide Bank	BBB	\$10,000,000	2.06%	15.00%	\$62,918,727
✓	Bank Australia	BBB	\$4,217,584	0.87%	15.00%	\$68,701,144
✓	CUA	BBB	\$2,506,800	0.52%	15.00%	\$70,411,928
✓	Heritage	BBB	\$2,110,011	0.43%	15.00%	\$70,808,717
✓	MyState	BBB	\$3,000,000	0.62%	15.00%	\$69,918,727
✓	Newcastle	BBB	\$1,514,609	0.31%	15.00%	\$71,404,119
✓	P&N Bank	BBB	\$11,500,000	2.37%	15.00%	\$61,418,727
✓	Police Bank	BBB	\$4,000,000	0.82%	15.00%	\$68,918,727
✓	Judo Bank	BBB-	\$6,492,938	1.34%	15.00%	\$66,425,789
✓	QBank	BBB-	\$5,008,281	1.03%	15.00%	\$67,910,446
✓	The Mutual	BBB-	\$6,000,000	1.23%	15.00%	\$66,918,727



Compliant	Issuer	Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	Bank of Sydney	Unrated	\$5,000,000	1.03%	1.03%	\$0
✓	Move Bank	Unrated	\$4,000,000	0.82%	1.03%	\$1,000,000
✓	Police CU	Unrated	\$4,000,000	0.82%	1.03%	\$1,000,000
✓	Summerland Bank	Unrated	\$2,000,000	0.41%	1.03%	\$3,000,000
✓	Unity Bank	Unrated	\$5,000,000	1.03%	1.03%	\$0
✓	TCorpIM LTG	Unrated	\$33,637,135	6.92%	10.00%	\$14,975,350
			<b>\$486,124,850</b>	<b>100.00%</b>		

### Domestic versus International

Noting Council's (internationally) demographic ratepayer base, we summarise where its investments are currently placed:

ADI Category by APRA / Country of Region	Amount Invested	Percentage
Australian Owned ADI	\$321,454,096	66.13%
Australia	\$321,454,096	66.13%
Branches of Foreign Bank	\$84,839,220	17.45%
China	\$78,052,664	16.06%
Switzerland	\$5,785,219	1.19%
United States	\$1,001,337	0.21%
Foreign Subsidiary Banks	\$30,552,843	6.28%
Lebanon	\$5,000,000	1.03%
Netherlands	\$25,552,843	5.26%
Global <sup>^</sup>	\$49,278,691	10.14%
International	\$49,278,691	10.14%
<b>Total</b>	<b>\$486,124,850</b>	<b>100.00%</b>

Source: <https://www.apra.gov.au/register-of-authorized-deposit-taking-institutions>

<sup>^</sup>Global: The NSW TCorpIM LTGF and CFS Global Credit Income Fund invests in hundreds of underlying securities globally, from which the portfolio composition is likely to change regularly.

Overall, approximately 66% of Council's total investment portfolio is placed with domestic ADIs, while the remaining 34% is placed with international banks and corporate entities. In response to global financial crisis (GFC), the Financial Stability Board (FSB) came up with a range of financial metrics to ascertain which banks were effectively deemed "too big to fail". A list of Globally Systemic Important Banks (G-SIBs) was developed, in which these banks required to hold much higher levels of capital compared to their smaller peers to ensure their financial stability under various stress test scenarios (e.g. another GFC).

Council's exposure to the international banks are generally with such Globally Systemic Important Banks (G-SIBs), including ICBC (China), ING Bank (Netherlands), UBS (Switzerland) and Citibank (US).

**Overall, we have no concerns with Council's exposure to international banks given they are largely considered to be globally systematic important banks that are 'too big to fail'.**



## Fossil Fuel Investments

### What is Council's current exposure to institutions that fund fossil fuels?

Using the following link <http://www.marketforces.org.au/banks/compare>, based on the Council's investment portfolio balance as at 31/03/2024 (\$486.12m), we can roughly estimate that ~51% of the investments have some form of exposure. Council's exposure is summarised as follows:

Counterparty	Credit Rating	Funding Fossil Fuel
BoQ Covered	AAA	Yes
Bendigo Covered	AAA	No
Suncorp Covered	AAA	No
ING Covered	AAA	Yes
ANZ	AA-	Yes
CBA	AA-	Yes
NAB	AA-	Yes
Northern Territory	AA-	Yes
Westpac	AA-	Yes
Citibank NA	A+	Yes
Macquarie	A+	Yes
Suncorp	A+	No
UBS AG	A+	No
CFS Global Credit^^	A	Yes
ICBC	A	No
ING Bank Australia	A	Yes
Aus Military Bank	BBB+	No
Aus Unity Bank	BBB+	No
BOQ	BBB+	No
BankVIC	BBB+	No
Bank of Us	BBB+	No
Bendigo-Adelaide	BBB+	No
Hume Bank	BBB+	No
QT Mutual Bank	BBB+	No
AMP Bank	BBB	Yes
Auswide Bank	BBB	No
Bank Australia	BBB	No
CUA	BBB	No
Heritage	BBB	No
MyState	BBB	No
Newcastle	BBB	No
P&N Bank	BBB	No
Police Bank	BBB	No
QBank	BBB-	No
Judo Bank	BBB-	No
The Mutual Bank	BBB-	No
Bank of Sydney	Unrated	No
Move Bank	Unrated	No
Police CU	Unrated	No
Summerland CU	Unrated	No
Unity Bank	Unrated	No
T-CorpIM LTG Fund^^	Unrated	Yes

^^The underlying exposure in these managed funds includes the domestic major banks.

Source: <https://www.marketforces.org.au/info/compare-bank-table/>



Summary	Amount	Invested %
Yes	\$250,044,935	51%
No	\$236,079,915	49%
	<b>\$486,124,850</b>	<b>100%</b>

#### **Transition to investments without major exposure to fossil fuels**

Council has not made a decision to divest from the current portfolio of investments which have exposure to fossil fuels. To do so would have unfavourable implications to the credit quality, rating and interest income forecasts.

However, where possible, and within the ministerial and policy guidelines, Council will continue to favour newly issued fossil fuel free investment products, providing it does not compromise the risk and return profile.

In time it is Council's intention to move to a more balanced portfolio which has less exposure to fossil fuels, providing it is prudent to do so.

#### **What would be implications on our portfolio credit rating?**

By adopting a free fossil fuel policy or an active divestment strategy, this would eliminate the major banks rated "AA-" as well as some other "A" rated banks (Citi, Macquarie and ING). Council would be left with a smaller sub-sector of banks to choose to invest with.

#### **What would be risks and implications on Council's portfolio performance?**

Some implications include:

- High concentration risk – limiting Council to a selected number of banks;
- Increased credit/counterparty risk;
- May lead to a reduction in performance (e.g. most of the senior FRN issues are with the higher rated ADIs);
- Underperformance compared to other Councils which could result in a significant loss of income generated – could be in excess of hundreds of thousands of dollars per annum.

It may actually be contrary to Council's primary objective to preserve capital as the investment portfolio's risk would increase (all things being equal). Council may not be maximising its returns – this is one of the primary objectives written in the Investment Policy.



### Credit Quality

Following the most recent adopted Policy, all aggregate ratings categories are currently within the Policy limits:

Compliant	Credit Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	AAA Category	\$7,480,173	2%	100%	\$478,644,677
✓	AA Range or Major Banks	\$160,201,135	33%	100%	\$325,923,715
✓	A Category	\$148,179,532	30%	80%	\$240,720,347
✓	BBB Category	\$116,626,874	24%	30%	\$29,210,581
✓	Unrated ADI Category	\$20,000,000	4%	10%	\$28,612,485
✓	TCorpIM Funds	\$33,637,135	7%	25%	\$87,894,077
		<b>\$486,124,850</b>	<b>100.00%</b>		

The portfolio remains well diversified across the entire credit spectrum, including some exposure to the unrated ADI sector. There is high capacity to invest in the higher rated ADIs (A or higher), with some capacity to invest in the "BBB" rated category.



## Performance

Council's performance (actual returns) for the month ending March 2024 is summarised as follows:

Performance (Actual)	1 month	3 months	6 months	FYTD	1 year	2 years	3 years
Official Cash Rate	0.36%	1.07%	2.14%	3.18%	4.15%	3.13%	2.11%
AusBond Bank Bill Index	0.37%	1.09%	2.15%	3.26%	4.19%	3.11%	2.08%
PCC Internal Benchmark*	0.55%	1.56%	3.13%	4.24%	5.45%	4.18%	2.94%
PCC Cash Portfolio	0.38%	1.13%	2.26%	3.36%	4.40%	3.36%	2.37%
PCC T/D Portfolio	0.36%	1.06%	2.00%	2.90%	3.62%	2.86%	2.32%
PCC FRN Portfolio	0.47%	1.38%	2.78%	4.23%	5.49%	4.37%	3.44%
PCC Bond Portfolio	0.13%	0.40%	0.73%	1.01%	1.29%	1.19%	1.15%
PCC Credit Fund	0.73%	1.31%	4.85%	6.70%	8.44%	5.01%	3.11%
PCC TCorp Growth Fund	2.12%	6.26%	12.05%	11.08%	14.23%	7.25%	6.46%
<b>PCC's Total Portfolio</b>	<b>0.49%</b>	<b>1.44%</b>	<b>2.75%</b>	<b>3.65%</b>	<b>4.74%</b>	<b>3.34%</b>	<b>2.57%</b>
<b>Rel. Perf. (BBI)</b>	<b>0.13%</b>	<b>0.35%</b>	<b>0.60%</b>	<b>0.39%</b>	<b>0.55%</b>	<b>0.23%</b>	<b>0.49%</b>
<b>Rel. Perf. (Int. Bench.)</b>	<b>-0.06%</b>	<b>-0.12%</b>	<b>-0.38%</b>	<b>-0.60%</b>	<b>-0.71%</b>	<b>-0.84%</b>	<b>-0.38%</b>

\*The Internal Benchmark returns are based on Council's individual benchmarks across the various asset classes it invests within its own portfolio. The following individual benchmarks are used for each asset class that Council invests in:

Cash: RBA Cash Rate

Term Deposits: Deposit benchmark based on Council's weighted average duration using multiple ADIs average monthly rate

FRNs: AusBond Credit FRN Index

CFS Global Credit Income Fund: AusBond Credit Index

NSW TCorpIM Long-Term Growth Fund: Fund's return itself

**For the month of March, the total investment portfolio (including cash) provided a return of +0.49% (actual) or +5.97% p.a. (annualised), outperforming the AusBond Bank Bill Index return of +0.37% (actual) or +4.41% p.a. (annualised), whilst underperforming Council's internal benchmark return of +0.55% (actual) or +6.67% p.a. (annualised).**

The longer-term outperformance continues to be anchored by the handful of longer-dated deposits, as well as the FRNs locked in at attractive margins, boosted by the strategic sales implemented over the past few years. This is now reflected in the longer-term returns with the FRN portfolio now ahead of fixed term deposits over 1-3 year time periods (also driven recently during the RBA's rate hike cycle).



The annualised returns as of March 2024 are shown in the following table:

Performance (% p.a.)	1 month	3 months	6 months	FYTD	1 year	2 years	3 years
Official Cash Rate	4.35%	4.35%	4.31%	4.24%	4.15%	3.13%	2.11%
AusBond Bank Bill Index	4.41%	4.42%	4.34%	4.35%	4.19%	3.11%	2.08%
PCC Internal Benchmark*	6.67%	6.39%	6.34%	5.67%	5.45%	4.18%	2.94%
PCC Cash Portfolio	4.60%	4.60%	4.56%	4.49%	4.40%	3.36%	2.37%
PCC T/D Portfolio	4.35%	4.31%	4.03%	3.87%	3.62%	2.86%	2.32%
PCC FRN Portfolio	5.67%	5.66%	5.63%	5.65%	5.49%	4.37%	3.44%
PCC Bond Portfolio	1.59%	1.59%	1.46%	1.34%	1.29%	1.19%	1.15%
PCC Credit Fund	8.95%	5.35%	9.90%	8.98%	8.44%	5.01%	3.11%
PCC TCorp Growth Fund	28.03%	27.57%	25.48%	14.97%	14.23%	7.25%	6.46%
PCC's Total Portfolio	5.97%	5.89%	5.57%	4.87%	4.74%	3.34%	2.57%
Rel. Perf. (BBI)	1.56%	1.47%	1.23%	0.52%	0.55%	0.23%	0.49%
Rel. Perf. (Int. Bench.)	-0.70%	-0.50%	-0.77%	-0.80%	-0.71%	-0.84%	-0.38%



## Recommendations for Council

### Term Deposits

As at the end of March 2024, Council's **deposit** portfolio was yielding **4.20% p.a.** (down 4bp from the previous month), with a weighted average duration of around 245 days (~8 months).

There is growing belief that multiple interest rate cuts and a global economic downturn maybe delivered as early as mid-2024 and so locking in rates close to or above 4¾-5% p.a. across 1-5 year tenors may provide some income protection against a lower rate environment over coming years.

We recommend Council increases its weighted average duration closer to 9-12 months incrementally over the current financial year.

Please refer to the section below for further details on the Term Deposit market.

### Securities

Primary (new) Senior **FRNs** (with maturities between 3-5 years) continue to be appealing (particularly for those investors with portfolios skewed towards fixed assets) and should be considered on a case by case scenario. Please refer to the section below for further details on the FRN market.

### Council FRNs – Recommendations for Sale/Switches

We will inform Council when there is an opportunity to sell out of any future sub-optimal FRNs and switch into a higher yielding complying asset. This strategy has worked very well as Council has ultimately boosted the overall returns of the investment portfolio (up to hundreds of thousands of dollars in previous financial years). There will be an opportunity to switch/sell out of the following FRN(s) in coming months, ideally switching into a newly issued attractive FRN:

Issuer	Rating	Maturity Date	ISIN	Face Value	Trading Margin	Capital Price (\$)	~Unrealised Gain (\$)
Suncorp	AAA	17/10/2025	AU3FN0072617	\$800,000	+50.0bp	\$100.489	\$3,910
Citibank	A+	17/11/2024	AU3FN0051561	\$1,000,000	+53.5bp	\$100.134	\$1,337



This strategy has boosted overall returns and will continue to do so going forward. The current financial year's realised gains are shown as follows:

Issuer	Rating	Maturity Date	ISIN	Face Value	Trading Margin	Capital Price (\$)	Realised Gain (\$)
NAB	AA-	21/01/2025	AU3FN0052510	\$2,000,000	+53.0bp	\$100.345	\$6,900
Suncorp	A+	30/07/2024	AU3FN0049144	\$2,000,000	+59.0bp	\$100.192	\$4,800
NAB	AA-	30/05/2025	AU3FN0069373	\$2,000,000	+57.0bp	\$100.548	\$9,316
Suncorp	AAA	24/04/2025	AU3FN0053880	\$700,000	+71.0bp	\$100.498	\$3,486
Bendigo	BBB+	06/09/2024	AU3FN0050019	\$1,750,000	+76.0bp	\$100.151	\$2,642
<b>Total Realised Gains FY2023-2024</b>							<b>\$27,144</b>

### Council's Senior Fixed Bonds

Since September 2020, Council placed parcels in NTTC (AA-) fixed bonds as follows:

Investment Date	Maturity Date	Principal	Rate % p.a. <sup>^</sup>	Remaining Term (Yrs)	Interest Paid
24/11/2020	16/12/2024	\$1,000,000	0.90%	0.71	Annually
16/02/2021	16/06/2025	\$1,000,000	0.90%	1.21	Annually
16/02/2021	15/06/2026	\$5,000,000	1.00%	2.21	Annually
12/05/2021	17/06/2024	\$3,000,000	0.80%	0.21	Annually
12/05/2021	16/06/2025	\$3,000,000	1.10%	1.21	Annually
12/05/2021	15/06/2026	\$3,000,000	1.30%	2.21	Annually
20/05/2021	16/06/2025	\$3,500,000	1.10%	1.21	Annually
09/09/2021	16/12/2024	\$2,500,000	0.90%	0.71	Semi-Annually
09/09/2021	15/12/2026	\$5,000,000	1.40%	2.71	Semi-Annually
<b>Totals / Wgt. Avg.</b>		<b>\$27,000,000</b>	<b>1.09%</b>	<b>1.61 yrs</b>	

At the time of investment, these investments were relatively attractive especially after the rate cut delivered in early November 2020 to 0.10% and its subsequent forward guidance on official interest rates (no rate rises "until at least 2024"). The NTTC bonds are a 'retail' offering and not 'wholesale' issuances. Given the lack of liquidity and high penalty costs if they were to be sold/redeemed prior to the maturity date, they are considered to be a hold-to-maturity investment and will be marked at par value (\$100.00) throughout the term of investment.



Separately, Council also purchased into the following fixed bonds. Where attractive, Council may consider purchasing additional units in these securities in the secondary market to 'average-in' a better overall purchase price.

Issuer	Rating	Maturity Date	ISIN	Face Value	Purchase Yield	Current Yield	Unrealised Gain / Loss (\$)
ING	AAA	19/08/2026	AU3CB0282358	\$600,000	1.16%	4.62%	-\$45,723
BoQ	BBB+	06/09/2024	AU3CB0296168	\$1,500,000	5.45%	5.02%	+\$20,335
Judo	BBB-	26/09/2025	AU3CB0292480	\$2,000,000	6.60%	6.60%	-\$182



## CFS Global Credit Income Fund

For the month of March, the CFS Global Credit Income Fund returned +0.73% (actual), outperforming the AusBond Bank Bill Index return of +0.37% (actual), whilst underperforming the AusBond Credit Index return of +0.90% (actual).

Consensus has continued to shift, such that a 'soft landing' or more accurately no recession is now becoming the markets 'base case' outlook for 2024. With that revision of view, the expectation for early and substantive rate cuts in 2024 have been cut back. Overall expectations are now more balanced, where rate cuts are unlikely before June, and unless there is a recession or financial crisis, the number of cuts at this stage is likely to be modest.

Although it has been a relatively volatile environment for credit over the past few years, it has been one of Council's best performing assets over the longer-term. The portfolio continues to accumulate high running-income in excess of the benchmark across all corporate and financial sectors. The Fund holds a diverse range of securities across the global credit market. It remains very well diversified by issuer in order to mitigate default risk. It invests in nearly 600 corporate bonds from issuers in various countries and industry sectors. Any spread contraction going forward allows credit and asset-backed holdings to enjoy significant capital gains.

*With a running yield of ~5% p.a., we recommend Council to retain this investment given the alternative investments in complying fixed interest products are largely earning below this rate of return.*



## NSW T-CorpIM Growth Fund

**The Growth Fund returned +2.12% (actual) for the month of March.** Both domestic shares (S&P ASX 200 Accumulation Index +3.27%) and international shares (MSCI World ex-Australia +3.03%) continued their rally this month. Bonds also contributed to performance as yields fell (AusBond Composite Bond Index rose +1.12%).

Global inflation has seemingly eased at the beginning of 2024. Advanced economy consumer price inflation fell below 3% annually in January, its lowest level since May 2021. However, some recent high monthly inflation reads has shifted out market expectations of when central bank rate cuts will start in, and the extent of easing likely to occur, over 2024.

There remain a range of uncertainties. If inflation does not fall as expected, this could delay policy rate cuts. Geopolitical tensions remain, including the potential for existing conflicts in Europe and the Middle East to widen. US-China tensions remain an issue against the backdrop of the US elections later this year.

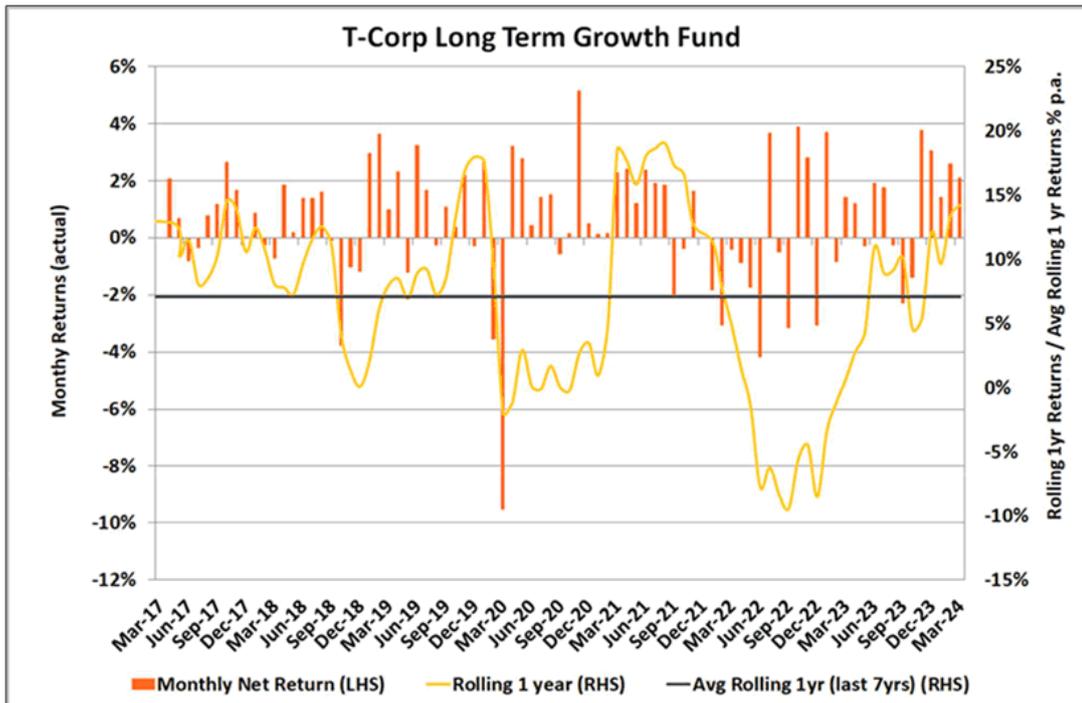
Overall, we remain cautious on the future performance of the T-Corp Growth Fund given the high volatility associated with a diversified growth fund, which generally allocates a range of 60%-80% in domestic and international shares. Investors are seeking relief from the elevated levels of inflation and remain hopeful that rate cuts will be delivered by the middle or at the very least, the end of 2024.

**With shares domestically reaching their all-time highs again, and with official rates seemingly at their cyclical peak, investors may choose to partially de-risk their position in the Fund.** With complying defensive fixed interest assets such as term deposits (which also does not incur any mark-to-market volatility) still being offered around the 5% level for 5 years from a handful of ADIs, investors may take the opportunity to partially or redeem altogether from the TCorp LTGF noting it's long-term returns has been around 7% p.a. The risk premium has certainly narrowed coming out of the pandemic period (when official rates were down to emergency levels).

For those willing to hold, the Fund should be looked at with a long-term view, with a minimum holding period of +7 years (some view it as a perpetual long-term investment). Given the exposure to the volatile asset of shares, Council should expect to see, on average, a negative month once every 3 months over long-term time periods.



Since Inception	T-Corp Long Term Fund
Negative Months	143 (~1 in 3 months)
Positive Months	274
Total Months	417 (34.75 yrs)
Average Monthly Return	+0.65% (actual)
Median Monthly Return	+1.02% (actual)
Lowest 1 year Rolling Return	-21.12% p.a. (Nov 2008)
Highest 1 year Rolling Return	+29.89% p.a. (Jan 1994)





## Term Deposit Market Review

### Current Term Deposits Rates

As at the end of March, we see value in the following:

ADI	LT Credit Rating	Term	Rate % p.a.
ING	A	5 years	5.03%
BoQ	BBB+	5 years	5.00%
ING	A	2 years	4.96%
BoQ	BBB+	4 years	4.95%
BankVic	BBB+	2 years	4.95%
ING	A	4 years	4.90%
ING	A	3 years	4.86%
BoQ	BBB+	2 years	4.85%
BankVic	BBB+	3 years	4.85%
Westpac	AA-	1½ years	4.82%
Suncorp	A+	2 years	4.75%
Westpac	AA-	2 years	4.70%
NAB	AA-	2 years	4.70%

The above deposits are suitable for investors looking to maintain diversification and lock-in a slight premium compared to purely investing short-term.

For terms under 12 months, we believe the strongest value is currently being offered by the following ADIs (*we stress that rates are indicative, dependent on daily funding requirements and different for industry segments*):



ADI	LT Credit Rating	Term	Rate % p.a.
Bank of Sydney	Unrated	12 months	5.22%
Bank of Sydney	Unrated	6-9 months	5.20%
BankVic	BBB+	12 months	5.15%
ING	A	12 months	5.11%
BoQ	BBB+	6 months	5.10%
ING	A	11 months	5.06%
NAB	AA-	6-7 months	5.05%
Suncorp	A+	6 months	5.04%
Suncorp	A+	12 months	5.03%
ING	A	10 months	5.02%
Bendigo-Adelaide	BBB+	9 months	5.02%
NAB	AA-	8-12 months	5.00%
BoQ	BBB+	12 months	5.00%
Westpac	AA-	12 months	4.97%

If Council does not require high levels of liquidity and can stagger a proportion of its investments across the longer term horizons (1-5 years), it will be rewarded over a longer-term cycle. Investing a spread of 12 months to 3 year horizons is likely to yield, on average, up to ¼-½% p.a. higher compared to those investors that entirely invest in short-dated deposits (under 6-9 months).

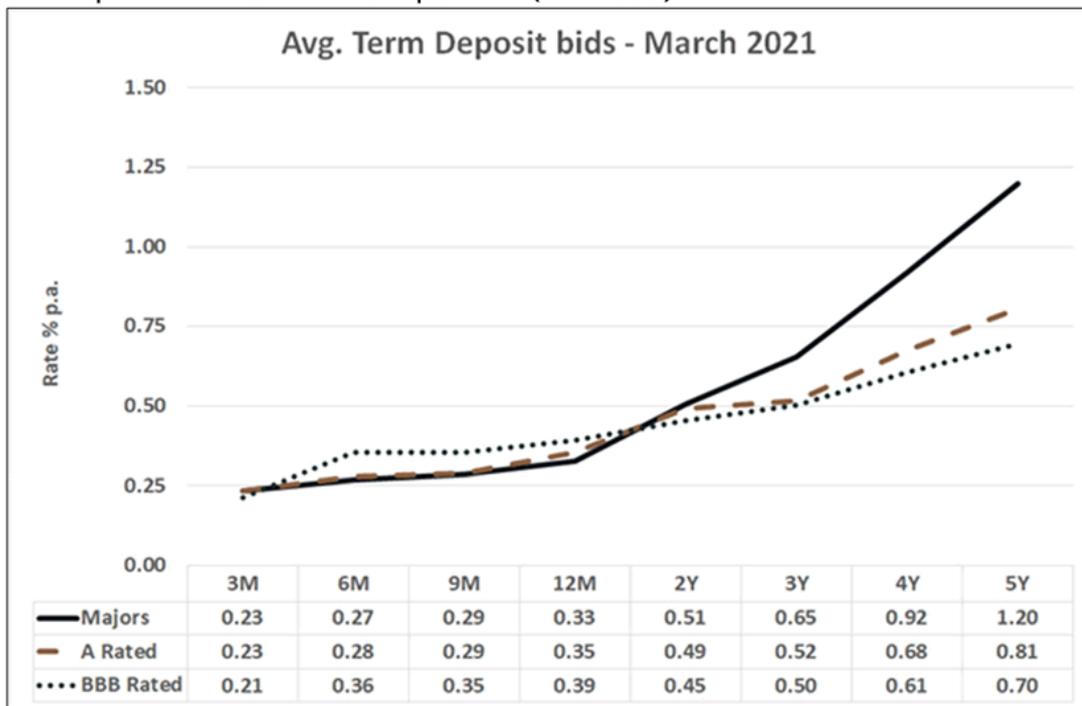
With a global economic slowdown and multiple rate cuts being priced by calendar year-end, investors should strongly consider and allocate some longer term surplus funds to undertake an insurance policy by investing across 2-5 year fixed deposits and locking in rates close to or above 4%-5% p.a. This will provide some income protection with central banks now likely to cut rates, potentially as early as mid-2024.



**Term Deposits Analysis**

Pre-pandemic (March 2020), a 'normal' marketplace meant the lower rated ADIs (i.e. BBB category) were offering higher rates on term deposits compared to the higher rated ADIs (i.e. A or AA rated). But due to the cheap funding available provided by the RBA via their Term Funding Facility (TFF) during mid-2020, allowing the ADIs to borrow as low as 0.10% p.a. fixed for 3 years, those lower rated ADIs (BBB rated) did not require deposit funding from the wholesale deposit. Given the higher rated banks had more capacity to lend (as they have a greater pool of mortgage borrowers), they subsequently were offering higher deposit rates. In fact, some of the lower rated banks were not even offering deposit rates at all. As a result, most investors placed a higher proportion of their deposit investments with the higher rated (A or AA) ADIs over the past three years.

**Term Deposit Rates – 12 months after pandemic (March 2021)**



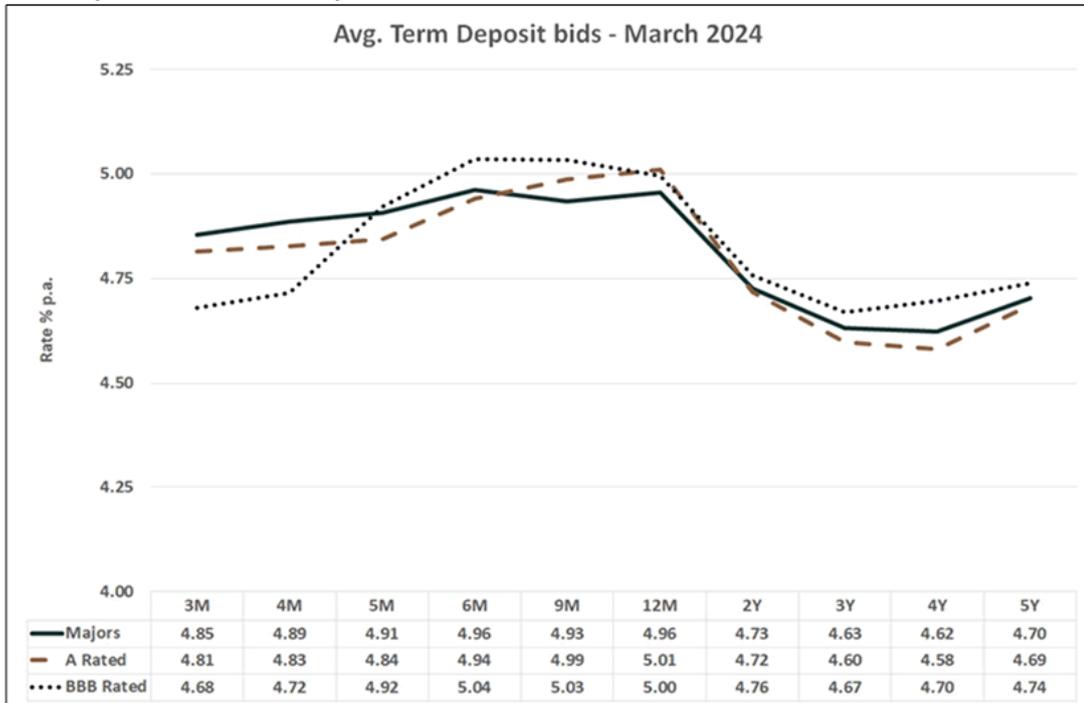
Source: Imperium Markets

The abnormal marketplace experienced during the pandemic is starting to reverse as the competition for deposits slowly increases. In recent months, we have started to periodically see some of the lower rated ADIs (“A” and “BBB” rated) offering slightly higher rates compared to the domestic major banks (“AA” rated) on different parts of the curve (i.e. pre-pandemic environment). Some of this has been attributed to lags in adjusting their deposit rates as some banks (mainly the lower rated ADIs) simply set their rates for the week.



Going forward, Council should have a larger opportunity to invest a higher proportion of its funds with the lower rated institutions (up to Policy limits), from which the majority are not lending to the Fossil Fuel industry or considered 'ethical'. We are slowly seeing this trend emerge, as was the case this month:

**Term Deposit Rates – Currently (March 2024)**



Source: Imperium Markets

**Regional & Unrated ADI Sector**

Ratings agency S&P has commented that "mergers remain compelling for mutuals lenders" in providing smaller lenders greater economies of scale and assisting them in being able to price competitively and will see "the banking landscape will settle with a small number of larger mutual players". S&P expects that consolidation to continue over the next two years.

We remain supportive of the regional and unrated ADI sector (and have been even throughout the post-GFC period). They continue to remain solid, incorporate strong balance sheets, while exhibiting high levels of capital – typically, much higher compared to the higher rated ADIs. Some unrated ADIs have up to 25-40% more capital than the domestic major banks, and well above the Basel III requirements.

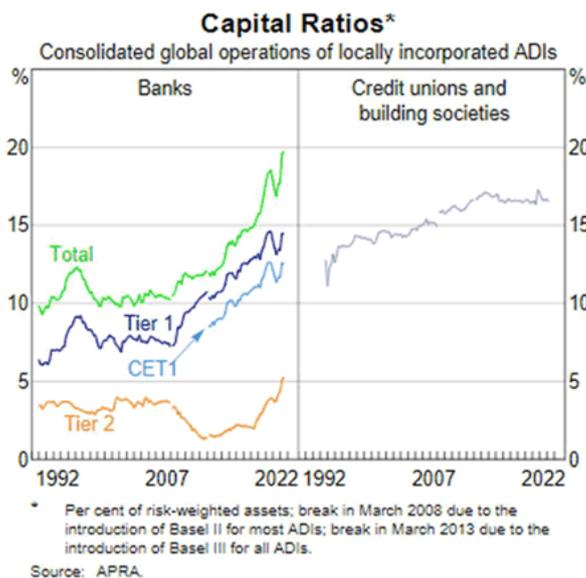
Overall, the lower rated ADIs (BBB and unrated) are generally now in a better financial position than they have been historically (see the Capital Ratio figure below). The financial regulator, APRA has noted that the Common Equity Tier 1 capital of Australian banks now exceeds a quarter of a trillion dollars. It has



increased by \$110 billion, or more than 70%, over the past decade. Over the same time, banks’ assets have grown by 44%. Some of the extra capital is supporting growth in the banking system itself but clearly, there has been a strengthening in overall resilience and leverage in the system is lower.

We believe that deposit investments with the lower rated ADIs should be considered going forward, particularly when they offer ‘above market’ specials. Not only would it diversify the investment portfolio and reduce credit risk, it would also improve the portfolio’s overall returns. The lower rated entities are generally deemed to be the more ‘ethical’ ADIs compared to the higher rated ADIs.

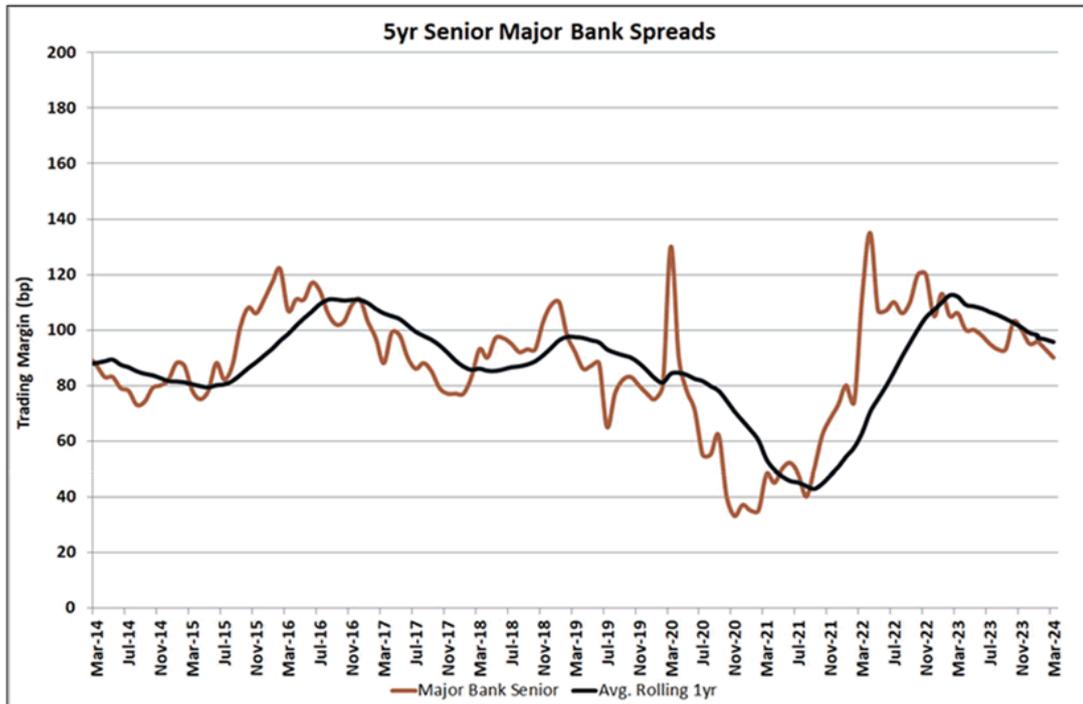
In the current environment of high regulation and scrutiny, all domestic (and international) ADIs continue to carry high levels of capital. There is minimal (if any) probability of any ADI defaulting on their deposits going forward – this was stress tested during the GFC and the pandemic period. APRA’s mandate is to “protect depositors” and provide “financial stability”.





## Senior FRNs Market Review

Over March, amongst the senior major bank FRNs, physical credit securities tightened by around 3–9bp at the long-end of the curve. Major bank senior securities remain at fair value on a historical basis (5yr margins around +90bp level). During the month, NAB (AA-) issued a new 5 year senior security at +90bp.



Source: IBS Capital

There other notable new (primary) senior issuances during the month included:

- Mizuho (A) 4 year senior FRN at +88bp
- Suncorp (A+) 4 year senior security at +98bp
- ING (A) 3 year senior security at +95bp
- Auswide (BBB) 3 year senior FRN at +160bp

Amongst the "A" rated sector, the securities tightened by around 4–5bp at the longer-end of the curve, whilst the "BBB" rated sector remained flat at the 3 year part of the curve (mainly driven by new issuances). Overall, credit securities are looking much more attractive given the widening of spreads over the past 2 years and as more primary issuances become available. FRNs will continue to play a role in investors' portfolios mainly on the basis of their liquidity and the ability to roll down the curve and gross up returns over ensuing years (in a relatively stable credit environment).



Senior FRNs (ADIs)	28/03/2024	29/02/2024
"AA" rated – 5yrs	+90bp	+93bp
"AA" rated – 3yrs	+64bp	+73bp
"A" rated – 5yrs	+100bp	+105bp
"A" rated – 3yrs	+83bp	+87bp
"BBB" rated – 3yrs	+160bp	+160bp

Source: IBS Capital

We now generally recommend switches ('benchmark' issues only) into new primary issues, out of the following senior FRNs that are maturing:

- On or before early 2026 for the "AA" rated ADIs (domestic major banks);
- On or before early 2025 for the "A" rated ADIs; and
- Within 6–9 months for the "BBB" rated ADIs (consider case by case).

Investors holding onto the above senior FRNs ('benchmark' issues only) in their last few years are now generally holding sub optimal investments and are not maximising returns by foregoing realised capital gains. In the current challenging economic environment, any boost in overall returns should be locked in when it is advantageous to do so, particularly as switch opportunities become available.



## Senior Fixed Bonds – ADIs (Secondary Market)

With global inflation still high by historical standards, this has seen a significant lift in longer-term bond yields over the past 2 years (valuations have fallen) as markets have reacted sharply.

This has resulted in some opportunities in the secondary market. We currently see value in the following fixed bond lines, with the majority now being marked at a significant discount to par (please note supply in the secondary market may be limited on any day):

ISIN	Issuer	Rating	Capital Structure	Maturity Date	~Remain. Term (yrs)	Fixed Coupon	Indicative Yield
AU3CB0278174	UBS	A+	Senior	26/02/2026	1.92	1.10%	4.92%
AU3CB0280030	BoQ	BBB+	Senior	06/05/2026	2.11	1.40%	5.14%
AU3CB0299337	Bendigo	BBB+	Senior	15/05/2026	2.14	4.70%	5.00%
AU3CB0296168	BoQ	BBB+	Senior	27/01/2027	2.84	4.70%	5.04%



## Economic Commentary

### International Market

Risk assets performed well in March as the narrative of economic resilience overshadowed concerns that rates may be higher for longer.

Across equity markets, the S&P 500 Index gained +3.10% over the month, whilst the NASDAQ added +1.79%. Europe's main indices also continued their gains, led by Italy's FTSE MIB (+6.66%), Germany's DAX (+4.61%), UK's FTSE (+4.23%) and France's CAC (+3.51%).

The US central bank kept the fed funds rate at the current target range of 5.25%–5.50%. The Fed still expects three rate cuts in 2024 though fewer cuts in the coming years than they had estimated in December as policymakers are now forecasting US GDP growth to strengthen than previously.

US core CPI printed at +0.4%, which was 0.1% stronger than consensus although the unrounded print was 'just' +0.36% m/m so the miss was not egregious, and the annual rate still ticked down slightly to +3.2%.

The Bank of Canada kept its policy rate on hold at 5.00% for a fifth consecutive meeting and Governor Macklem said, "it's still too early to consider lowering the policy interest rate".

The ECB kept its main refinancing rate at 4.00% as universally expected and is anticipated to be at a neutral setting for the immediate future.

The Swiss National Bank unexpectedly cut interest rates by 25bp to 1.50% at its latest meeting as their CPI fell to +1.2% y/y and core inflation to +1.1%. SNB marks as the first major developed central bank to ease monetary policy.

The Bank of Japan (BoJ) raised rates to the range of 0%–0.1%, the first hike in 17 years. The BoJ also decided to abandon its yield curve control and discontinue its purchase of assets such as exchange-traded funds (ETFs), which it began buying in 2010 as part of its stimulus programme.

China reported February CPI and PPI data, with CPI surprising to the upside at +0.7% year-on-year, its highest level since March 2023, aided by pork prices turning positive in annual terms for the first time in nine months (+0.2%).

The MSCI World ex-Aus Index rose +3.03% for the month of March:

Index	1m	3m	1yr	3yr	5yr	10yr
S&P 500 Index	+3.10%	+10.16%	+27.86%	+9.77%	+13.14%	+10.87%
MSCI World ex-AUS	+3.03%	+8.66%	+23.48%	+7.06%	+10.43%	+7.65%
S&P ASX 200 Accum. Index	+3.27%	+5.33%	+14.45%	+9.62%	+9.15%	+8.27%

Source: S&P, MSCI



### Domestic Market

The RBA kept rates on hold at 4.35% as expected in its March meeting. The central bank was perceived to now adopt a more neutral approach to monetary policy as it removed its previous phrases – “a further increase in interest rates cannot be ruled out” and “will do what is necessary to achieve that outcome”. However, the addition of “the Board is not ruling anything in or out” still provides the RBA with sufficient flexibility when upside risks emerge.

The monthly CPI indicator held at +3.4% y/y in January (consensus +3.5%). The RBA will likely wait and see the full Q1 CPI on 27 April before updating their forecasts and potentially change their future guidance on rates.

The unemployment rate fell from 4.1% in January to 3.7% in February as the economy added 116,500 new jobs compared with economists forecast of around 40,000. This strong labour data was largely due to a high number of people who had found work in December/January but whose jobs only started in February.

GDP rose by +0.2% q/q (+1.5% y/y). Private domestic demand growth remained weak, while public sector spending helped to keep overall domestic final demand growth over the last year at a reasonable level. The key story remains the weakness in household consumption, which rose just +0.1% q/q and +0.1% for 2023 as a whole – the slowest annual growth in almost 40 years outside of COVID and the GFC.

The current account widened sharply to \$11.8bn in Q4 on the back of higher commodity export values.

Building approvals fell -1% in January, partially due to a -9.9% fall in detached dwellings, which was mostly offset by a rebound in the volatile attached dwelling series in the month.

The Australian dollar marginally rose by +0.20%, finishing the month at US65.32 cents (from US65.19 cents the previous month).

### Credit Market

The global credit indices remained relatively flat as risk markets continued their modest rally. They are now back to their levels in early 2022 (prior to the rate hike cycle from most central banks):

Index	March 2024	February 2024
CDX North American 5yr CDS	52bp	52bp
iTraxx Europe 5yr CDS	55bp	55bp
iTraxx Australia 5yr CDS	66bp	64bp

Source: Markit



## Fixed Interest Review

### Benchmark Index Returns

Index	March 2024	February 2024
Bloomberg AusBond Bank Bill Index (0+YR)	+0.37%	+0.34%
Bloomberg AusBond Composite Bond Index (0+YR)	+1.12%	-0.30%
Bloomberg AusBond Credit FRN Index (0+YR)	+0.50%	+0.53%
Bloomberg AusBond Credit Index (0+YR)	+0.90%	+0.05%
Bloomberg AusBond Treasury Index (0+YR)	+1.15%	-0.36%
Bloomberg AusBond Inflation Gov't Index (0+YR)	+1.34%	-0.48%

Source: Bloomberg

### Other Key Rates

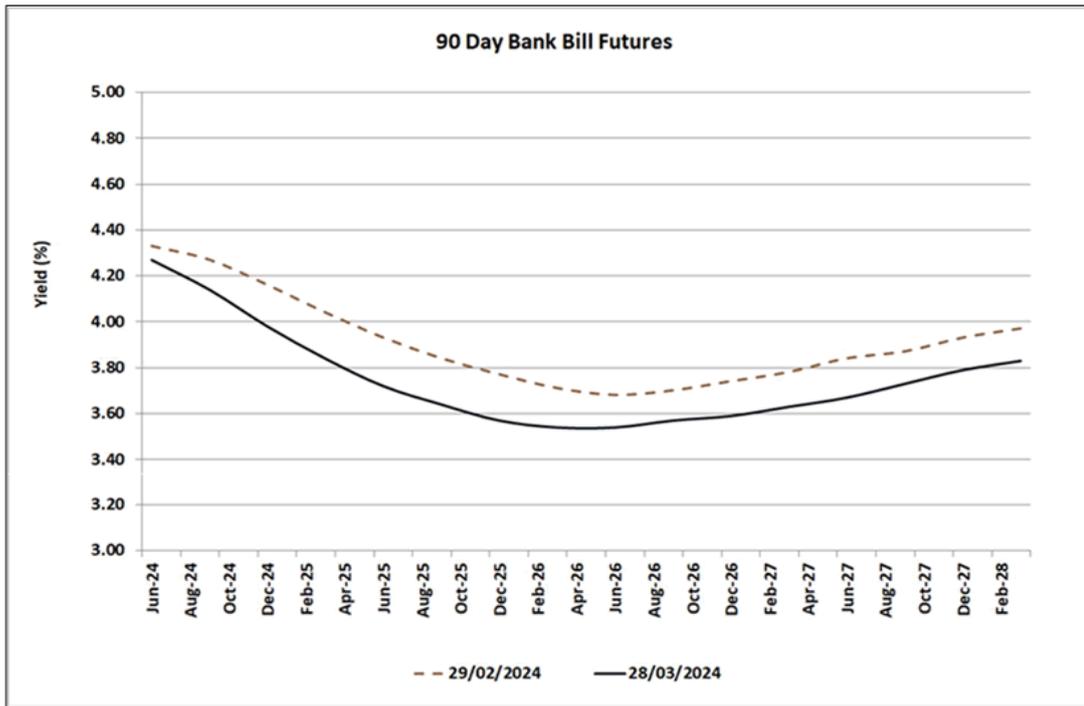
Index	March 2024	February 2024
RBA Official Cash Rate	4.35%	4.35%
90 Day (3 month) BBSW Rate	4.34%	4.34%
3yr Australian Government Bonds	3.59%	3.71%
10yr Australian Government Bonds	3.97%	4.14%
US Fed Funds Rate	5.25%-5.50%	5.25%-5.50%
2yr US Treasury Bonds	4.59%	4.64%
10yr US Treasury Bonds	4.20%	4.25%

Source: RBA, ASX, US Department of Treasury



### 90 Day Bill Futures

Bill futures fell across the board this month, following the movement in the domestic bond market. The focus from the market remains on when the first rate cut will be delivered:



Source: ASX

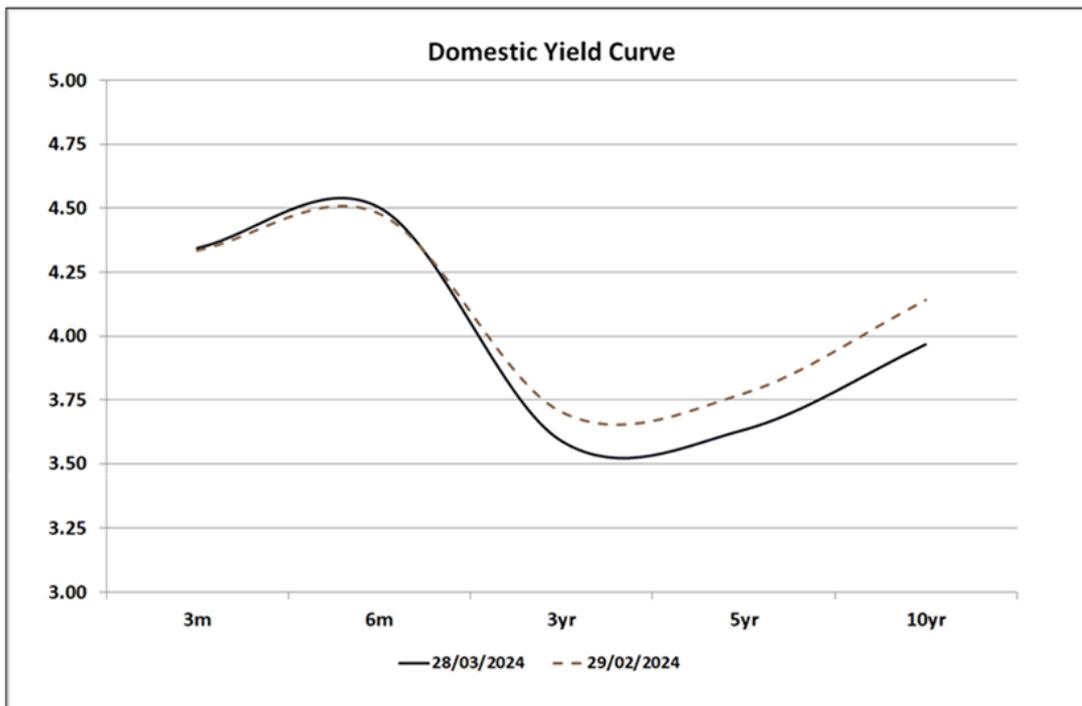


## Fixed Interest Outlook

In the latest FOMC statement, the US central bank reiterated from previous months that *“the Committee does not expect it will be appropriate to reduce the target range until it has gained greater confidence that inflation is moving sustainably toward 2%”*. The Federal Reserve therefore continues to be in the wait-and-see approach as it assesses incoming data when it would likely be appropriate to dial back policy restraint (cut rates). The ‘dot plots’ continues to show 75bp of US Fed rate cuts in 2024 and another 75bp in 2025.

Domestically, Australian inflation is lagging, but expectations is that the RBA is likely to join by year end. Following its March meeting, the RBA is now perceived to adopt a more neutral approach to monetary policy; however, the addition of *“the Board is not ruling anything in or out”* in its latest policy statement suggests the Board wants to keep the optionality in the event of future shocks.

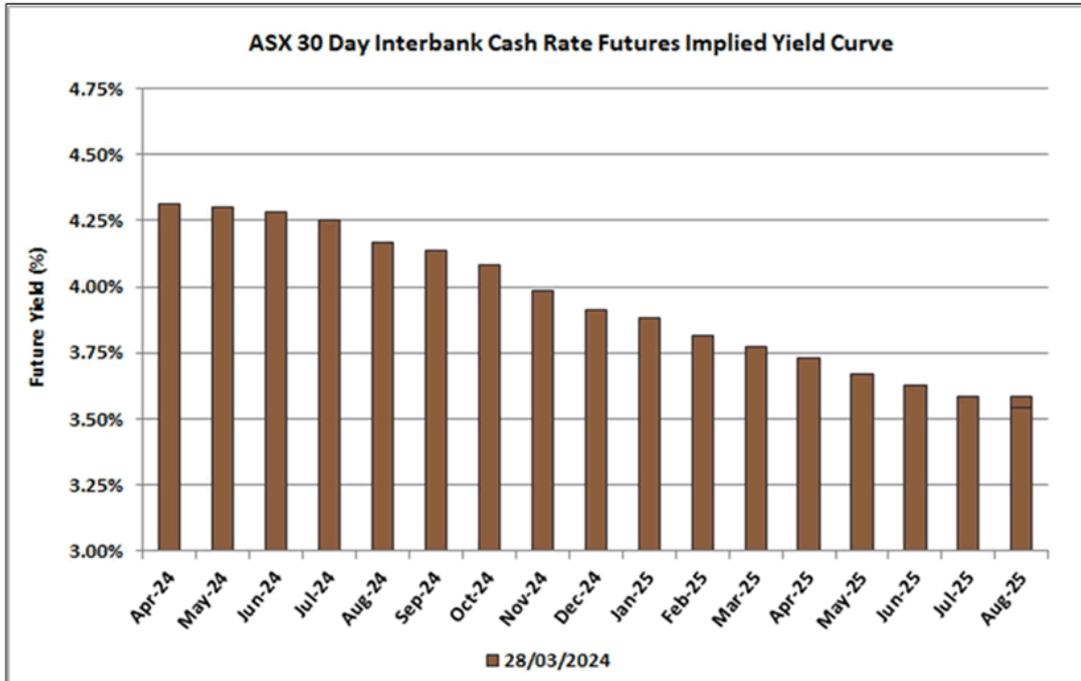
Over the month, longer-term yields fell up to 17bp at the very long end of the curve (remains an inverse yield curve):



Source: ASX, RBA



The consensus from the broader market is that we have reached the peak of the interest rate cycle. Financial markets are currently fully pricing in the first rate cut in Australia by October 2024, lagging behind the US market (largely pricing in a rate cut by June 2024).



Source: ASX

**DISCLAIMER**

This document has been prepared by Arlo Advisory Pty Ltd ("Arlo"), ABN 55 668 191 795, an authorised representative of InterPrac Financial Planning Pty Ltd (ABN 14 076 093 680) AFS Licence No. 246638. Arlo provides fixed income investment advisory services to wholesale investors only. The information in this document is intended solely for your use. This document may not otherwise be reproduced and must not be distributed or transmitted to any other person or used in any way without the express approval of Arlo.

**General Advice Warning**

The information contained in this document is general in nature and does not take into account your individual investment objectives and adopted policy mandate. Arlo monitors the fixed income market and recommends the best rates currently available to the investors. You are responsible for deciding whether our recommendations are appropriate for your particular investment needs, objectives and financial situation and for implementing your decisions.

**Accuracy & Reliability of Information**

Arlo sources and uses information provided by third parties from time to time, including from Imperium Markets Pty Ltd ABN 87 616 579 527, a sister company of Arlo. Although every effort has been made to verify the accuracy of the information contained in this document, Arlo, its officers, employees and agents disclaim all liability (except for any liability which by law cannot be excluded), for any error, inaccuracy in, or omission from the information contained in this document or any loss or damage suffered by any person directly or indirectly through relying on this information.



## Investment Report

01/03/2024 to 31/03/2024



**Portfolio Valuation** as at 31/03/2024

Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Auswide Bank	BBB	TD	GENERAL	At Maturity	09/08/2023	04/04/2024	5.4700	4,000,000.00	4,000,000.00	141,470.68	18,583.01
Westpac	AA-	FRTD	GENERAL	Quarterly	05/04/2019	05/04/2024	5.3617	12,000,000.00	12,000,000.00	153,359.31	54,645.27
Westpac	AA-	FRTD	GENERAL	Quarterly	08/04/2019	08/04/2024	5.3629	3,000,000.00	3,000,000.00	37,026.05	13,664.38
Australian Military Bank	BBB+	TD	GENERAL	Annual	13/04/2021	17/04/2024	0.7600	5,000,000.00	5,000,000.00	36,854.79	3,227.40
NAB	AA-	TD	GENERAL	Annual	13/04/2021	18/04/2024	0.7700	5,000,000.00	5,000,000.00	37,339.73	3,269.86
AMP Bank	BBB	TD	GENERAL	At Maturity	20/04/2023	22/04/2024	5.0000	2,000,000.00	2,000,000.00	95,068.49	8,493.15
Hume Bank	BBB+	TD	GENERAL	At Maturity	28/04/2023	29/04/2024	4.8000	4,500,000.00	4,500,000.00	200,613.70	18,345.21
ICBC Sydney Branch	A	TD	GENERAL	Annual	22/04/2022	02/05/2024	3.3400	25,000,000.00	25,000,000.00	784,671.23	70,917.81
Commonwealth Bank	AA-	TD	GENERAL	Semi-Annual	22/04/2022	02/05/2024	3.2600	21,000,000.00	21,000,000.00	170,681.10	58,144.11
BOQ	BBB+	TD	GENERAL	Annual	03/05/2019	03/05/2024	2.8000	3,500,000.00	3,500,000.00	89,676.71	8,323.29
NAB	AA-	TD	GENERAL	At Maturity	12/05/2021	16/05/2024	0.7600	3,000,000.00	3,000,000.00	65,901.37	1,936.44
ICBC Sydney Branch	A	TD	GENERAL	Annual	20/05/2022	20/05/2024	3.7000	6,000,000.00	6,000,000.00	191,589.04	18,854.79
The Mutual Bank	BBB-	TD	GENERAL	At Maturity	26/05/2023	23/05/2024	5.1700	3,000,000.00	3,000,000.00	132,153.70	13,172.88
BankVic	BBB+	TD	GENERAL	At Maturity	24/05/2023	23/05/2024	5.1400	5,000,000.00	5,000,000.00	220,386.30	21,827.40
The Mutual Bank	BBB-	TD	GENERAL	At Maturity	29/06/2023	30/05/2024	5.8100	3,000,000.00	3,000,000.00	132,276.99	14,803.56
P&N Bank	BBB	TD	GENERAL	At Maturity	30/05/2023	30/05/2024	5.1500	4,000,000.00	4,000,000.00	173,265.75	17,495.89
Westpac	AA-	FRTD	GENERAL	Quarterly	30/05/2019	30/05/2024	5.2950	6,000,000.00	6,000,000.00	27,853.15	26,982.74
Westpac	AA-	FRTD	GENERAL	Quarterly	06/06/2019	06/06/2024	5.3333	3,500,000.00	3,500,000.00	13,296.72	13,296.72



Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Suncorp	A+	TD	GENERAL	At Maturity	19/09/2023	13/06/2024	5.2000	4,000,000.00	4,000,000.00	111,123.29	17,665.75
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	12/05/2021	17/06/2024	0.8000	3,000,000.00	3,000,000.00	19,134.25	2,038.36
Unity Bank	Unrated	TD	GENERAL	At Maturity	21/11/2023	20/06/2024	5.4500	2,500,000.00	2,500,000.00	49,273.97	11,571.92
Unity Bank	Unrated	TD	GENERAL	At Maturity	21/11/2023	27/06/2024	5.4500	2,500,000.00	2,500,000.00	49,273.97	11,571.92
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	04/07/2024	5.4500	4,000,000.00	4,000,000.00	70,476.71	18,515.07
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	11/07/2024	5.4500	4,000,000.00	4,000,000.00	70,476.71	18,515.07
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	18/07/2024	5.4500	4,000,000.00	4,000,000.00	70,476.71	18,515.07
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	25/07/2024	5.4700	4,000,000.00	4,000,000.00	70,735.34	18,583.01
Auswide Bank	BBB	TD	GENERAL	At Maturity	14/12/2023	01/08/2024	5.4600	3,000,000.00	3,000,000.00	48,915.62	13,911.78
Auswide Bank	BBB	TD	GENERAL	At Maturity	14/12/2023	08/08/2024	5.4600	3,000,000.00	3,000,000.00	48,915.62	13,911.78
JUDO BANK	BBB-	TD	GENERAL	At Maturity	15/02/2024	15/08/2024	5.1800	4,500,000.00	4,500,000.00	29,376.99	19,797.53
Commonwealth Bank	AA-	TD	GENERAL	Semi-Annual	11/08/2023	15/08/2024	5.5000	4,000,000.00	4,000,000.00	54,849.32	18,684.93
Commonwealth Bank	AA-	TD	GENERAL	Semi-Annual	16/08/2023	22/08/2024	5.5000	3,000,000.00	3,000,000.00	41,136.99	14,013.70
AMP Bank	BBB	TD	GENERAL	At Maturity	15/12/2023	05/09/2024	5.2500	2,000,000.00	2,000,000.00	31,068.49	8,917.81
ICBC Sydney Branch	A	TD	GENERAL	Annual	13/09/2022	12/09/2024	4.4000	2,300,000.00	2,300,000.00	55,729.32	8,595.07
Bank of Sydney	Unrated	TD	GENERAL	At Maturity	19/12/2023	19/09/2024	5.4700	3,000,000.00	3,000,000.00	46,757.26	13,937.26
Bank of Sydney	Unrated	TD	GENERAL	At Maturity	19/12/2023	26/09/2024	5.4700	2,000,000.00	2,000,000.00	31,171.51	9,291.51
Suncorp	A+	TD	GENERAL	At Maturity	12/01/2024	03/10/2024	5.1700	4,000,000.00	4,000,000.00	45,326.03	17,563.84
Police Credit Union SA	Unrated	TD	GENERAL	At Maturity	12/01/2024	10/10/2024	5.1800	4,000,000.00	4,000,000.00	45,413.70	17,597.81





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
AMP Bank	BBB	TD	GENERAL	Annual	13/10/2022	17/10/2024	4.7500	2,000,000.00	2,000,000.00	44,506.85	8,068.49
ICBC Sydney Branch	A	TD	GENERAL	Annual	21/10/2021	21/10/2024	1.3000	4,000,000.00	4,000,000.00	22,936.99	4,416.44
AMP Bank	BBB	TD	GENERAL	At Maturity	21/12/2023	24/10/2024	5.1000	1,500,000.00	1,500,000.00	21,378.08	6,497.26
Great Southern Bank	BBB	FRN	GENERAL	Quarterly	24/10/2019	24/10/2024	5.4701	1,751,443.75	1,750,000.00	17,834.02	8,130.22
ICBC Sydney Branch	A	TD	GENERAL	Annual	29/10/2021	29/10/2024	1.6500	1,000,000.00	1,000,000.00	6,961.64	1,401.37
BOQ	BBB+	FRN	GENERAL	Quarterly	30/10/2019	30/10/2024	5.4443	1,001,851.00	1,000,000.00	9,247.85	4,623.93
Australian Unity Bank	BBB+	TD	GENERAL	At Maturity	16/01/2024	07/11/2024	5.1600	4,000,000.00	4,000,000.00	42,976.44	17,529.86
MyState Bank	BBB	TD	GENERAL	At Maturity	09/11/2023	14/11/2024	5.5600	3,000,000.00	3,000,000.00	65,806.03	14,166.58
ICBC Sydney Branch	A	TD	GENERAL	Annual	15/11/2021	14/11/2024	1.7900	3,000,000.00	3,000,000.00	20,303.01	4,560.82
ICBC Sydney Branch	A	TD	GENERAL	Annual	09/11/2021	14/11/2024	1.6800	3,000,000.00	3,000,000.00	19,883.84	4,280.55
Citibank, N.A.	A+	FRN	GENERAL	Quarterly	15/11/2019	14/11/2024	5.2259	1,001,337.00	1,000,000.00	6,729.24	4,438.44
ICBC Sydney Branch	A	TD	GENERAL	Annual	19/11/2021	21/11/2024	1.7500	4,750,000.00	4,750,000.00	30,289.38	7,059.93
Police Bank	BBB	TD	GENERAL	At Maturity	16/01/2024	05/12/2024	5.1600	4,000,000.00	4,000,000.00	42,976.44	17,529.86
ICBC Sydney Branch	A	TD	GENERAL	Annual	13/12/2021	12/12/2024	1.8600	3,000,000.00	3,000,000.00	16,816.44	4,739.18
ICBC Sydney Branch	A	TD	GENERAL	Annual	10/12/2021	12/12/2024	1.8200	4,000,000.00	4,000,000.00	22,338.63	6,183.01
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	01/10/2021	16/12/2024	1.0000	3,000,000.00	3,000,000.00	8,876.71	2,547.95
Northern Territory Treasury	AA-	BOND	GENERAL	Semi-Annual	09/09/2021	16/12/2024	0.9000	2,500,000.00	2,500,000.00	6,657.53	1,910.96
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	24/11/2020	16/12/2024	0.9000	1,000,000.00	1,000,000.00	2,663.01	764.38
AMP Bank	BBB	TD	GENERAL	At Maturity	20/12/2023	19/12/2024	5.2500	3,000,000.00	3,000,000.00	44,445.21	13,376.71





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Suncorp	A+	TD	GENERAL	At Maturity	09/02/2024	09/01/2025	5.1600	4,000,000.00	4,000,000.00	29,404.93	17,529.86
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	12/01/2024	16/01/2025	5.2600	4,000,000.00	4,000,000.00	46,115.07	17,869.59
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	17/01/2024	23/01/2025	5.2600	3,500,000.00	3,500,000.00	37,828.77	15,635.89
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	18/01/2024	30/01/2025	5.2600	3,500,000.00	3,500,000.00	37,324.38	15,635.89
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	19/01/2024	06/02/2025	5.2200	4,000,000.00	4,000,000.00	41,760.00	17,733.70
Move Bank	Unrated	TD	GENERAL	Annual	15/03/2024	13/03/2025	5.2500	2,000,000.00	2,000,000.00	4,890.41	4,890.41
Summerland Bank	Unrated	TD	GENERAL	At Maturity	13/03/2024	13/03/2025	5.2000	2,000,000.00	2,000,000.00	5,413.70	5,413.70
Move Bank	Unrated	TD	GENERAL	At Maturity	15/03/2024	27/03/2025	5.2500	2,000,000.00	2,000,000.00	4,890.41	4,890.41
ICBC Sydney Branch	A	TD	GENERAL	Annual	22/04/2022	24/04/2025	3.6800	15,000,000.00	15,000,000.00	518,728.77	46,882.19
BOQ	AAA	FRN	GENERAL	Quarterly	14/05/2020	14/05/2025	5.4159	903,816.00	900,000.00	6,276.51	4,139.82
NAB	AA-	TD	GENERAL	Annual	12/05/2021	15/05/2025	1.0500	3,000,000.00	3,000,000.00	28,047.95	2,675.34
RACQ Bank	BBB+	FRN	GENERAL	Quarterly	23/05/2022	23/05/2025	5.5851	999,742.00	1,000,000.00	5,814.62	4,743.51
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	20/05/2021	16/06/2025	1.1000	3,500,000.00	3,500,000.00	30,694.52	3,269.86
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	12/05/2021	16/06/2025	1.1000	3,000,000.00	3,000,000.00	26,309.59	2,802.74
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	16/02/2021	16/06/2025	0.9000	1,000,000.00	1,000,000.00	7,175.34	764.38
UBS AG	A+	FRN	GENERAL	Quarterly	30/07/2020	30/07/2025	5.2143	3,254,446.00	3,250,000.00	28,785.79	14,392.90
QBANK	BBB-	TD	GENERAL	Annual	26/07/2023	31/07/2025	5.8200	2,000,000.00	2,000,000.00	79,726.03	9,886.03





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
P&N Bank	BBB	TD	GENERAL	At Maturity	11/08/2023	14/08/2025	5.3000	3,000,000.00	3,000,000.00	101,934.25	13,504.11
QBank	BBB-	TD	GENERAL	Annual	21/08/2023	21/08/2025	5.4100	2,000,000.00	2,000,000.00	66,402.19	9,189.59
ICBC Sydney Branch	A	TD	GENERAL	Annual	24/08/2022	25/08/2025	4.7500	2,000,000.00	2,000,000.00	57,520.55	8,068.49
ICBC Sydney Branch	A	TD	GENERAL	Annual	09/09/2022	11/09/2025	4.5200	3,500,000.00	3,500,000.00	87,985.21	13,436.16
JUDO BANK	BBB-	BOND	GENERAL	Semi-Annual	14/12/2023	26/09/2025	6.4000	1,992,938.00	2,000,000.00	2,104.11	2,104.11
Suncorp	AAA	FRN	GENERAL	Quarterly	17/10/2022	17/10/2025	5.2302	803,909.60	800,000.00	8,597.59	3,553.67
Bendigo and Adelaide	AAA	FRN	GENERAL	Quarterly	11/11/2022	11/11/2025	5.2972	4,013,392.00	4,000,000.00	28,445.24	17,995.97
Bank Australia	BBB	FRN	GENERAL	Quarterly	22/12/2022	24/11/2025	5.9356	1,305,816.20	1,300,000.00	7,399.17	6,553.55
ICBC Sydney Branch	A	FRN	GENERAL	Quarterly	19/01/2023	19/01/2026	5.3689	1,502,664.00	1,500,000.00	16,106.70	6,839.83
Suncorp	A+	TD	GENERAL	Annual	19/01/2024	22/01/2026	5.0500	4,000,000.00	4,000,000.00	40,400.00	17,156.16
Bank of Us	BBB+	TD	GENERAL	Annual	09/02/2024	12/02/2026	4.9700	5,000,000.00	5,000,000.00	35,402.74	21,105.48
NAB	AA-	TD	GENERAL	At Maturity	04/03/2021	05/03/2026	1.3400	3,000,000.00	3,000,000.00	123,793.97	3,414.25
P&N Bank	BBB	TD	GENERAL	Annual	28/04/2023	28/04/2026	4.8000	4,500,000.00	4,500,000.00	200,613.70	18,345.21
NAB	AA-	TD	GENERAL	Annual	12/05/2021	14/05/2026	1.3000	3,000,000.00	3,000,000.00	34,726.03	3,312.33
Bendigo and Adelaide	BBB+	FRN	GENERAL	Quarterly	15/05/2023	15/05/2026	5.5976	2,009,784.00	2,000,000.00	14,109.02	9,508.25
NAB	AA-	TD	GENERAL	Annual	20/05/2021	21/05/2026	1.3000	3,500,000.00	3,500,000.00	39,267.12	3,864.38
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	12/05/2021	15/06/2026	1.3000	3,000,000.00	3,000,000.00	31,093.15	3,312.33
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	16/02/2021	15/06/2026	1.0000	5,000,000.00	5,000,000.00	39,863.01	4,246.58
ING Bank (Australia) Ltd	AAA	BOND	GENERAL	Semi-Annual	19/08/2021	19/08/2026	1.1000	552,531.00	600,000.00	759.45	560.55





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Macquarie Bank	A+	FRN	GENERAL	Quarterly	14/09/2023	14/09/2026	5.1945	2,405,575.20	2,400,000.00	6,148.01	6,148.01
QBANK	BBB-	FRN	GENERAL	Quarterly	01/12/2023	01/12/2026	5.9875	1,008,281.00	1,000,000.00	5,085.27	5,085.27
Northern Territory Treasury	AA-	BOND	GENERAL	Semi-Annual	09/09/2021	15/12/2026	1.4000	5,000,000.00	5,000,000.00	20,712.33	5,945.21
Commonwealth Bank	AA-	FRN	GENERAL	Quarterly	14/01/2022	14/01/2027	5.0502	1,299,634.70	1,300,000.00	13,850.00	5,575.97
BOQ	BBB+	BOND	GENERAL	Semi-Annual	05/10/2023	27/01/2027	4.7000	1,486,570.50	1,500,000.00	12,168.49	5,987.67
Bendigo and Adelaide	BBB+	FRN	GENERAL	Quarterly	27/01/2023	27/01/2027	5.7064	1,107,313.90	1,100,000.00	10,834.34	5,331.18
Heritage and Peoples Choice Limited	BBB	FRN	GENERAL	Quarterly	08/02/2024	08/02/2027	5.9445	2,110,010.70	2,100,000.00	18,126.65	10,602.38
Great Southern Bank	BBB	FRN	GENERAL	Quarterly	09/02/2023	09/02/2027	5.9936	755,355.75	750,000.00	6,404.12	3,817.84
Bank Australia	BBB	FRN	GENERAL	Quarterly	22/02/2023	22/02/2027	5.8873	1,405,082.00	1,400,000.00	8,806.76	7,000.24
ING Bank (Australia) Ltd	A	FRN	GENERAL	Quarterly	22/03/2024	22/03/2027	5.2997	1,000,312.00	1,000,000.00	1,451.97	1,451.97
Suncorp	A+	FRN	GENERAL	Quarterly	24/11/2023	24/05/2027	5.4356	1,763,361.25	1,750,000.00	9,121.38	8,078.94
ANZ Bank	AA-	FRN	GENERAL	Quarterly	04/11/2022	04/11/2027	5.5492	4,057,892.00	4,000,000.00	34,055.36	18,852.08
NAB	AA-	FRN	GENERAL	Quarterly	25/11/2022	25/11/2027	5.5356	1,726,105.20	1,700,000.00	9,023.79	7,992.50
Bank Australia	BBB	FRN	GENERAL	Quarterly	21/02/2024	21/02/2028	6.0326	1,506,685.50	1,500,000.00	9,916.60	7,685.37
ANZ Bank	AA-	FRN	GENERAL	Quarterly	31/03/2023	31/03/2028	5.4042	1,513,611.00	1,500,000.00	888.36	888.36
Bendigo and Adelaide	AAA	FRN	GENERAL	Quarterly	16/06/2023	16/06/2028	5.5039	1,206,524.40	1,200,000.00	2,533.30	2,533.30
Commonwealth Bank	AA-	FRN	GENERAL	Quarterly	17/08/2023	17/08/2028	5.2900	3,008,271.00	3,000,000.00	18,261.37	13,478.63
ANZ Bank	AA-	FRN	GENERAL	Quarterly	11/09/2023	11/09/2028	5.2756	3,508,232.00	3,500,000.00	10,623.47	10,623.47
NAB	AA-	FRN	GENERAL	Quarterly	16/11/2023	16/11/2028	5.3680	4,121,816.10	4,100,000.00	27,134.14	18,692.41





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
UBS AG	A+	FRN	GENERAL	Quarterly	24/11/2023	24/11/2028	5.7856	2,530,772.50	2,500,000.00	13,869.59	12,284.49
ING Bank (Australia) Ltd	A	TD	GENERAL	Annual	19/01/2024	19/01/2029	5.1800	4,000,000.00	4,000,000.00	41,440.00	17,597.81
ANZ Bank	AA-	FRN	GENERAL	Quarterly	05/02/2024	05/02/2029	5.3092	3,502,698.50	3,500,000.00	28,509.68	15,782.14
ING Bank (Australia) Ltd	A	TD	GENERAL	Annual	09/02/2024	09/02/2029	5.0500	5,000,000.00	5,000,000.00	35,972.60	21,445.21
Newcastle Greater Mutual Group Ltd	BBB	FRN	GENERAL	Quarterly	14/02/2024	14/02/2029	6.1959	1,514,608.50	1,500,000.00	11,967.42	7,893.41
Suncorp	A+	FRN	GENERAL	Quarterly	19/03/2024	19/03/2029	5.3285	2,499,362.50	2,500,000.00	4,744.55	4,744.55
NAB	AA-	FRN	GENERAL	Quarterly	22/03/2024	22/03/2029	5.2497	3,489,115.00	3,500,000.00	5,033.96	5,033.96
Macquarie Bank	A+	CASH	GENERAL	Monthly	31/03/2024	31/03/2024	4.6000	30,145.65	30,145.65	117.37	117.37
NAB	AA-	CASH	GENERAL	Monthly	31/03/2024	31/03/2024	4.6000	30,887,173.98	30,887,173.98	172,147.58	172,147.58
CFS WGCIF	A	FUND	GENERAL	Monthly	30/06/2016	04/04/2027	0.0000	15,641,556.25	15,641,556.25	-	-
NSWTC IM LTGF	Unrated	FUND	GENERAL	Annual	31/10/2017	04/04/2029	0.0000	33,637,135.09	33,637,135.09	-	-
AMP Bank	BBB	CASH	GENERAL	Monthly	31/03/2024	31/03/2024	4.8000	171,391.53	171,391.53	695.97	695.97
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	31/03/2024	31/03/2024	4.6000	86,585.42	86,585.42	341.61	341.61
<b>TOTALS</b>								<b>486,124,849.67</b>	<b>485,903,987.92</b>	<b>6,562,440.01</b>	<b>1,550,491.15</b>

## REPORTS TO COUNCIL - FOR NOTATION

---

<b>ITEM NUMBER</b>	12.2
<b>SUBJECT</b>	Status Report - Update on Execution of Funding Deeds (Western Sydney Infrastructure Grants and Accelerated Infrastructure Funding Programs)
<b>REFERENCE</b>	F2024/00282 - D09369209
<b>REPORT OF</b>	PMO Manager

**CSP THEME:** Thriving

**WORKSHOP/BRIEFING DATE:** 28 October 2023, 6 December 2023, 14 February 2024, 27 March 2024, 10 April 2024, Ward Briefings (various)

### PURPOSE:

The purpose of this report is to provide a status update on the execution of the various funding deeds association with the Western Sydney Infrastructure Grants program (WSIG), formerly known as WestInvest, and the Accelerated Infrastructure Funding (AIF) program.

### RECOMMENDATION

That Council receive and note the report.

### BACKGROUND

1. This report responds to the Council resolution dated 27 February 2023 in relation to the \$199.7 million WSIG and \$27.54 million AIF funding programs, to provide a status update to Council on the execution of the funding deeds.
2. Since announcement of the grant funds, Councillors have been updated on the status on the programs at various DPOP workshops, Ward Briefings and via the Councillor Portal program list.

### STATUS OF FUNDING DEEDS - EXECUTION

3. To ensure efficient and timely delivery of the grant programs, a temporary business unit *Infrastructure Grants and Major Projects*, was created in City Assets and Operations to manage the delivery of WSIP and AIF funded projects.
4. The WSIG program is progressing with 13 funding deeds executed from a total of 19. The total project budget for the WSIG is \$199.7 million, and it will be delivered over the next four years, with the last project to be delivered in 2028.
5. As at 4 April 2024 the status of the execution of the funding deed for each project includes:
  - Strengthening the Heart of Play (Executed)

- Epping Town Centre: Oxford Street Urban Amenity & Reinvigoration Project (Executed)
  - Duck River Nature Trail (Executed)
  - Riverside Theatres Redevelopment (Deed is awaiting execution by Department of Regional NSW)
  - Eastern Parramatta River and CBD Precinct Connections (Deed is awaiting execution by Department of Regional NSW)
  - Finlayson's Creek Regional Cycleway (Deed is awaiting execution by Department of Regional NSW).
6. Once received, the grant funding deeds are usually executed by the CEO within 48 hours (subject to legal and project manager endorsement of the content).
7. The AIF program is on track with seven projects with funding deeds executed and projects are now in the planning and delivery stage. The total budget for the AIF Program is \$27.54 million. The AIF Program will be delivered over the next two years with the final project delivered in 2026.

## CONSULTATION & TIMING

### Stakeholder Consultation

8. Stakeholder consultation has been undertaken in relation to most of the projects' concept designs. However, it should be noted that all projects require a communication plan to be prepared and executed in accordance with the funding deeds. Some plans require additional public consultation to be undertaken.

### Councillor Consultation

9. The following Councillor consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Councillor</b>	<b>Councillor Comment</b>	<b>Council Officer Responsibility</b>
October 2023	All Councillors	To provide a briefing on the projects	James Smallson
February - March 2024	Ward Councillors	To provide a briefing on the projects	James Smallson
October 2023 – April 2024	All Councillors	To provide briefings on the projects during the DPOP and Capital Budget workshops	James Smallson

## LEGAL IMPLICATIONS FOR COUNCIL

10. It is a requirement of WSIG that applicants enter a formal funding deed with the NSW Government for each successful project. Funding is subject to the completion of this agreement and a failure to finalise this obligation may jeopardise funding for successful projects.

## **FINANCIAL IMPLICATIONS FOR COUNCIL**

11. WSIG will only fund the delivery of new projects, including planning, selection and implementation (for example, land acquisition, design, construction, and other essential expenditure required for delivery). WSIG funds cannot be used for ongoing operating or maintenance costs.
12. Council has made a commitment to co-contributions to some of the projects and commitments to budgets are in the long-term financial plans. Staff resource costs have been accounted for within the projects and will be funded as part of each project's budget.
13. Council, as the asset owner and operator must fund any ongoing operational or maintenance costs for assets and/or infrastructure delivered under the WSIG and AIF programs.

Maysa Saleh  
**PMO Manager**

James Smallson  
**Group Manager Infrastructure Grants and Major Projects**

George Bounassif  
**Executive Director City Assets and Operations**

John Angilley  
**Executive Director Finance & Information**

Gail Connolly  
**Chief Executive Officer**

### **ATTACHMENTS:**

- 1  [WSIG and AIF Project Status - Deed and Funding Updates](#)

### **REFERENCE MATERIAL**



# Western Sydney Infrastructure Grants (WSIG) Program

Current Grant Status



# WSIG Program Summary



**In the Parramatta LGA, Council's WSIG Program is comprised of ~\$199.7 million for 19 projects, including:**

- **Quality Green and Open Spaces**
- **Active Transport including cycleways and connects key transport hub**
- **Community Infrastructure and Realization of public spaces**
- **The projects vary in size and scale and deliver benefits at a local and regional level.**
- **Nineteen Projects due to be completed by December 2028**



# Budget to Delivery – WSIG



## Local Government Allocation

Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status	Project Status
<b>WILGA206</b> Doyle Ground Sports Facility Improvements Stage 1	\$8.32M	<b>\$9.53M</b>	This project will maximise the use of open space for the community at Doyle Ground, ensuring that a diverse range of recreational needs can be met. This will be achieved through increasing capacity, flexibility and amenity of sport and recreation spaces. Upgrades will include a multi-purpose playing surface, park furniture, and solar path lights.	<b>Executed 23/10/23</b>	<b>Preparing for consultant engagement</b>
<b>WILGA207</b> Max Ruddock Reserve Amenities Modernisation with Viewing Platform	\$3.84M	<b>\$5.30M</b>	This project will deliver an upgraded amenities building with community space at Max Ruddock Reserve. This upgrade will support the growth of local sports clubs, facilitating increased participation now and into the future through the delivery of multifunctional community spaces will provide places for residents to hire, gather and socialise.	<b>Executed 23/10/23</b>	<b>Architect engaged with concept plan developed and finalised.</b>
<b>WILGA208</b> Refurbish Rydalmere Bowling Club into a New Multi-Purpose Community Facility	\$5.53M	<b>\$6.47M</b>	This project re-purposes the Rydalmere bowling club site to serve the community as a multipurpose space. The bowling club building will include a fitness/leisure centre suitable for a wide range of activities including a family-friendly bistro/cafe with outdoor dining, adapting building space for a multi-purpose community centre.	<b>Executed 23/10/23</b>	<b>Procurement and engagement of design contractor, community consultation</b>
<b>WILGA209</b> Sue Savage Reserve Multigenerational Recreational Facilities	\$3.65M	<b>\$4.04M</b>	This project will provide a diverse range of passive and multi-generational recreational activities and facilities including accessible public toilets, skate park, fitness stations, car park, minor ponding improvements to channel street, BMX pump track.	<b>Executed 22/09/23</b>	<b>Design services</b>

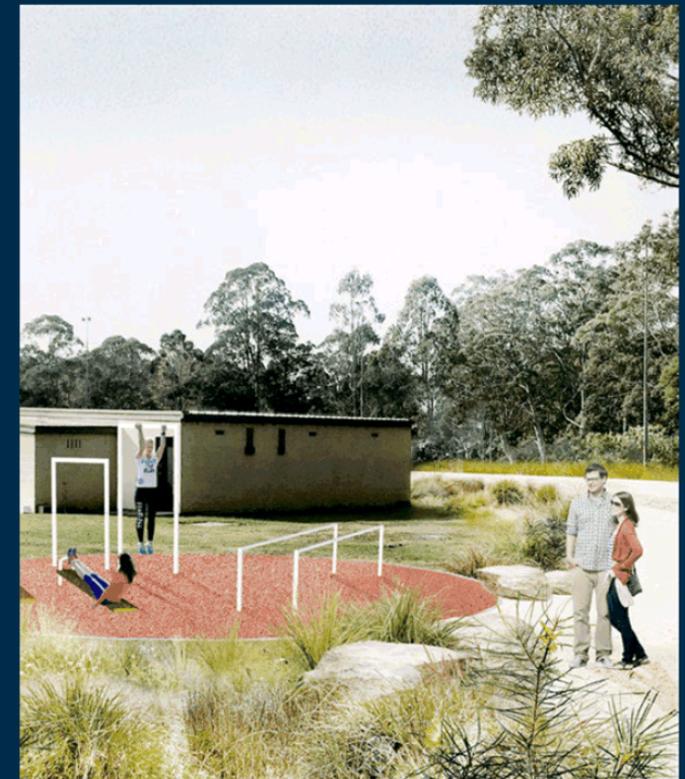


# Budget to Delivery – WSIG



## Local Government Allocation

Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status	Project Status
<b>WILGA210</b> Let's play @ Kilpack!	\$1.41M	<b>\$1.55M</b>	Undertake major upgrades and improvements to a much-loved local park and hidden gem in Carlingford. The park is a stone's throw from high-rise residential density and Carlingford Court shopping centre.	<b>Executed 03/10/23</b>	<b>Detailed Design</b>
<b>WILGA211</b> Active youth are healthy youth	\$1.50M	<b>\$1.50M</b>	This project seeks to embellish youth-focused play activities and provide additional youth play facilities in the Dundas Ward parks. The project aims to support young people in the crucial development stage of self-identity, peer relationships and networks, value systems, independence from parents and other adults, and skills for future economic independence.	<b>Executed 08/09/23</b>	<b>Planning</b>
<b>WILGA212</b> Somerville Park Improvement Project	\$4.57M	<b>\$4.80M</b>	The Somerville Park improvement project will promote healthy, active living and enhance social connection through increasing the quality and variety of offerings at the site. The project will deliver a district-scale accessible playground, circulation paths, multi-purpose sports court space, outdoor fitness equipment, park furniture and shaded areas.	<b>Executed 23/10/23</b>	<b>Planning</b>
<b>WILGA213</b> West Epping Park Dog Off-Leash Area	\$0.35M	<b>\$0.37M</b>	The Epping Ward currently lacks a dedicated dog off-leash area, with the closest being within adjoining local government areas. This project will deliver a dedicated dog off-leash area within West Epping Park.	<b>Executed 01/09/23</b>	<b>Procurement Planning</b>



# Budget to Delivery – WSIG



## Community Competitive Round

Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status	Project Status
<b>WICR294</b> Carter Street Precinct Community Centre	\$6.13M	<b>\$6.13M</b>	This project will transform the space from an empty cold shell to a usable and multi-functional community space ready for the existing and incoming community of 16,000 residents by 2041.	<b>Executed 18/12/23</b>	<b>Design</b>
<b>WICR295</b> Parramatta CBD to Sydney CBD Cycleway - missing link	\$10.70M	<b>\$10.99M</b>	There is currently a 1.5km gap between the M4 Cycleway which runs from the Parramatta CBD to Sydney Olympic Park and the City of Canada Bay Cycleway. The objective of this project is to deliver the missing link through Sydney Olympic Park and the emerging Carter Street Precinct.	<b>Executed 06/12/23</b>	<b>Planning</b>
<b>WICR329</b> Don Moore Multi-Purpose Community Hub	\$20.63M	<b>\$20.63M</b>	The Don Moore Multi-Purpose Community Hub project seeks to consolidate the site's existing buildings, including the 52 year old Don Moore Community Centre and deliver modern facilities that offer more community, educational and creative arts spaces in line with the community-endorsed North Rocks Master Plan.	<b>Executed 06/12/23</b>	<b>Procurement and community consultation</b>



# Budget to Delivery – WSIG



## Community Competitive Round

Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status	Project Status
<b>WICR313</b> Western Parramatta River and CBD Precinct Connections	\$26.10M	<b>\$28.29M</b>	To connect the City Centre, its River and its premier parkland, Parramatta Park, a new active transport connection across the River and completed missing links along the foreshore will provide a safe and convenient route along upgraded footpaths with continuous foreshore lighting and equal access street-to-foreshore connections.	<b>Executed 06/12/23</b>	<b>Procurement</b>
<b>WICR327</b> Lake Parramatta Swimming Area Upgrade Stage	\$0.97M	<b>\$0.97M</b>	This project will enhance the amenity, safety, and useability of Lake Parramatta through delivering a safe entry point to the swimming area, additional shade, and formal and informal seating areas. Improved access to the swimming facilities will increase the visitor capacity of Lake Parramatta Reserve as a swimming destination.	<b>Executed 06/12/23</b>	<b>Detailed design and procurement</b>

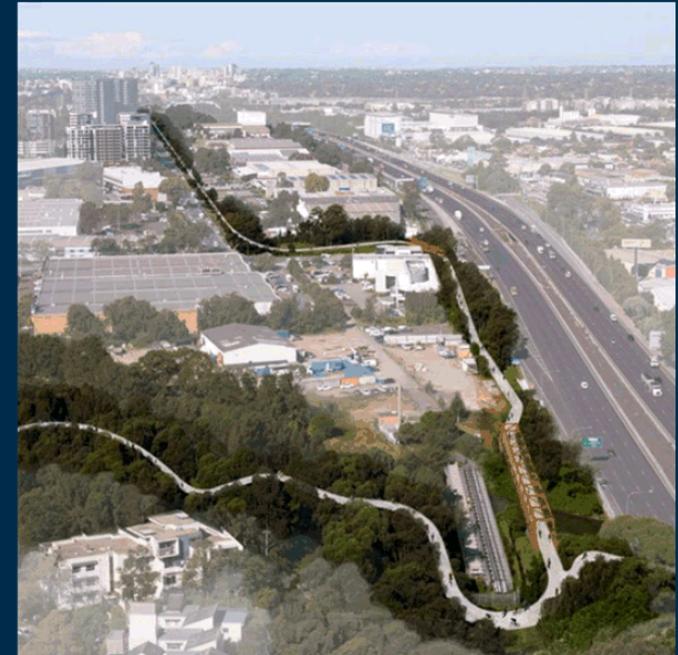


# Budget to Delivery – WSIG



## Community Competitive Round

Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status
<b>WICR322</b> Eastern Parramatta River and CBD Precinct Connections	\$9.03M	<b>\$9.03M</b>	WestInvest funding for Eastern River will greatly increase the safety, capacity and quality of the user experience along the Parramatta foreshore. Augmented paths, additional lighting, tree planting and new priority crossings over local streets will ensure that the foreshore meets community needs now and in the future.	To be finalised  CEO has signed and awaiting execution from DRNSW
<b>WICR305</b> Riverside Theatre Redevelopment	\$40.00M	<b>\$188.02M</b>	This project will revitalise the 30+ year old Riverside Theatres and cultural arts centre to reposition and modernise it to provide a state-of-the-art performance and theatre centre in Sydney's Central City with 2610 seats, a 245% increase on current capacity.	To be finalised  CEO has signed and awaiting execution from DRNSW
<b>WICR1040</b> Strengthening the Heart of Play	\$8.70M	<b>\$8.70M</b>	This project seeks to meet the community's needs by embellishing five strategic parks (Sherwin Park, Barton Park, PH Jeffrey Reserve, Old Saleyard Reserve and Corry Court) to deliver a critical sporting and recreation open space network that form part of the Heart of Play network. The upgrade of these parks helps create a healthy and sustainable environment in North Parramatta.	To be finalised  Project scope currently being reviewed

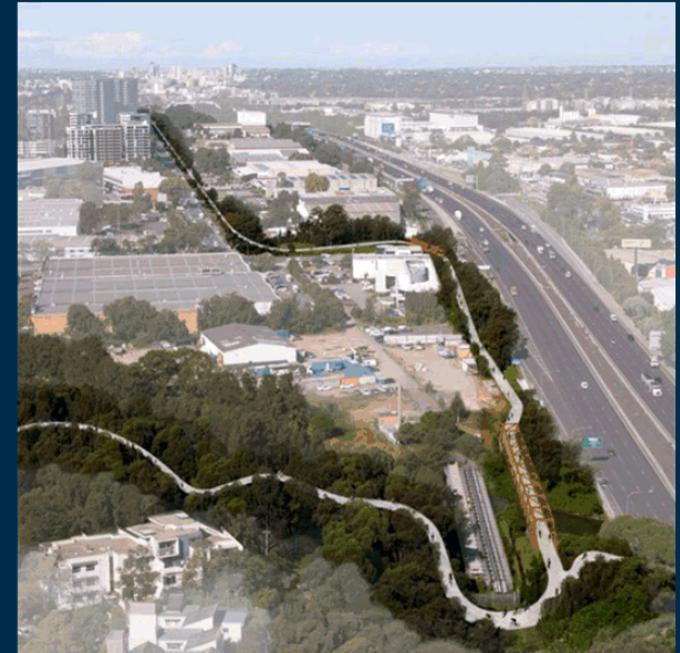


# Budget to Delivery – WSIG



## Community Competitive Round

Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status
<b>WICR342</b> Epping Town Centre: Oxford Street Urban Amenity & Reinvigoration Project	\$5.39M	<b>\$5.96M</b>	This project will inject new life and vibrancy into the Epping Town Centre which will reinvigorate outdoor dining, open spaces and bring much needed shady street trees.	To be finalised  Project team reviewing Funding Deed
<b>WICR344</b> Finlayson's Creek Regional Cycleway	\$9.78M	<b>\$9.78M</b>	This project will complete a missing link in the pedestrian and cyclist network and link the M4 and Prospect Canal cycleways to the T-Way Cycleway and Parramatta Valley Cycleway via a safe and high amenity path along Finlayson's Creek in Wentworthville and Westmead.	To be finalised  CEO has signed and awaiting execution from DRNSW
<b>WICR346</b> Duck River Nature Trail	\$26.94M	<b>\$27.24M</b>	This project will deliver a high amenity walking and cycling network along Duck River connecting the M4 Cycleway and Paramatta Valley Cycleway off road. The community will have safe and enjoyable walking and cycling access for work or recreation through green spaces, improving liveability, health and well-being.	To be finalised  Project team reviewing key deliverables and activities





# Accelerated Infrastructure Funding (AIF) Program

Current Grant Status



# AIF Program Summary



**In the Parramatta LGA, Council's AIF Program is comprised of ~\$27.54 million for 7 projects, including:**

- **Active Transport including cycleways and connects key transport hub**
- **Revitalizing of public spaces and upgrades that contributes to the development of a community that is socially, economically, and environmentally sustainable**
- **The projects vary in size and scale and deliver benefits at a local and regional level.**
- **Projects due to be completed by June 2026**



# Budget to Delivery – AIF



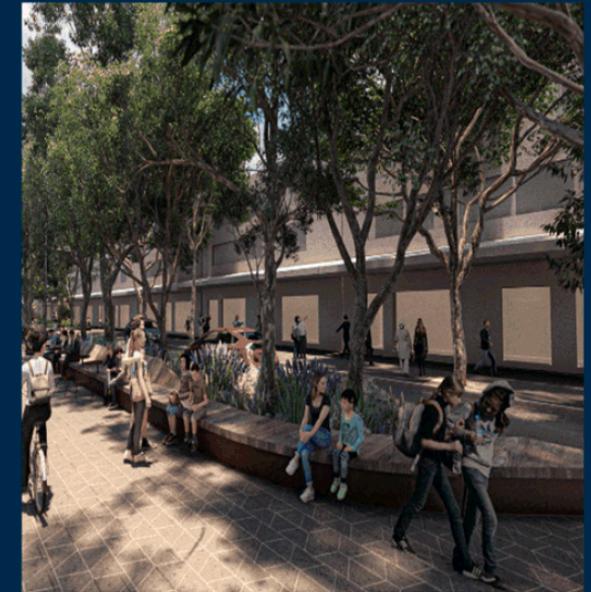
Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status	Project Status	Completion Date
Granville Town Centre	\$9.5M	\$13M	Delivery of the Council adopted Granville Town Centre Master Plan which identifies an area of approximately 3,500m2 bounded by Cowper Street to the north, Rowell Street to the east and Bridge Street to the west that will become a dedicated open, urban plaza for the Granville Community.	Executed 04/04/23	Planning  Councillor workshop required (as discussed at Rosehill Ward Briefing)	30 June 2026
FS Garside Park	\$500M	\$21M	This project will include decontamination of FS Garside Park, construction of a natural turf football field, installation of new competitive level sports field lighting, spectator seating and fence lines, as well as a regional size playground. It will help to create a North Granville sporting and recreation precinct that offers welcoming places to gather and meet, as well as provide a range of active (including organised sport) and passive recreation activities in one of the few remaining open spaces in Granville.	Executed 04/04/23	Construction  Practical completion estimated in May 2024	30 June 2026



# Budget to Delivery – AIF



Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status	Project Status	Completion Date
Connecting Granville	\$660K	\$1.0M	Connecting Granville aims to establish a clear active transport network connecting key public spaces to and from Granville. These key public spaces are Good and Bridge Street, the future Granville Town Square, F.S. Garside Park and the M4 underpass (Central City Parkway).	Executed 04/04/23	Detailed Design	30 June 2026
Parramatta Southern Precinct	\$2.8M	\$5M	Parramatta CBD Southern Precinct Upgrades aim to revitalise the public domain network connecting Parramatta's transport interchanges, new residential buildings and high streets. This project will upgrade the public domain at Wentworth Street and Woodhouse Lane	Executed 04/04/23	Construction procurement  Note – construction will commence following completion of works at 9 Wentworth St	30 June 2026



# Budget to Delivery – AIF



Project Name	Funding Amount	Total Cost	Project Description	Funding Deed Status	Project Status	Completion Date
Carter Street Bridge and Cycleways	\$5.4M	\$16.2M	This project completes a missing link in the regional walking and cycling network around Lidcombe. It is comprised of 4 elements: new bridges over Haslams Creek and Hill Road, a connecting shared path in the M4 corridor as well as a new cycleway along Carter Street itself.	Executed 04/04/23	Detailed Design	30 June 2026
Epping Town Centre	\$1.1M	\$0.37M	This project seeks to solidify a vital network of public spaces by revitalising three high streets in Epping Town Centre East to accommodate incoming residential demand. These three high streets are Cambridge Street, Pembroke Street, and Langston Place.	Executed 04/04/23	Detailed Design	30 June 2026
Civic Link	\$10.5M	\$21.1M	Civic Link Block 3 - Stage 1 is part of a new north-south pedestrian spine through the centre of Parramatta CBD, linking Parramatta Square to Powerhouse Parramatta and on to the river foreshore. In stage 1, the project will transform an existing street, Horwood Place into a high quality pedestrian way and public space.	Executed 30/11/23	Concept Design	30 June 2026



THIS PAGE LEFT INTENTIONALLY BLANK

**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

**22 APRIL 2024**

13.1	DEFERRED REPORT FROM OCM 8 APRIL 2024: Public Exhibition of Draft Sportsground Allocation Policy 2024	112
13.2	Public Exhibition of Draft Tomola (Melrose Park North) Development Control Plan and Planning Agreement	124
13.3	Public Exhibition of Draft Church Street North Development Control Plan (DCP)	223
13.4	Public Exhibition of Amendment to Planning Agreement: 264-268 Pennant Hills Road, Carlingford (AKA 1 Martins Lane, Carlingford) .....	354
13.5	Public Exhibition of Draft Affordable Rental Housing Policy 2024 .....	375
13.6	Extension of Interim Term for Parramatta Local Planning Panel Members	402
13.7	Adoption of Parramatta City Centre Local Infrastructure Contributions Plan 2022 (Amendment No. 2)	407
13.8	LATE REPORT: Public Exhibition of Draft Delivery Program, Operational Plan and Budget (DPOP) 2024/25	482

**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

---

<b>ITEM NUMBER</b>	13.1
<b>SUBJECT</b>	DEFERRED REPORT FROM OCM 8 APRIL 2024: Public Exhibition of Draft Sportsground Allocation Policy 2024
<b>REFERENCE</b>	F2024/00282 - D09400472
<b>REPORT OF</b>	Policy Officer

**CSP THEME:** Fair

**WORKSHOP/BRIEFING DATE:** Policy Review Committee – 14 March 2024

**PURPOSE:**

To seek Council's endorsement to place the draft Sportsground Allocation Policy 2024 on public exhibition.

**RECOMMENDATION**

- (a) That the draft Sportsground Allocation Policy be placed on public exhibition for a period of 28 days.
- (b) That Council authorise the Chief Executive Officer to make any necessary editorial and content changes to the draft Sportsground Allocation Policy for public exhibition to give effect to Council's resolution.
- (c) That following public exhibition, officers submit the final Sportsground Allocation Policy to Council for adoption.

**BACKGROUND**

1. Council deferred consideration of this item at its meeting of 8 April 2024 to enable Councillors to review officer responses to PRC feedback on the draft Policy.
2. Council does not currently maintain a policy for the management of allocation and hire requests for its sportsgrounds.
3. The Sportsground Allocation Policy will provide a framework for Council to manage competing public interest for use of its sportsgrounds, in accordance with Council's broader Sportsground Strategy.

**ISSUES/OPTIONS/CONSEQUENCES**

4. Before adopting the draft Policy, Council must place the document on public exhibition for a period of 28 days. This report is seeking Council's approval to place the draft Sportsground Allocation Policy on public exhibition for 28 days.
5. Current hirers with a sportsground allocation have been notified that a draft Policy has been developed, and that they will have the opportunity to provide any feedback as part of the public exhibition. Peak sporting bodies and associations will also be notified of the public exhibition.

6. Once submissions have closed a further report will be presented to Council incorporating any public comment at the next available meeting, where Council will be required to adopt the final Policy. This document will become effective once it is adopted by Council.

## **CONSULTATION & TIMING**

### Stakeholder Consultation

7. The following stakeholder consultation has been undertaken in relation to this matter:
  - Leadership Team;
  - Executive Team; and
  - Policy Review Committee (14 March 2024).

### Anticipated timeframes

- Council Meeting – 22 April 2024
  - Council endorses the draft Policy for public exhibition.
- Public Exhibition
  - Exhibition dates approximately 29 April to 27 May 2024.
- Council Meeting – 11 June 2024 (pending community feedback)
  - Council adopts the final Policy.

## **LEGAL IMPLICATIONS FOR COUNCIL**

8. The draft Policy was reviewed by Council's Legal Services Unit, and the Policy recommended for public exhibition does not present any legal concerns.

## **FINANCIAL IMPLICATIONS FOR COUNCIL**

9. If Council resolves to approve this report in accordance with the recommendation, there are no unbudgeted financial implications for Council associated with the exhibition of this Policy.

Melissa McIsaac  
**Policy Officer**

George Bounassif  
**Executive Director City Assets and Operations**

Jon Greig  
**Executive Director Community Services**

Roxanne Thornton  
**Chief Governance & Risk Officer**

Gail Connolly  
**Chief Executive Officer**

**ATTACHMENTS:**

1  For Public Exhibition - Draft Sportsground Allocation Policy 2024 9 Pages



**REFERENCE MATERIAL**



**Sportsground Allocation Policy**

Contents

1. Scope ..... 1

2. Purpose..... 2

3. Policy ..... 2

4. Delegation ..... 7

5. Procedure..... 7

6. Definitions ..... 8

**1. Scope**

- 1.1 This Policy applies to all Sportsgrounds owned or managed by City of Parramatta Council (Council).
- 1.2 This Policy applies to all proponents seeking to hire a Council Sportsground for the purpose of ongoing, organised, Grassroots Sport, including, but not limited to Sporting Clubs, Sporting Associations, schools, other community groups, and private and commercial organisations.
- 1.3 This Policy does not apply to special event hire of Council Sportsgrounds, or use of a Council Sportsground for personal and group fitness training, the conditions for which are established by Council’s Community Facilities Hiring Policy and applicable Terms & Conditions of Hire.
- 1.4 This Policy does not apply to Sportsgrounds which are the subject of an existing long-term (greater than one season) lease or license, until such time as the existing lease or license expires. Sportsgrounds occupied under a long-term lease or license agreement will be considered in accordance with the principles of this Policy upon re-negotiation of existing agreements, however long-term Sportsground lease or license agreements will be established pursuant to Council’s Lease & License Policy.

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4



## 2. Purpose

- 2.1 This Policy aims to ensure that Council will allocate the use of its Sportsgrounds in a systematic approach which aligns with Council's broader Sportsground Strategy and values, including to actively contribute to the health, wellbeing, equality, and inclusion of the whole community.
- 2.2 This Policy establishes a framework for Council to manage competing public interest for using its Sportsgrounds. This Policy sets out a consistent and transparent method for informing Council's decision making regarding a range of key Sportsground access and management issues.

## 3. Policy

- 3.1 The following guiding principles will inform Council decision making regarding allocating public use of its Sportsgrounds:
- 3.1.1 Provide a responsible, consistent, transparent, and equitable process for the use and management of Council Sportsgrounds and associated facilities.
- 3.1.2 Ensure Council's Sportsground facilities are safe, sustainable to operate, and shared by users.
- 3.1.3 Ensure that Sportsgrounds are utilised by well-governed sporting and community organisations with documented policies, and which provide safe, inclusive, and sustainable initiatives to support volunteers, participants, and underrepresented groups.
- 3.1.4 Increase participation and health outcomes across all demographics in the City of Parramatta local government area (LGA), by ensuring the behaviour and culture of facility users is aligned with Council's values.
- 3.1.5 Provide diverse opportunities for the community to participate in Grassroots Sport, recreation, and physical activity.
- 3.1.6 Respond to the needs and expectations of both our current and future communities by maximising the practical capacity of Council's Sportsground network.

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4

Page 2 of 9



3.2 To promote fair and shared access to Council Sportsgrounds for hire, Council will generally arrange Allocations for hire of its Sportsgrounds on a non-exclusive, seasonal basis, for a single, specified period, as follows:

- (a) Winter Season: second weekend of April to first weekend of September.
- (b) Summer Season: third weekend of September to last weekend of March.
- (c) Winter Pre-Season: 1<sup>st</sup> of March to the start of Winter Season.
- (d) Summer Pre-Season: 1<sup>st</sup> of August to the start of Summer Season.
- (e) Off-Season: Maximum of 6 weeks between 1 November to 31 December and maximum of 6 weeks between 1 May to 30 June.

3.2.1 Seasonal dates are subject to the requirement for a minimum one weekend rest period between seasons to allow for a change in sporting field configuration.

3.2.2 Pre-Season and Off-Season Allocations are subject to the practical capacity of the sportsground network and with consideration of Council's maintenance activities, infrastructure requirements, condition of field, and Sportsground availability.

3.2.3 School groups may, by exception, apply for an extended Allocation for Terms 1 to 4

3.2.4 Where availability and practical capacity permits, seasonal Allocations may be issued to more than one user group at a facility. Council will aim to ensure in scheduling any shared facility Allocations, that concurrent use will not disrupt the intended usage of the Hirers.

3.3 Council recognises the impact of bookings on turf Sportsgrounds and the need to maintain playing surfaces. Sportsgrounds will be rested for one (1) full weekday per week.

3.4 Where a facility upgrade to a synthetic or alternative surface allows for extended usage hours, additional hire hours will not be automatically allocated to the existing hirer. Additional available hours will be allocated through an Expression of Interest (EOI) process.

3.5 Season Draws must be provided to Council once confirmed, to allow for Council to re-allocate any unused Sportsgrounds. Blanket bookings are not permitted, and Hirers must ensure every effort is made to notify Council of any unused dates in advance.

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4



- 3.6 Allocations will generally include non-exclusive access to available Assets Within Sportsgrounds. From time to time, and subject to confirmation by Council, access to these Assets Within Sportsgrounds may be provided beyond the approved Allocation, such as to allow for use of a storage room between seasons. Where a Hirer's Allocation does not continue into the subsequent season, the Hirer will no longer have access to those Assets Within Sportsgrounds.
  - 3.6.1 Where Assets Within Sportsgrounds are added or upgraded, Hirer access as part of an Allocation will not be automatic, and will be considered in accordance with the principles of this Policy, and other applicable Policies or Council requirements for facility hire.
  - 3.6.2 Requests for exclusive hire of Assets Within Sportsgrounds are subject to Council's Lease & License Policy.
- 3.7 To be eligible to be considered for an Allocation, applicants must:
  - (a) maintain current public liability insurance, with a minimum amount of \$20,000,000 payable for any individual claim that may be made against that policy;
  - (b) be registered as a legal entity (e.g. as an Incorporated Association);
  - (c) not have any outstanding debts to Council; and
  - (d) accept Council's Terms & Conditions of Hire.
  - 3.7.1 Hirers that do not comply with this Policy or Council's Terms & Conditions of Hire during the term of their Allocation may not be considered for future Allocations.
  - 3.7.2 To be assigned an Allocation, Professional or Representative Sporting use applicants must demonstrate that the existing Council facility meets the sport's requirements, and is not dependent on the pursuit of upgrades or embellishments.
- 3.8 Casual or temporary hire of Council Sportsgrounds may be granted to individuals and groups for an agreed period of time, during daylight hours outside the times assigned to users with an Allocation, in accordance with Council's Community Facilities Hiring Policy.

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4



- 3.8.1 To ensure fair shared use of Council's facilities, three casual bookings per season are permitted outside of the season of hire for groups with an Allocation, and ten bookings per calendar year for casual Hirers without an Allocation.
- 3.8.2 Re-occurring weekly casual hire of Sportsgrounds is not available for weekends.
- 3.9 To ensure fair and shared access of Sportsgrounds, Council will generally facilitate Sportsground hire on a Seasonal Allocation or casual basis, where available. Council may however, consider long-term lease and license arrangements for exclusive use of a Sportsground where:
  - (a) a commitment to significant financial investment in the facility can be demonstrated by the applicant to align with Council's strategic direction; and
  - (b) it can be demonstrated that this arrangement provides a greater benefit to the community, in line with the guiding principles of this policy, outlined in Section 3.1.
- 3.9.1 Requests for a multiple-season hire, or long-term lease or license agreement, for use of Sportsground, as an exception to this Policy, must be submitted to Executive Director Community and Culture for consideration, before applying for the lease or license agreement.
- 3.9.2 Lease or license arrangements for Sportsgrounds are subject to Council's Lease & License Policy.

Prioritisation for Assigning Allocations

- 3.10 Council will utilise a prioritisation system to ensure that the hire of Sportsgrounds is equitable and aligned with Council's broader Sportsground Strategy and Action Plan and values, including to actively contribute to the health, wellbeing, equality, and inclusion of the whole community. Prioritisation for Allocations may apply to both the Sportsground and season assigned to the application for hire.
- 3.11 To prioritise Allocation requests, Council will assign a priority tier to all applications, based on the type of hire group, as follows:

Priority Tier	Type of Hirer groups
Primary Priority	<ul style="list-style-type: none"> <li>• Community-led, participative Sporting Clubs and organisations</li> <li>• Community-led, participative Sporting Clubs and organisations</li> </ul>

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4



	(non-affiliated) <ul style="list-style-type: none"> <li>Government School groups located within the LGA</li> </ul>
Secondary Priority	<ul style="list-style-type: none"> <li>Not-for-profit and community-based organisations and Programs</li> <li>Commercial organisations that provide community-based Programs</li> <li>Independent School groups located within the LGA</li> <li>Government School groups located outside of the LGA</li> </ul>
Tertiary Priority	<ul style="list-style-type: none"> <li>Independent School groups located outside the LGA</li> <li>Professional or Representative Sporting use</li> <li>Commercial and other hirers</li> </ul>

3.11.1 All eligible Primary Priority Hirers will be allocated a principal facility (i.e. a home ground) as a priority before Primary Priority Hirers are allocated a second facility.

3.11.2 Where it is necessary for Council to determine contested Allocation requests, it will prioritise the applicant(s) which will best deliver programming to meet the community's needs and Council's values, with consideration given to the following criteria:

- (a) proportion of participant membership residing within the LGA;
- (b) provides ongoing Programs or initiatives that cater for Grassroots Sports;
- (c) provides ongoing Programs or initiatives that consider Gender Equality;
- (d) provides ongoing Programs or initiatives that cater for underrepresented groups;
- (e) membership is open to all and reflective of junior teams/sides; female teams/sides; registered development Programs; and female representation on club committee;
- (f) membership and Programs are inclusive of all participants regardless of skill;
- (g) strong affiliation or history with the facility;
- (h) provides initiatives that promote healthy lifestyles;
- (i) ability to optimise usage of facilities, while keeping the facilities to a good standard;
- (j) demonstrated strong ties to the local community;
- (k) new or emerging sport, where the applicant can demonstrate a plan for ongoing success
- (l) for school groups, availability of Sportsgrounds within the school; and

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4



- (m) for school groups, prioritised use for competitive sporting activities and programs over general recreation (e.g. physical education lessons, recess sessions).

**4. Delegation**

4.1 There are Administrative and/or Legislative Delegations applicable to this Policy, which are provided for in Council's Delegations Manual.

**5. Procedure**

5.1 This Policy must be read in conjunction with Council's Community Facilities Hiring Policy and accepted Terms & Conditions of Hire, which set out the applicable obligations for facility use which Hirers with an approved Allocation must follow.

5.2 Allocations will be made by Council through the following process:

5.2.1 Council will call for applications for Allocations approximately two months prior to season commencement (e.g. February for the Winter Season, and July for the Summer Season).

5.2.2 Applications for Allocations are due six (6) weeks prior to the official season commencement date, which will be advised by Council. Late applications will not be considered.

5.2.3 Council will assess all received applications in accordance with this Policy, and liaise with applicants as required.

5.2.4 Council staff will notify applicants regarding assigned Allocations, and issue invoices for hire fees in accordance with Council's Schedule of Fees and Charges.

5.2.5 Any changes to the Allocation requested by the applicant (e.g. as a result of increased or decreased registrations) may be accommodated by Council subject to availability, and will be considered in accordance with this Policy.

5.2.6 Where facilities may become available outside of the standard Allocation assignment cycle, such as through a vacancy, upgrade, or new development, Council will advertise for interested parties to submit an EOI application.

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4



Applications will be assessed by Council in accordance with this Policy. The successful EOI applicant(s) will be invited to complete an application for a seasonal hire Allocation.

- 5.3 Council may request for Hirers and applicants to provide Council with supporting documentation of operational information, which Council may seek to verify, including, but not limited to:
- (a) an official membership list, confirming members' residential suburb;
  - (b) the number of teams and participants in each team;
  - (c) a detailed schedule for use of the requested facility;
  - (d) information regarding the organisation's governance structure; and
  - (e) a copy of the organisation's annual report, including financial report;
  - (f) previous tenure at other sporting facilities; and
  - (g) evidence of registration under the *Associations Incorporation Act 2009 (NSW)*, or other similar related registration that may apply to a sporting organisation.
- 5.4 If an applicant wishes to appeal the Allocation decision, they may appeal in writing to the Executive Director Community and Culture. The Executive Director Community and Culture or their delegate, will consider the appeal and notify all relevant applicants of the outcome.

## 6. Definitions

Allocation	A confirmed seasonal hire agreement for a Council Sportsground and/or sporting facility.
Assets Within Sportsgrounds	Council managed assets that facilitate the activity and support the use of the sporting field and may include items like cricket nets, floodlights, and pavilions.
Gender Equality	Refers to the attainment of equal rights, responsibilities, and opportunities for women, men, trans, and gender diverse people.
Grassroots Sport	Refers to organised sport practiced by amateur sportspeople, in the lowest available level of local competition.
Hirer	An organisation (e.g. Sporting Club, Sporting Association, state sporting organisation, community-based group, school, or tertiary organisation) whose application for hired use of a Council Sportsground has been approved, and who has accepted the Terms & Conditions of Hire.

Sportsground Allocation Policy		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4



Not-for-Profit	An organisation that provides services to the community and does not operate to make a profit for its members or shareholders.  All profits must go back into the services the organisation provides and must not be distributed to members.
Off-Season	A period outside of a main sporting season, which may be used by a sporting group for an out of season competition, Program, or grading.
Pre-Season	A period prior to the commencement of a main sporting season, which may be used by a sporting group for training, coaching activities, trials, and gradings.
Program	Refers to activities which aim to promote and increase community participation in sport or recreation.
Professional or Representative Sporting	Organised sport participated in at a higher level of competition than is readily available at the Grassroots Sport level.
Season Draws	Official competition draws provided by the relevant governing Sporting Association for that particular sport
Sporting Association	An umbrella organisation bringing together the affiliated Sporting Clubs and licensed players, with the aim of organising a sport, primarily through competition-based participation.
Sporting Club	A registered organisation that exists to promote and develop participation in a particular sport or physical activity.
Sportsground	Refers to land or a facility that is used primarily for formal sporting activities, involving organised sports or the playing of outdoor games.

<b>REFERENCES</b>	<i>Associations Incorporation Act 2009 (NSW)</i>
<b>ASSOCIATED POLICIES and STRATEGIES</b>	Community Facilities Hiring Policy Complaints Handling Policy Lease & License Policy Sportsground Strategy and Action Plan Terms & Conditions of Hire
<b>ATTACHMENTS</b>	Nil

<b>Sportsground Allocation Policy</b>		
Owner: Manager Parks & Open Spaces	Area: Parks & Open Space Planning	POL No:
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 1	Date of Next Review:	Review: 4

**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

---

<b>ITEM NUMBER</b>	13.2
<b>SUBJECT</b>	Public Exhibition of Draft Tomola (Melrose Park North) Development Control Plan and Planning Agreement
<b>REFERENCE</b>	F2024/00282 - D09330187
<b>APPLICANT/S</b>	mProjects
<b>OWNERS</b>	Payce
<b>REPORT OF</b>	Project Officer Land Use

**CSP THEME:** Welcoming

**DEVELOPMENT APPLICATIONS CONSIDERED BY SYDNEY CENTRAL CITY PLANNING PANEL** Nil.

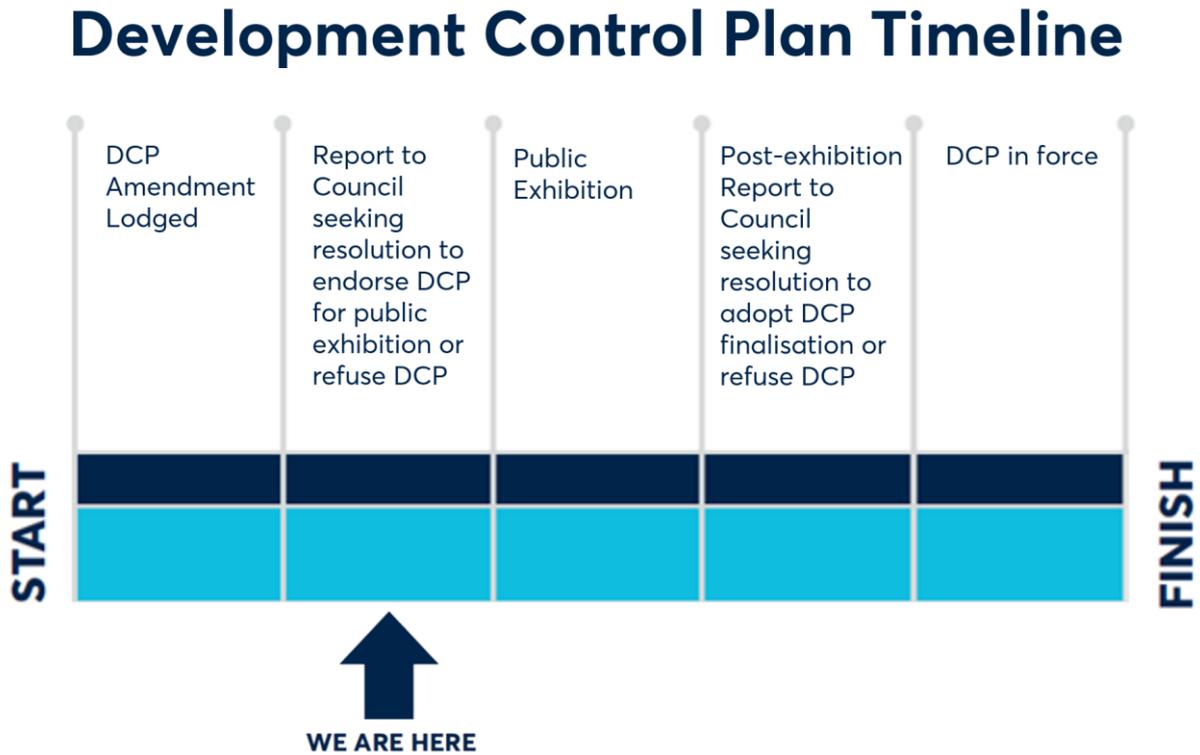
**PURPOSE**

To seek Council's endorsement for the public exhibition of a draft amendment to the Parramatta Development Control Plan (DCP) 2023 to add site-specific planning controls for 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington (known as the Tomola site) and minor housekeeping amendments to the existing Melrose Park precinct controls; and a draft Planning Agreement for the site.

**RECOMMENDATION**

- (a) That Council endorse the draft amendments to Parramatta Development Control Plan (DCP) 2023 that includes site-specific planning controls for the land at 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington (known as the Tomola site) and minor housekeeping amendments to controls for the Melrose Park precinct, provided at **Attachment 1**, for the purpose of public exhibition.
- (b) That Council delegate authority to the Chief Executive Officer to commence the legal drafting of a Planning Agreement in accordance with the Letter of Offer as provided at Attachment 2 and in the terms outlined in this report on behalf of Council for the purpose of public exhibition.
- (c) That the draft amendment to Parramatta DCP 2023 and draft Planning Agreement be placed on public exhibition concurrently with the associated Planning Proposal at **Attachment 3**, for a period of 28 days as required by the Gateway Determination at **Attachment 4** and that a report be provided to Council on the outcomes of the public exhibition.
- (d) That Council delegate authority to the Chief Executive Officer to correct any minor inconsistencies or anomalies of an administrative nature relating to the draft DCP and draft Planning Agreement documentation that may arise during the drafting and exhibition process.

**DEVELOPMENT CONTROL PLAN TIMELINE**

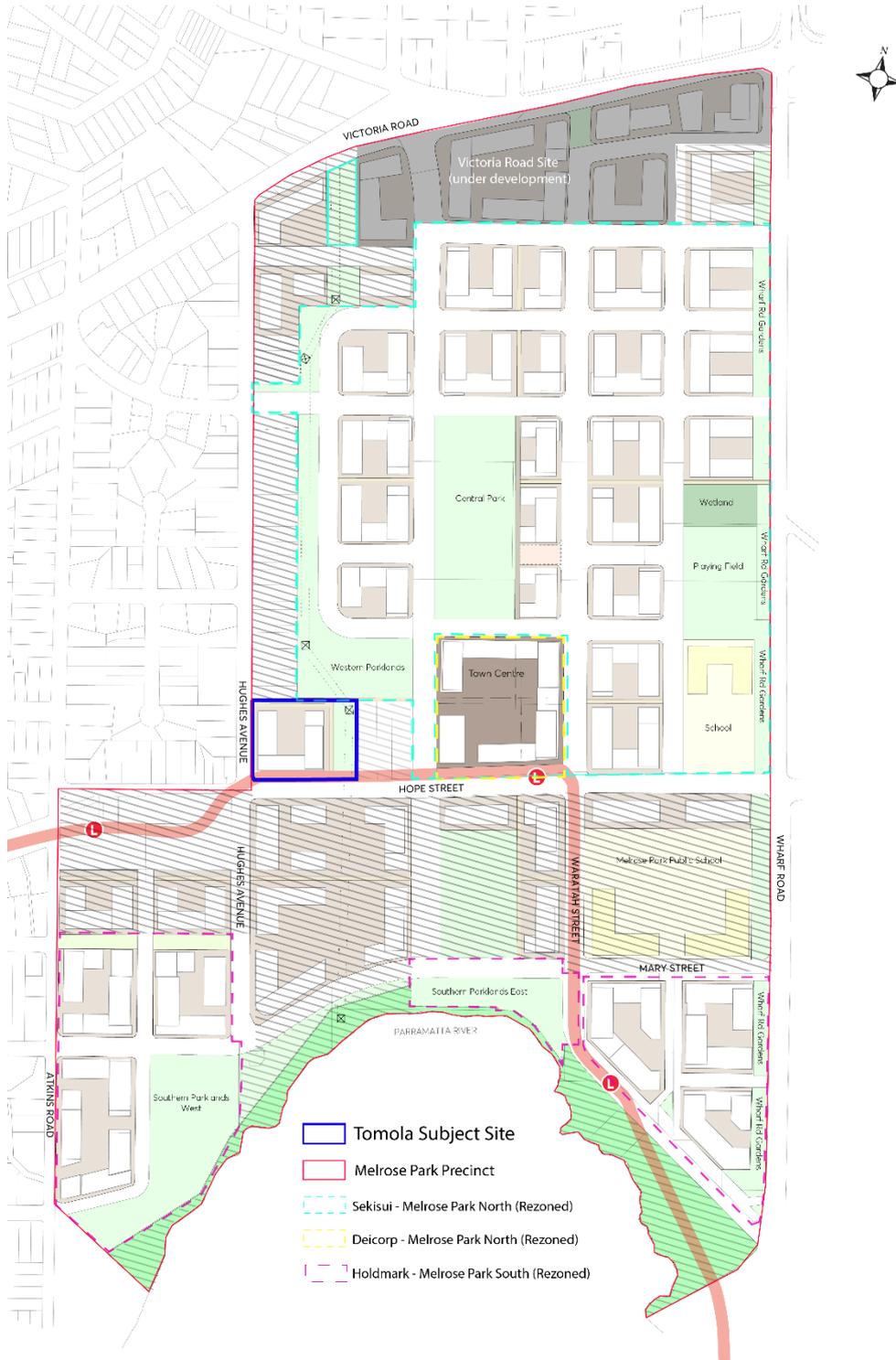


**SITE DESCRIPTION**

1. The Tomola site is located at 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington, and is 8,485.8sqm in area. The site is part of the Melrose Park precinct which has been designated by Council for urban renewal. The subject site is in the vicinity of the approved Deicorp town centre development to the east, and Sekisui land to the north that has been rezoned for high density development as part of Melrose Park North. The Tomola site is owned by the developer, Payce, and its location is shown in **Figure 1**. The site context is shown in **Figure 2**.



**Figure 1: The Tomola Site**



**Figure 2: Tomola Site Context**

**BACKGROUND**

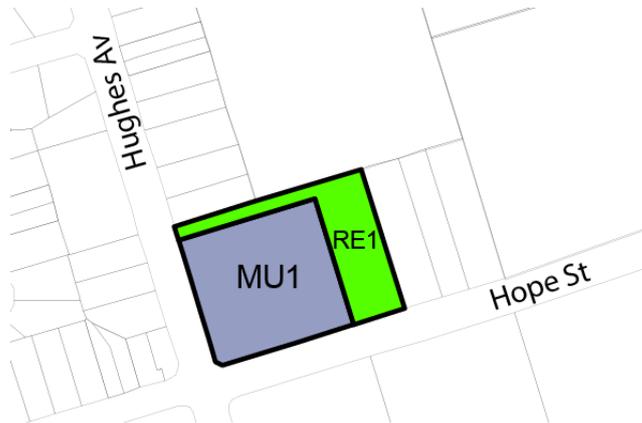
2. At its meeting on 14 June 2022, Council endorsed for Gateway determination (and subsequent public exhibition) a Planning Proposal that would facilitate a mixed use development of approximately 161 units on the Tomola site. The Planning Proposal seeks to rezone the site from part E4 General Industrial and part R2 Low Density Residential to part MU1 Mixed Use and part RE1 Public Recreation under the Parramatta Local Environmental Plan 2023 (PLEP 2023). The Planning Proposal was reported to Council prior to a draft Development

Control Plan or a draft Planning Agreement being prepared so that Council could first consider the strategic merit of the Planning Proposal for Gateway determination. As part of the resolution Council also resolved that a site-specific Development Control Plan for the Tomola site be prepared and reported back to Council for consideration prior to exhibition of the Planning Proposal, and that Council commence negotiations with the landowner (Payce) to enter into a Planning Agreement.

3. A Gateway Determination was issued by the (then) Department of Planning & Environment, now the Department of Planning, Housing and Infrastructure (DPHI), on 5 October 2023. The Gateway Determination was not issued until the Planning Agreement for the Melrose Park North precinct (facilitating 5,000 dwellings adjacent to the Tomola site) had been executed as this delivers supporting infrastructure for the wider precinct on which the Tomola Planning Proposal is reliant on as justification for its proposed density.
4. The Gateway Determination conditioned the Tomola draft planning proposal be amended to ensure the proposed floor space control aligns with the intended built form. As such the proposed FSR control was amended to only apply to the MU1 zoned land (not the whole site including the RE1 zoned land). This resulted in the FSR increasing to 2.67:1 for the MU1 zoned land, however the overall GFA yield that can be achieved on the site remains unchanged.
5. An overview of the existing and proposed controls is shown in **Table 1**. The proposed zoning map is shown in **Figure 3**.

	Existing LEP Controls	Proposed LEP Controls endorsed by Council for public exhibition
<b>Zoning</b>	Part E4 General Industrial (4,765sqm) Part R2 Low Density Residential (3,694sqm)	Part MU1 Mixed Use (5,807sqm) Part RE1 Public Recreation (2,673sqm)
<b>Maximum Building Height (HOB)</b>	Part 9m (R2 zone) Part 12m (E4 zone)	Range between 13m and 48m (Approx 4-14 storeys)
<b>Maximum Floor Space Ratio (FSR)</b>	Part 0.5:1 (R2 land) Part 1:1 (E4 land)	2.67:1 (MU1 land only) Approx. 14,070 sqm residential GFA (161 units) and 1,630 sqm commercial GFA

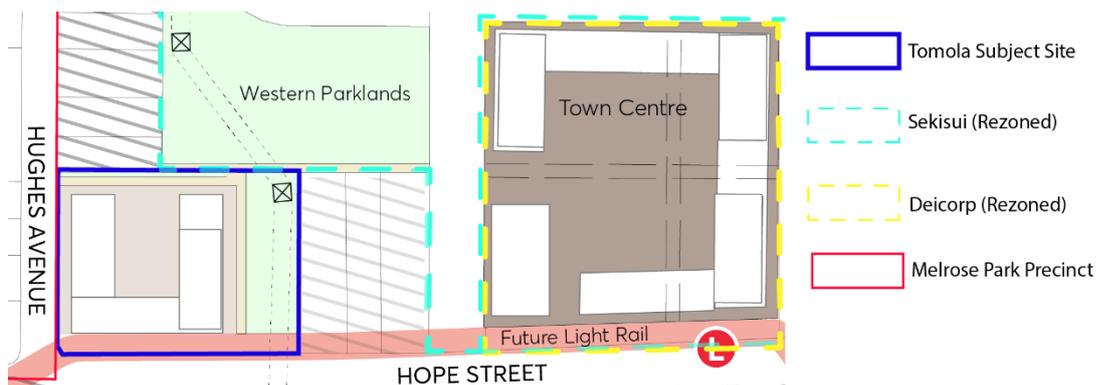
**Table 1:** Comparison of existing and proposed LEP controls adopted by Council for public exhibition.



**Figure 3:** Proposed zoning map (endorsed for public exhibition)

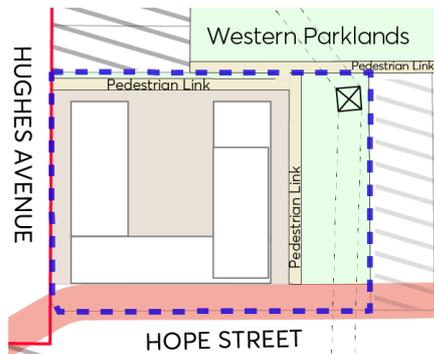
**DRAFT DEVELOPMENT CONTROL PLAN AMENDMENT**

- The draft DCP facilitates the planning provisions endorsed by Council for public exhibition under the Planning Proposal and seeks an amendment to Section 8.2.6 (Melrose Park Urban Renewal Precinct) of the existing Parramatta DCP 2023 (**Attachment 1**). The draft DCP masterplan figure is shown as **Figure 4** below.



**Figure 4:** Draft DCP masterplan (subject site in purple)

- The draft DCP controls address the interface between the Tomola site and that of the future light rail along Hope Street to the south, existing detached housing along Hughes Avenue to the west and north, and the future Western Parklands to the east through setback and built form controls. The eastern setback is 6m for residential development fronting Hughes Ave, and the northern setback is 3m from the pedestrian through site link. The built form controls set a maximum four storey building height adjacent to the northern low density housing on Hughes Avenue. The controls in the draft DCP work in conjunction with building height and FSR controls in the LEP to ensure an appropriate transition of bulk and scale.
- The draft DCP requires two public pedestrian through site links (east-west and north-south) connecting Hughes Avenue and Hope Street with the wider Melrose Park North precinct (see **Figure 5**). The draft DCP will ensure the proposed RE1 Public Recreation zone land to the east (beneath the north-south transmission line) integrates with the proposed parkland in the Sekisui landholding to the north. Embellishment of the RE1 zoned land that is part of the Tomola site forms part of the draft Planning Agreement (see Draft Planning Agreement section below).



**Figure 5:** Extract from Draft DCP showing pedestrian links and open space

9. In addition to the draft DCP controls for the Tomola site, housekeeping changes to other DCP controls that apply to the rest of Melrose Park precinct are also proposed (see **Attachment 1**). These involve the Melrose Park masterplan figures being amended to align with the approved Melrose Park North Infrastructure Development Application (DA/1100/2021) which reconfigured part of the planned street network adjacent to Wharf Road in response to detailed technical assessment relating to tree preservation, stormwater management, traffic performance, and increased open space. Minor anomalies such as grammatical errors and mislabeled figures have also been corrected. These changes have not altered any zoning, height of building or floor space ratio controls already in force within the Melrose Park precinct as identified in Parramatta LEP 2023.

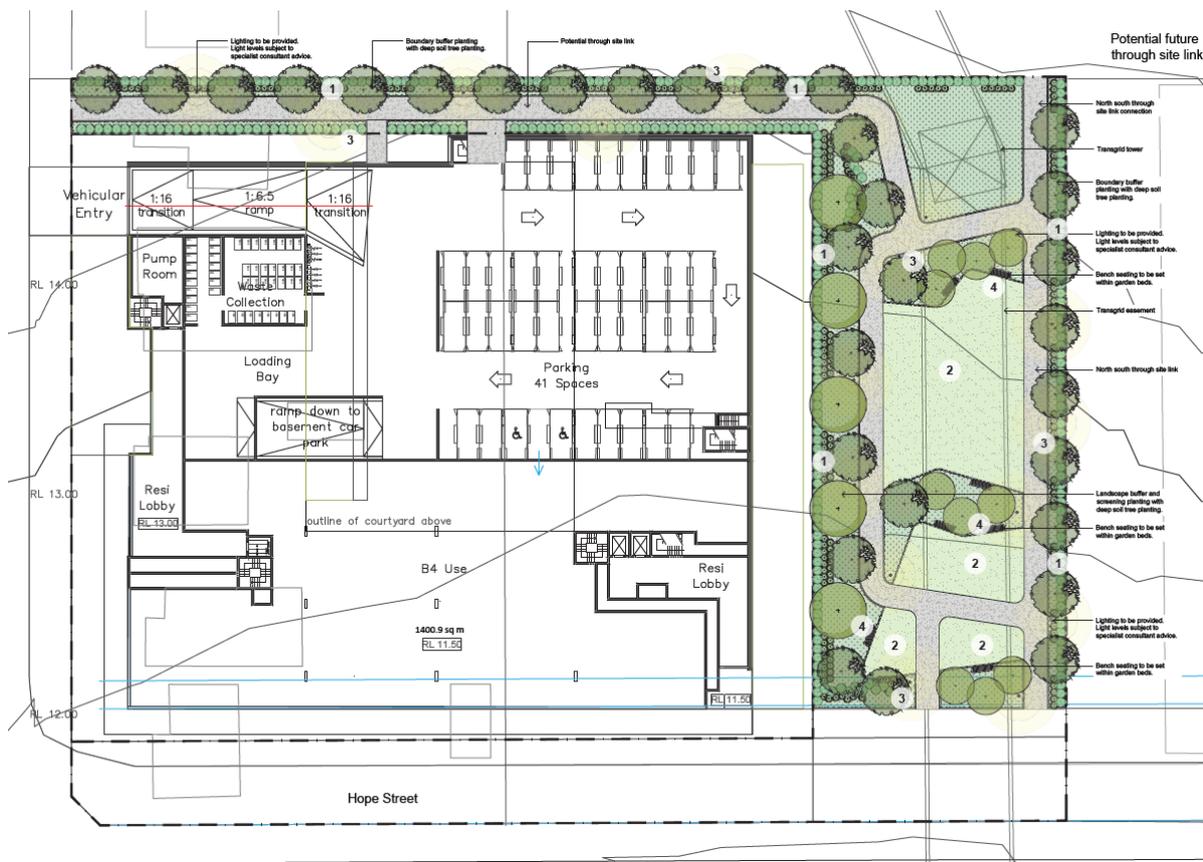
**DRAFT PLANNING AGREEMENT**

10. The proponent (Payce) has submitted a Letter of Offer to enter into a Planning Agreement (PA) with Council valued at \$3,439,859.50 (**Attachment 2**). The per dwelling contribution rate of \$21,326.97 is equivalent (when adjusted for inflation) to the per dwelling rate in other executed planning agreements for Melrose Park, including the Sekisui and Deicorp Melrose Park North Planning Agreement that Council endorsed at its meeting on 22 March 2021. Indexing of the figures referred to in this report will be built into the final Planning Agreement in accordance with normal Council practice.
11. The Letter of Offer is made up of two components: the dedication and embellishment of public open space, and the dedication of two affordable housing units in perpetuity to Council. Their provision is related to the infrastructure needs generated by the proposed Tomola development and is consistent with Council’s Affordable Housing Action Plan 2023-2025 which seeks to deliver affordable housing via planning agreements.

<b>PA Item</b>	<b>\$ Value</b>
Dedication and Embellishment of Open Space to Council	\$1,639,859.50
Dedication of 2 (Two Bedroom) Affordable Housing Units to Council	\$1,800,000
<b>Total Value</b>	<b>\$3,439,859.50</b>

**Table 2: Planning Agreement Items**

12. The Letter of Offer proposes the dedication and embellishment of 2,673 sqm of public open space to Council. The public open space includes the north-south and east-west pedestrian through site links identified in the draft DCP (see **Figure 5**) and parkland beneath the transmission line. This will form a part of the linear “Western Parkland” that when completed will be owned by Council and will extend from Victoria Road through the Sekisui land to Hope Street. The cost of the open space embellishment is valued at \$1,639,859.50 and is reflective of the level of embellishment that is acceptable under the transmission line. The applicant has consulted with Ausgrid, who were supportive of the level of embellishment proposed. **Figure 6** shows the proposed embellished open space to be dedicated to Council.



**Figure 6:** Open space to be dedicated to Council

13. Two (2) x 2 bedroom affordable housing units (with one allocated parking bay per unit) will be dedicated to Council in perpetuity. Detailed requirements for the provision of the two affordable housing units will be included in the drafting of the Planning Agreement and will be guided by Council’s Affordable Housing Policy.
14. The draft Planning Agreement excludes the application of the Parramatta (Outside CBD) Contributions Plan. Instead, the draft Planning Agreement includes a 1% contribution (of the total cost of the Tomola development) at the development application stage. The 1% contribution is what was prescribed under the former *Parramatta Section 94A Development Contributions Plan 2017*. This is consistent with the approach previously endorsed by Council and taken in relation to the Sekisui and Deicorp Melrose Park North Planning Agreement and Holdmark Melrose Park South Planning Agreement that have both been finalised.

15. It is recommended that Council delegate authority to the Chief Executive Officer to commence the legal drafting of a Planning Agreement in accordance with the Letter of Offer as provided in **Attachment 2** for the purpose of public exhibition. As part of these negotiations, and further detailed review of the deliverables outlined in the Letter of Offer, should the overall value of the Planning Agreement fall below the \$21,326.97 per dwelling contribution rate, a monetary contribution will be sought to maintain this per dwelling rate. Such a monetary contribution would be directed towards other key infrastructure in the area including the upgrade of George Kendall Reserve or the delivery of the Ermington Community Hub.
16. The \$21,326.97 per dwelling contribution rate equates to the rate (when adjusted for inflation) that Council endorsed for the \$96 million Melrose Park North Planning Agreement (Sekisui and Deicorp) that facilitates 5,000 dwellings. As was established by Council in approving that rate it provides a greater value to Council than otherwise would be collected under the applicable Contributions Plan. Adopting this per dwelling rate for the Tomola Planning Agreement ensures an equitable and consistent approach is taken for all development sites in Melrose Park North.

### CONSULTATION & TIMING

17. Subject to Council endorsement, the draft DCP and draft Planning Agreement will be publicly exhibited concurrently with the Planning Proposal for a minimum of 28 days. The outcomes of the public exhibition will then be reported to Council.

#### Stakeholder Consultation

18. The following stakeholder consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Stakeholder</b>	<b>Stakeholder Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
August – December 2023	Payce (Owner)	Submitted draft Development Control Plan and Letter of Offer for Planning Agreement.	Development Plan Controls and Letter of Offer contents refined after negotiation with Payce.	Group Manager, Major Projects & Precincts
November 2023	Transport for NSW (TfNSW)	Clarification sought regarding proposed setback from future Parramatta Light Rail.	The proposed Tomola development is set back 12m from Hope St, this facilities future Parramatta Light Rail.	Group Manager, Major Projects & Precincts
February 2024	Sekisui (Melrose Park North Developer)	No comments on proposed housekeeping amendments to Melrose Park Development Control Plan.	N/A	Group Manager, Major Projects & Precincts

Councillor Consultation

19. The following Councillor consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Councillors</b>	<b>Councillor Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
15 April 2024	All Councillors invited	Report finalised prior to briefing	Report finalised prior to briefing	Group Manager, Major Projects & Precincts

**LEGAL IMPLICATIONS FOR COUNCIL**

20. The legal review of the draft Planning Agreement will be carried out during the drafting of the Agreement.

**FINANCIAL IMPLICATIONS FOR COUNCIL**

21. The decision being made by Council to endorse the draft Development Control Plan and draft Planning Agreement for exhibition will have no direct impact on the budget as shown in the table below. At the time the Planning Agreement is executed (post exhibition), Council can then plan to incorporate the infrastructure and other Planning Agreement deliverables into Council budget and asset management strategies. Although land will be dedicated to Council as part of the Planning Agreement, Council will have no financial obligations for the maintenance of this land for 2 years. After this time, the cost of maintaining this land will be Council's responsibility.

	<b>FY 24/25</b>	<b>FY 25/26</b>	<b>FY 26/27</b>	<b>FY 27/28</b>
<b>Operating Result</b>				
Capital contribution (non-cash)				
External Costs				
Internal Costs				
Depreciation				
Other				
<b>Total Operating Result</b>	NIL	NIL	NIL	NIL
<b>Funding Source</b>	NIL	NIL	NIL	NIL
<b>CAPEX</b>				
CAPEX				
External				
Internal				
Other				
<b>Total CAPEX</b>	NIL	NIL	NIL	NIL
<b>Funding Source</b>	NIL	NIL	NIL	NIL

## CONCLUSION AND NEXT STEPS

22. It is recommended that Council endorse the draft DCP for the purposes of public exhibition, and that the Chief Executive Officer be authorised to prepare the legal drafting of the draft Planning Agreement in accordance with the Letter of Offer provided for the purpose of public exhibition.
23. If endorsed, the draft DCP and draft Planning Agreement will be publicly exhibited concurrently with the already endorsed Planning Proposal. A further report will be prepared for Council on the outcome of the public exhibition period.

Sameer Jassal  
**Project Officer Land Use**

Michael Rogers  
**Land Use Planning Manager**

David Birds  
**Group Manager, Major Projects and Precincts**

Jennifer Concato  
**Executive Director City Planning and Design**

Gail Connolly  
**Chief Executive Officer**

### **ATTACHMENTS:**

<b>1</b>	Draft Tomola Amendment - Section 8.2.6 Melrose Park - Parramatta DCP 2023 (separately enclosed)	127 Pages
<b>2</b> 	Planning Agreement Letter of Offer - Tomola	
<b>3</b> 	Tomola Planning Proposal	
<b>4</b> 	Tomola Gateway Determination	2 Pages

### REFERENCE MATERIAL

16 November 2023

Chief Executive Officer  
City of Parramatta Council  
PO Box 32  
Parramatta NSW 2124

Dear Sir/Madam

### Revised Planning Agreement Offer

Constant 26 Pty Ltd offers to enter into a Planning Agreement with Council under section 7.4 of the *Environmental Planning and Assessment Act 1979* in connection with the Planning Proposal located at 19 Hope Street, Melrose Park and 69-77 Hughes Ave, Ermington (Council Reference: F2022/00105 - D08530158).

The Planning Proposal proposes the following amendments to the Parramatta Local Environment Plan 2011:

**Table 1: Proposed Amendments to Parramatta Local Environmental Plan 2011**

	Existing	Proposed
<b>Zoning</b>	Part R2 Low Density Residential and IN1 General Industrial	MU1 Mixed Use (Previous B4 Mixed Use) RE1 Public Recreation (limited to public open space areas)
<b>Land reserved for acquisition</b>	-	Amend to include the RE1 zoned land
<b>Height</b>	12m (IN1) 9m (R2)	4 to 14 storeys (Approximately 13m to 48m)
<b>FSR</b>	1:1 (IN1) 0.5:1 (R2)	1.85:1
<b>Non-residential FSR</b>	-	Minimum 1,400sqm

The Planning Proposal was approved by Council to seek a Gateway Determination from the Department of Planning and Environment (DPE) on 14 June 2022. The Planning Proposal was submitted to DPE on 10 August 2023. Gateway Determination was issued by DPE on 5 October 2023.

DocuSign Envelope ID: 51044FC4-2EAC-45A2-86BF-70D5830FE637

Constant 26 Pty Ltd accepts the terms as generally set out in the Council's Planning Agreement template (or as varied by agreement between the Parties) in the following table:

Item	Terms						
<b>Parties</b>	City of Parramatta Council Constant 26 Pty Ltd						
<b>Land</b>	<ul style="list-style-type: none"> <li>• Lot A DP 356298</li> <li>• Lot B DP 356298</li> <li>• Lot D DP 369480</li> <li>• Lot E DP 369480</li> <li>• Lot F DP 369480</li> <li>• Lot G DP 369480</li> </ul>						
<b>Planning Proposal / Development Application</b>	Council Reference: F2022/00105 - D08530158 DPE Reference: PP-2023-1736 Refer to Table 1 for a summary of the Planning Proposal and proposed amendments to the Parramatta Local Environmental Plan 2011						
<b>Monetary Contribution</b>	NIL						
<b>Works</b>	Refer to the proposed Landscape Plan in Appendix 1 which shows the land to be embellished and dedicated to Council for new public open space. This area is approximately 2,673sqm. Landscaping the transmission easement is permissible subject to Ausgrid review of detailed plans, refer to Appendix 2.						
<b>Dedication of Land</b>	Refer to Plan in Appendix 1.						
<b>Works in Kind</b>	It is proposed to offset the cost of embellishing the open space being dedicated to Council, for the purpose of public recreation. <table border="1" data-bbox="620 1469 1209 1749"> <tbody> <tr> <td><b>Proposed Monetary Contribution</b></td> <td>\$21,326.97 per dwelling or \$3,433,642.17</td> </tr> <tr> <td><b>Value of Embellishment/Works in-kind</b></td> <td>\$1,639,859.50 (As stated in Council's email dated 3 November 2023)</td> </tr> <tr> <td><b>Difference</b></td> <td>\$1,793,782.67</td> </tr> </tbody> </table> <p>Note the difference of \$1,793,782.67 to be dedicated to Council as affordable housing. See Other Public Benefits.</p>	<b>Proposed Monetary Contribution</b>	\$21,326.97 per dwelling or \$3,433,642.17	<b>Value of Embellishment/Works in-kind</b>	\$1,639,859.50 (As stated in Council's email dated 3 November 2023)	<b>Difference</b>	\$1,793,782.67
<b>Proposed Monetary Contribution</b>	\$21,326.97 per dwelling or \$3,433,642.17						
<b>Value of Embellishment/Works in-kind</b>	\$1,639,859.50 (As stated in Council's email dated 3 November 2023)						
<b>Difference</b>	\$1,793,782.67						

NLS\NLS\67228044\1

DocuSign Envelope ID: 51044FC4-2EAC-45A2-86BF-70D5830FE637

Item	Terms
<b>Other Public Benefits</b>	<p>Two 2-bedroom affordable housing units with a total of two allocated parking bays will be dedicated to Council. The total value of the affordable housing units' contribution is \$1,800,000.</p> <p>With the above Public Benefit offer, the total Tomola VPA offer exceeds the Proposed Monetary Contribution by \$6,217.33.</p>
<b>Application of section 7.11, 7.12 and 7.24</b>	<p>This letter of offer excludes the application of contributions under section 7.11 and 7.12 of the Act. The Developer will pay Council an Additional Monetary Contribution levied at 1% of the Proposed Cost determined in accordance with section 25J of the Regulations.</p> <p>It is also anticipated that a separate Voluntary Planning Agreement will be prepared with the Department of Planning, Industry and Environment for State Infrastructure Contributions, under Section 7.24 of the Environmental Planning and Assessment Act 1979.</p>
<b>Registration</b>	<p>The terms of the planning agreement relating to registration are accepted.</p>
<b>Dispute Resolution</b>	<p>The terms of the planning agreement relating to dispute resolution are accepted.</p>
<b>Security</b>	<p>Charge over the land to be transferred to Council as security for the offer made in this VPA.</p>
<b>Restrictions on Issue of Certificates</b>	<p>The public benefit will be given to Council concurrent with the issuance of an Occupation Certificate for the final building in the development.</p>
<b>Other Terms</b>	<p>N/A</p>
<b>Costs</b>	<p>Constant 26 Pty Ltd agrees to pay Council's reasonable costs of and incidental to the negotiation, preparation and entering into the agreement, as well as administration and enforcement of the planning agreement in accordance with the terms set out in the template planning agreement.</p>

Yours faithfully

DocuSigned by:  
  
 00F5D9B7FE9D472...

Brian Boyd

Constant 26 Pty Ltd

Appendix 1 – Site Image Public open space concept design

Appendix 2 – Ausgrid Overhead Easement Requirements

NLS\NLS\67228044\1

DocuSign Envelope ID: 51044FC4-2EAC-45A2-86BF-70D5830FE637

**Appendix 1 – Site Image Public open space concept design**

NLS\NLS\67228044\1

Design Envelope ID: 3104FC4-2EAC-4942-88F7-702630F0D07



Buffer/boundary planting



Open space turf area



Lighting to pathways



Bench seating



NOT FOR CONSTRUCTION

© 2021 Site Image (NSW) Pty Ltd. ABN 44 601 302 286 an agent for Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without the written permission of Site Image (NSW) Pty Ltd. Any business, expressed or implied, to use this document for any purpose other than as intended for the form of office within agreement between Site Image (NSW) Pty Ltd and the retaining party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

D: Revised For Comment  
A: For Comment  
Issue: Review Description

JV: NV 08.09.2023  
JV: NV 04.09.2022  
Drawn: Check: Date:

Legend		Proposed Grasses and Groundcovers	Concrete Paving
	Site Boundary		
	Proposed Tree Planting		
	Proposed Shrubs and Accents		



SITE IMAGE  
Landscape Architecture  
Level 1, 3/4 Reginald Street  
Bentley NSW 2155  
Tel: 011 21 8112 9000  
Fax: 011 21 8112 2117  
www.siteimage.com.au

Client: M Projects  
Project: Tomola Site - Melrose Park  
Corner Hughes Ave and Hope Street, Ermington

Drawing Name: Landscape Plan

PRELIMINARY

Scale: Job Number: SS22-4930  
Drawing Number: 001 B  
Issue:

DocuSign Envelope ID: 51044FC4-2EAC-45A2-86BF-70D5830FE637

**Appendix 2 – Ausgrid Overhead Easement Requirements**

NLS\NLS\67228044\1

DocuSign Envelope ID: 51044FC4-2EAC-45A2-86BF-70D5830FE637



Ph: (02) 9553 1857  
Address: Suite 4, 15-17 Forest Rd  
Hurstville NSW 2220  
Postal Address: PO BOX 910  
HURSTVILLE NSW 1481  
ABN: 33160935142

---

9/08/2022

M Projects  
Level 1, 23 Wentworth Street  
Parramatta NSW 2150  
miled@mprojects.com.au

Att: Miled Akle

REF: Melrose Park Development – Tomola – Ausgrid Overhead Easement Requirements:

Dear Miled,

AAPE as an Accredited Service Provider (NSW Trade & Investment Resources & Energy Accreditation Number 3712) have lodged a preliminary inquiry with Ausgrid in order to determine the easement terms of the high voltage power lines located within the development site.

AAPE have received a response from Ausgrid Portfolio Manager – Asset Protection – Transmission Mains, network delivery services (02 9269 7587) – 13/07/2022.

Ausgrid have confirmed works within the Ausgrid transmission easement must be in compliance with ISSC20 – Guideline for the Management of Activities within Electricity Easements and Close to Electricity Infrastructure. Further to this, Ausgrid have advised they are unable to provide formal approval until the development undertakes a more detailed design stage (as apposed to the current preliminary concept plans).

The following uses of land are permitted within the ISSC20 Guideline, which are relevant to the development being assessed (NO refers to network Operator – Ausgrid):

**7.1.2 Domestic activities**

This can include the erection of minor structures such as clothes hoists, playground equipment, non-metallic fences (truck sized gates may be necessary for access to structures), brick barbecues and the like. These shall be subject to a height limitation of:

4.6 metres if not climbable; or

2.5 metres if climbable

Any metallic parts shall be earthed. The NO should reserve the right to remove the structure if and when required.

**7.1.3 Gardening Activities**

These activities involving trees, shrubs or plants which grow to a height not exceeding 3.0 metres.

Note: Any climbable portion of the vegetation shall not be higher than 2.5m.

DocuSign Envelope ID: 51044FC4-2EAC-45A2-86BF-70D5830FE637

Ph: (02) 9553 1857  
Address: Suite 4, 15-17 Forest Rd  
Hurstville NSW 2220  
Postal Address: PO BOX 910  
HURSTVILLE NSW 1481  
ABN: 33160935142

**7.1.5 Mobile plant and equipment operation**

The operation of mobile plant and equipment having a height not exceeding 4.6 metres when fully extended including any load carried. The Workcover Code of Practice *Work near Overhead Powerlines* provides requirements for clearances to be maintained to overhead power lines during operation of plant and equipment.

**7.1.7 The erection of non-climbable flagpoles, weathervanes, signs, and the like:** Subject to a height limitation during operation and maintenance of 4.6 metres and the earthing of metallic parts.

**7.1.8 Public open space areas.**

Where these areas are likely to encourage the flying of kites or model aircraft, signage to prevent this activity shall be installed.

Further details can be found in ISSC20, which should be referred to for a more comprehensive analysis of this space. Based on the correspondence received from Ausgrid and assessment of ISSC20, AAPE can confirm that landscaping the transmission easement is permissible subject to Ausgrid review of details plans and item 7 in the ISSC20. Specific comments to the preliminary plans received are, Heavy Vehicle access must be provided to the transmission towers at all times.

The concept design details a proposed pergola of a height of 3 metres and proposed gym equipment of a height of 2.1 metres. As per the detailed requirements above, this structure would be permitted as per ISSC20 guidelines. In addition to these items, based on a preliminary assessment, it appears the concept plan would be permitted by Ausgrid, as it does not breach ISSC20 requirements.

If you have any questions or inquiries, please don't hesitate to contact me on (02) 9553 1857.

Regards,



Ali Alaouie

Level 3 ASP and Director



# TABLE OF CONTENTS

TABLE OF CONTENTS .....	1
Introduction .....	2
Part 1: Objectives and Intended Outcomes .....	12
Part 2: Explanation of provisions .....	14
Part 3: Justification.....	23
Part 4: Mapping.....	56
Part 5: Community consultation .....	58
Part 6: Project Timeline .....	59
Appendix 1 – Community Engagement Strategy .....	60
Appendix 2 – Engineering Services Due Diligence Report.....	61
Appendix 3 – Survey Plan .....	62
Appendix 4 – Flora & Fauna Report.....	63
Appendix 5 – Preliminary Site Investigation Report .....	64
Appendix 6 – Preliminary Geotechnical Assessment Report.....	65
Appendix 7 – Preliminary Traffic Impact Assessment .....	66
Appendix 8 – Urban Design, Landscaping Report & Proposed LEP Maps .....	67
Appendix 9 – Economic Impact Assessment .....	68
Appendix 10 – Acoustic Advice.....	69
Appendix 11 – Social Impact Assessment .....	70
Appendix 12 – Concept Stormwater Strategy .....	71
Appendix 13 – Hazard Analysis .....	72
Appendix 14 – Site Sustainability Statement .....	73
<b>Appendix 15 – Updated Tomola Drawing Set .....</b>	<b>74</b>

Proponent versions:

No.	Author	Version
1.	Keylan Consulting	December 2020 – Lodged to Council

Council versions:

No.	Author	Version
1.1	City of Parramatta Council	August 2023 - Gateway Submission
1.2	City of Parramatta Council	1 September 2023 – Administrative updates to ensure the Planning Proposal report aligns with the 14 June 2022 endorsed Council resolution.
1.3	City of Parramatta Council	October 2023 – Post Gateway Planning Proposal for Agency Consultation
1.4	City of Parramatta Council	March 2024 – Planning Proposal for Public Exhibition

# Introduction

This Planning Proposal has been prepared in accordance with Section 3.33 of the Environmental Planning and Assessment Act 1979 and the Department of Planning and Environment (DPE) guide, Local Environmental Plan Making Guideline (August 2023)

The subject site consists of 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington. The site encompasses an area of approximately 8,485.8m<sup>2</sup> and is located on the corner of Hope Street and Hughes Avenue at the border of Melrose Park and Ermington.

The Planning Proposal seeks an amendment to *Parramatta Local Environmental Plan 2023* (PLEP 2023) to rezone the site from *R2 Low Density Residential* and *E4 General Industrial* to *MU1 Mixed Use* and *RE1 Public Recreation* and amend the site's maximum building height and floor space ratio (FSR) controls.

Summary of Proposed LEP Amendments		
Provision	Current LEP Provision	Proposed
Zoning	E4 General Industrial R2 Low Density Residential	MU1 Mixed Use & RE1 Public Recreation
FSR	1:1 0.5:1	Overall FSR of 1.85:1 – equates to an FSR of 2.67:1 on MU1 land (no FSR on RE1 land)
Height of buildings	12m 9m	47m (14 storey)

Table 1: Proposed LEP Amendment

The Planning Proposal would facilitate a mixed use development with 1,400m<sup>2</sup> of commercial floor space and approximately 161 residential dwellings. The proposed scheme involves a single U-shaped building that ranges in height from 4 to 14 storeys.

The site is part of the Melrose Park precinct that is undergoing urban renewal. The adjacent Melrose Park North Planning Proposal has been finalised and the rezoning enables the redevelopment of the wider precinct and creation of a new town centre (approximately 5500 dwellings). The nearby Melrose Park South (Holdmark sites) Planning Proposal has also been finalised and the rezoning facilitates approximately 1900 dwellings in the southern precinct.

Having consideration of the approved adjoining planning proposals to the north and south, the site would be out of character with future surrounding development and would result in an isolated industrial site. This Planning Proposal provides the opportunity to redevelop the site for mixed uses in keeping with the emerging character of the Melrose Park Precinct.

The Planning Proposal is accompanied by technical reports and studies that assess the relevant environmental, social and economic issues to the proposed amendments to the

Parramatta Local Environmental Plan 2023 (PLEP 2023), including the following:

- Urban Design and Landscape Report and proposed LEP maps
- Preliminary Traffic Impact Assessment
- Economic Impact Assessment
- Community and Engagement Strategy
- Preliminary Geotechnical Assessment Report
- Acoustic Advice
- Engineering Services Due Diligence Report
- Preliminary Site Investigation Report
- Social Impact Assessment
- Concept Stormwater Strategy
- Flora and Fauna Report
- Site Survey

## Site Description

The site has an area of approximately 8,485.8m<sup>2</sup> and has frontages of 104 metres to Hope Street and 79 metres to Hughes Avenue. The site comprises six land parcels and is known as 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington.

Address	Lot	Existing Structures
19 Hope Street	Lot G DP 369480	<ul style="list-style-type: none"> <li>• a two-storey commercial building (former Tomola Motors Building)</li> <li>• a large power transmission line and stanchion that occupies and runs through the northeast portion of the site</li> </ul>
69 Hughes Street	Lot A DP 356298	<ul style="list-style-type: none"> <li>• vacant</li> </ul>
71 Hughes Street	Lot B DP 356298	<ul style="list-style-type: none"> <li>• two storey attached dual occupancy</li> </ul>
73 Hughes Street	Lot D DP 369480	<ul style="list-style-type: none"> <li>• two storey dwelling and a detached garage</li> </ul>
75 Hughes Street	Lot E DP 369480	<ul style="list-style-type: none"> <li>• two storey dwelling and a detached garage</li> </ul>
77 Hughes Street	Lot F DP 369480	<ul style="list-style-type: none"> <li>• single storey dwelling and a detached garage and shed</li> </ul>

Table 2: Site Details



Figure 1: Aerial (Source: NearMap)

There is minimal vegetation located on the site with low shrubbery on the Tomola portion of the site and a few mature trees located within the residential properties fronting Hughes Avenue.

A large Ausgrid high voltage power transmission line, stanchion and associated easement occupies the site and runs through the north-east portion of the site as shown below.

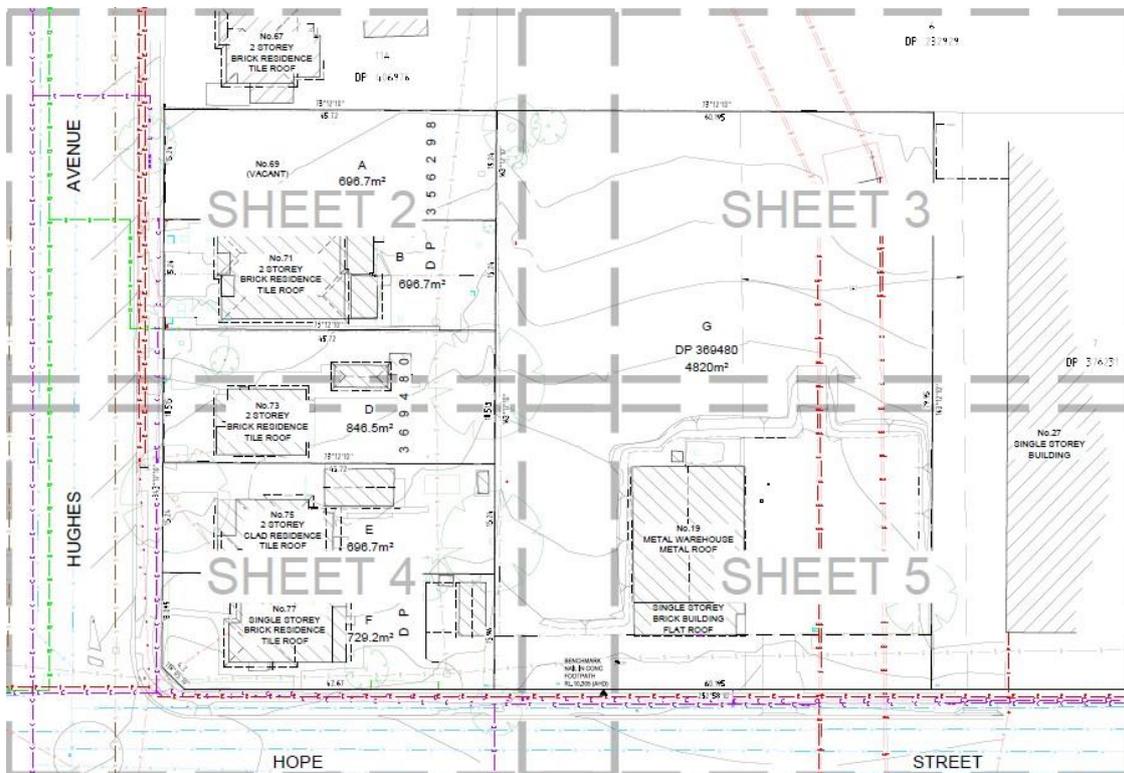


Figure 2: Extract of site survey (Source: LTS)



Figure 3: Former Tomola Motors Site at 19 Hope Street (Source: Google)



Figure 4: 73, 75 and 77 Hughes Avenue (Source: Google)



Figure 5: 69 and 71 Hughes Avenue (Source: Google)

## Locality

The Site is within close proximity to Victoria Road, identified as a key strategic transport corridor between Parramatta CBD and Sydney CBD. The Parramatta CBD is approximately 5.8km west from the Site.

The immediate locality is characterised as low density residential development to the west with the remainder of the Melrose Park Industrial Area (including Melrose Park North and South) to the north, south and east. As discussed throughout this report, Melrose Park North and South are subject to Planning Proposals which will see the precinct transition into a high density mixed use development.

The Site is located approximately 2.2km from Meadowbank and West Ryde Railway Stations and approximately 1.2km from the nearest village/small village on Betty Cuthbert Avenue in Ermington. The West Ryde Town Centre is also located close by (approximately 2.2km), which offers a larger mix of retail, commercial and community uses.

Sydney Olympic Park and its associated open space, sport, recreation and entertainment facilities are easily accessed by car from the Site (15 minute drive), however, currently less accessible by public transport. Parramatta is approximately a 15 minute drive from the Site and is accessible within 30 minutes via bus from a stop located at the northwest corner of the Hope Street and Hughes Avenue intersection.

## Melrose Park Precinct

The Melrose Park Precinct is an identified growth precinct in Council's strategic policies and will support significant housing development over the next twenty years. The entire precinct is 55 hectares in size, and is divided into Northern and Southern sub precincts. The site is situated within the north precinct.

Council's consideration of land within the Melrose Park Precinct has resulted in a number of significant Council resolutions and Department of Planning and Environment (DPE) determinations to guide the urban renewal transformation of the Precinct. These determinations include the following:

- On 11 July 2016, Council adopted the *Employment Lands Strategy* subject to conditions including a Structure Plan Principles Document for Melrose Park
- On 22 August 2016, Council resolved that Melrose Park be subject to 2 Structure Plans – Northern and Southern Structure Plans subject to minor amendments.
- In December 2016, Council adopted the *Northern Structure Plan for Melrose Park*. The Structure plan intends to act as a guide for future development in the precinct and is based on the recommendations of Council's *Employment Land Strategy* (adopted by Council in July 2016), which identifies the Melrose Park precinct as being suitable for redevelopment for non-industrial uses.
- On 16 December 2019 Council endorsed the Southern Structure Plan for Melrose Park.



Figure 6: The Northern and Southern Precinct for Melrose Park (Source: City of Parramatta)

### Melrose Park North Planning Proposal (Sekisui & Deicorp, EGT, 8 Wharf Road)

The Melrose Park North Planning Proposal applies to land at 8 Wharf Road, Melrose Park (Wharf Road Site), 38-42, 44 & 44A Wharf Road and 27-29 Hughes Avenue, Melrose Park (Deicorp & Sekisui Site), and 15-19 Hughes Avenue and 655 Victoria Road, Ermington (Ermington Gospel Trust Site). The Planning Proposal covers a significant part of the Melrose Park North precinct.

These sites are owned by three separate landowners and their respective planning proposals were combined to form the Melrose Park North Planning Proposal. The largest landholding is owned by Sekisui & Deicorp, which prior to June 2023 was owned by Payce.

The Melrose Park North Planning Proposal will facilitate a total of 5,500 dwellings. Most of the new dwellings (5000) will be delivered on the Sekisui & Deicorp site.

The Planning Proposal was finalised by the Department of Planning on 24 June 2022 as Amendment 59 to the Parramatta LEP 2011 (now Parramatta LEP 2023). The amendment contains a deferred commence clause. The site-specific Development Control Plan will then be included within the Melrose Park section of the Parramatta DCP 2023 (DCP 2023).

The Sekisui & Deicorp Local Planning Agreement was executed in July 2023. The Planning Agreement is valued at approximately \$96M. The Sekisui/Deicorp Planning Agreement includes the following items:

- Land dedication for public open space and its embellishment.
- Social and community benefits including affordable rental housing, smart cities,

Ermington Community Hub and a shuttle bus service; and

- Road infrastructure benefits.

Council officers are currently negotiating Planning Agreements for the remaining two sites within the Planning Proposal area at 8 Wharf Road and 15-19 Hughes Avenue & 655 Victoria Road.

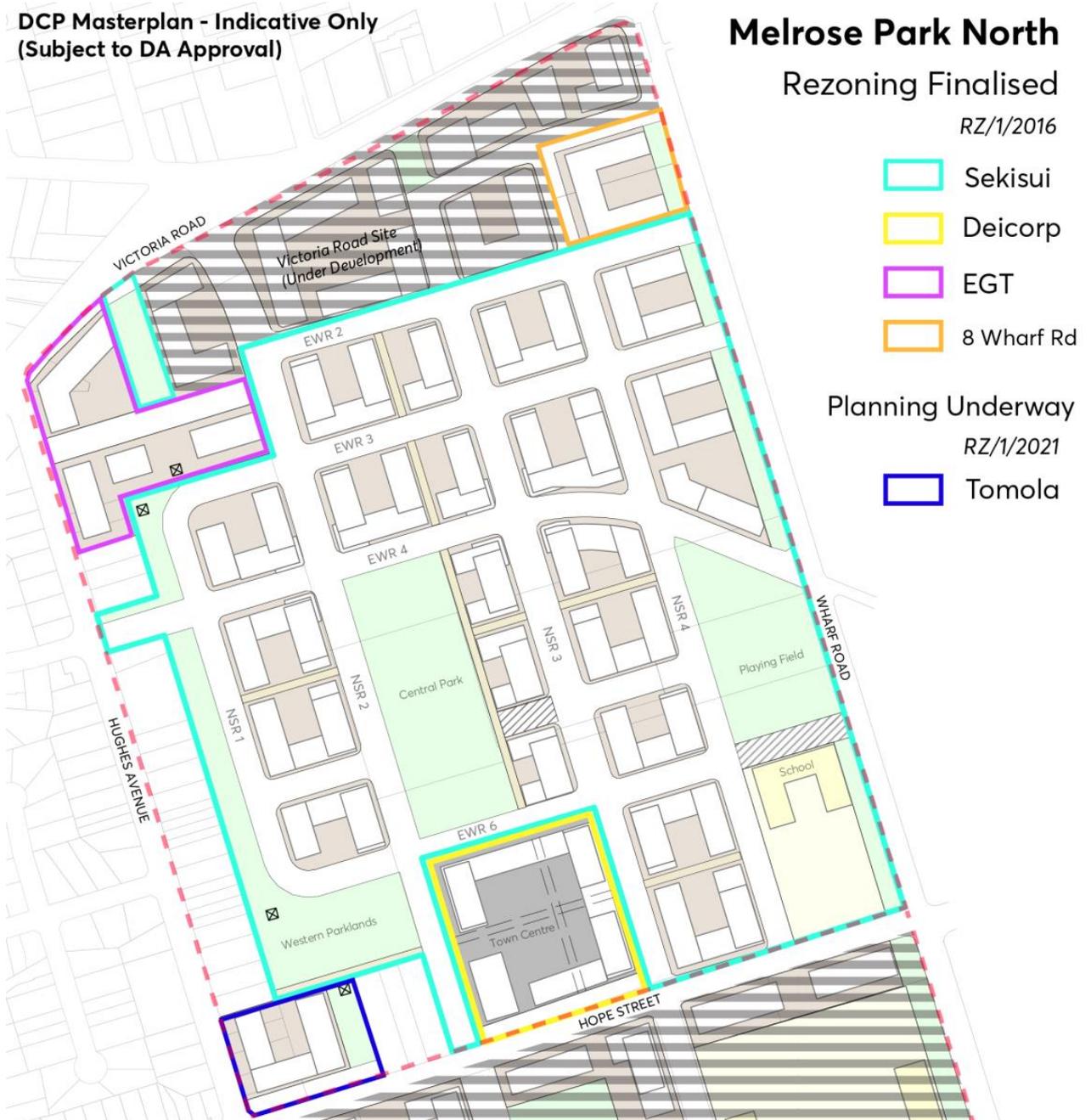


Figure 7: The site in the context of the wider Melrose Park Precinct (Source: City of Parramatta)

### Melrose Park South Planning Proposal (Holdmark)

This Proposal applies to two separate sites owned by Holdmark at 112 Wharf Road and 30 & 32 Waratah Street, Melrose Park (East site) and 82 Hughes Avenue, Ermington (West Site).

The Holdmark Melrose Park South Planning Proposal will facilitate a total of 1,925 total dwellings (835 units on the East site, 1090 units on the West site).

The Holdmark Planning Proposal was finalised by the Department of Planning on 16 December 2022 as Amendment 67 to the Parramatta LEP 2011 (now Parramatta LEP 2023). The new planning controls came into effect on 30 June 2023. A site-specific DCP for Melrose Park will be included within the Parramatta DCP 2023.

The Holdmark Planning Agreement was executed in early 2023 and has been registered on title. The Planning Agreement has a value of approximately \$37 million. The Planning Agreement includes the following items:

- Affordable rental housing (24 units with a minimum of 34 bedrooms) dedicated to Council in perpetuity (\$16,169,411).
- Dedication of land at no cost to Council and embellishment of land to be used as public open space (\$21,077,414).



Figure 8: Land subject to the Melrose Park South Planning Proposal (Source: City of Parramatta)

## Constraints and Opportunities

An Opportunities and Constraints analysis has been undertaken to inform the development of the planning proposal. This work informed the proposed landuses, and indicative built form and landscape outcomes as illustrated in the Urban Design Report and Landscape Concept Plan (Appendix 8). Opportunities include:

- the site identified in strategic policies as appropriate for non-industrial uses:
  - adopted Northern Structure Plan for Melrose Park
  - adopted Employment Land Strategy
- avoids site isolation from other industrial sites
- adjacent to Melrose Park North and South Precincts, complimenting the emerging character of the area
- opportunity to connect and integrate a previously closed-off industrial site with the existing residential neighbourhood
- opportunity for urban renewal to activate the Site and broader Precinct that is complementary to the existing residential land uses directly adjoining the Site and surrounding context
- single ownership to ensure certainty of delivery
- the traffic generation can be accommodated in the Stage 1A Melrose Park Precinct TMAP
- remediation of existing industrial land
- located within close proximity of existing and future public transport, noting Stage 2 of the Parramatta Light Rail will front the site on Hope Street
- addition commercial use to improve the vitality and mix of land uses in the local area
- increased housing availability for general residential
- increase in short and long term jobs
- it comprises the following public benefits:
  - through site links connecting residents to Melrose Park Town Centre and the wider Precinct
  - activates Hope Street and Hughes Avenue
  - transitions in built form to the adjoining low density residential properties
  - provides new dwellings and jobs adjacent to public transport Site Constraints
- existing easement for Ausgrid High Voltage transmission lines
- approximately one-third of the site cannot be built upon due to the high voltage power lines and the 18m required setback from the lines
- the Light Rail Line on Hope Street requires a setback of 9m plus an additional 3m to the building alignment
- need for a proposed 6m setback from the Hughes Avenue front boundary to align the proposal with the existing houses in Hughes Avenue

- the above substantial setbacks restrict the building footprint to a relatively small area of the site and consequently a range of building heights are required to resolve the built form in relation to the surrounding proposed built form
- existing low density residential development to the north and west of the Site
- noise impacts generated by the proposal on adjoining residential, industrial and commercial properties during and post construction
- potential overshadowing of properties in a southern direction of the site including the park and residential developments
- need to provide an appropriate transition from the Melrose Park North Precinct and the 'Bulla Cream Dairy' (heritage item no. I64) under the PLEP 2023.

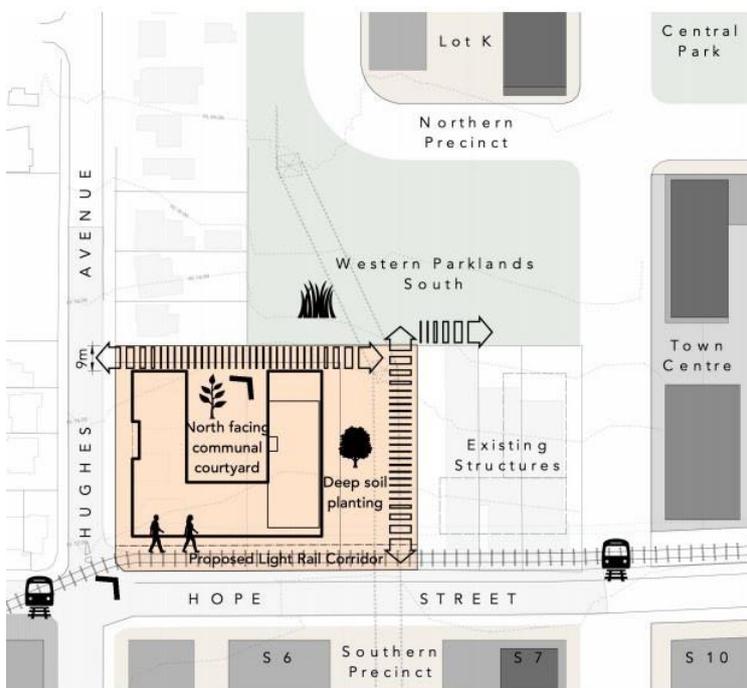


Figure 9: Site Opportunities (Source: Olsson)



Figure 10: Site Constraints (Source: Olsson)

# Part 1: Objectives and Intended Outcomes

The primary objective of the Planning Proposal is to facilitate a mixed used development comprising 1,400m<sup>2</sup> of commercial floor space and approximately 161 residential apartments. The proposed scheme involves a single U-shaped building that ranges in height from 4 to 14 storeys.

Further objectives of the Planning Proposal are to:

- support a Greater Parramatta (and the metropolitan area) through the urban renewal of the Site to create a vibrant mixed use
- provide high quality development accommodating a mixture of dwelling configurations
- provide commercial floor space to provide for new jobs and increased economic activity
- integrate into the surrounding community through sound planning and environmental considerations.

The intended outcomes of the Proposal are to:

- increase housing diversity and availability of housing within the precinct
- provide employment opportunities suitable to the wider Melrose Park precinct
- complement and support the redevelopment of the Melrose Park Precinct
- improve pedestrian connectivity through the provision of through site links
- complement and support centres in West Ryde, Meadowbank and Ermington
- improve the public domain

Revitalise isolated industrial site	<ul style="list-style-type: none"> <li>• Redevelopment of an existing industrial site that will become isolated considering the emerging character of Melrose Park</li> </ul>
Contribute to urban renewal of Melrose Park	<ul style="list-style-type: none"> <li>• Support the urban renewal of Melrose Park through redevelopment of the site</li> <li>• Facilitate active and vibrant spaces through an appropriate mix of uses and placing development in the right places</li> <li>• Contributing to the development of an active frontage on Hope Street and Hughes Avenue</li> </ul>
Create employment opportunities	<ul style="list-style-type: none"> <li>• Additional employment generating floor space contributes to job creation both within the site and the wider local economy</li> <li>• Future residents will utilise and support the neighbouring Melrose Park Town Centre</li> </ul>
Contribute to housing targets	<p>Contribute to the housing supply targets for the City of Parramatta LGA, consistent with the Greater Sydney Region Plan, Central City District Plan and the Parramatta LSPS</p>
Better connectivity	<ul style="list-style-type: none"> <li>• Future Paramatta Light Rail Stage 2 located on Hope Street</li> <li>• Victoria Road Transport Corridor located approximately 500m north of the site</li> <li>• Encourage active transport to Melrose Park Town Centre</li> <li>• Potential north-south link connecting the western parklands to Hope St</li> <li>• Potential east-west link linking western parklands to the southern end of Hughes Av</li> </ul>
Appropriate built form	<ul style="list-style-type: none"> <li>• Provision of well design buildings maintaining a low FSR across the site</li> <li>• Appropriate building height transition from the high density Melrose Park Town Centre to the east and low density residential on the western side of Hughes Avenue</li> <li>• Active Hope St and Hughes Avenue while respective neighbouring heritage items</li> </ul>
Minimise environmental impacts	<ul style="list-style-type: none"> <li>• Protect and respect adjoining residential development and future open space</li> <li>• Respect surrounding low density residential development by minimising overshadowing through stepped, slender buildings</li> </ul>
Public domain improvements	<p>Contribute to streetscape upgrades, including street tree planting that will reinforce and contribute to the character of the locality</p>

Figure 11: Key Planning Principles for the Site

## Part 2: Explanation of provisions

The Planning Proposal seeks to amend the *Parramatta Local Environmental Plan 2023* (PLEP 2023) for land at 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington (the Site).

The primary purpose of this Proposal is to rezone the Site from *E4 General Industrial* zone and *R2 Low Density Residential* zone to *R4 High density residential* and *RE1 Public Recreation* to facilitate the urban renewal of the Site. The Proposal seeks more appropriate built form controls as detailed in the table below.

Summary of Proposed LEP Amendments		
Provision	Current LEP Provision	Proposed
Zoning	E4 General Industrial R2 Low Density Residential	MU1 Mixed Use & RE1 Public Recreation
FSR	1:1 0.5:1	Overall FSR of 1.85:1 – equates to an FSR of 2.67:1 on MU1 land (no FSR on RE1 land)
Height of buildings	12m 9m	47m (14 storey)

Table 3: Summary of proposed LEP amendment

Furthermore, the Proposal seeks to insert a site-specific provision in PLEP 2023 and amend the Additional Local Provisions map to ensure a minimum of 1,400m<sup>2</sup> of non-residential floor space is to be provided within the site to serve the local retail and commercial.

The Proposal also seeks to amend the Land Reservation Acquisition map to reflect the areas of open space to be dedicated to Council.

It is proposed that the Site be identified in the Melrose Park chapter of the DCP.

### Parramatta Local Environmental Plan 2023

The PLEP 2023 sets out the legislative framework for land use and development in the LGA through the application of land use zones and development controls. This Planning Proposal seeks to rezone the site and increase building height and FSR controls for the site by way of an amendment to the PLEP 2023.

In summary, the Planning Proposal seeks to:

- rezone the site to MU1 Mixed Use and RE1 Public Recreation
- amend the height of building control to a maximum of 14 storeys (48 metres)
- amend the FSR control to 2.67:1 on MU1 land (equivalent to an overall FSR of 1.85:1)
- insert a site specific provision to require 1,400m<sup>2</sup> of non-residential floor space

- amend the Land Reservation Acquisition map to reflect the open space to be dedicated
- Land Zoning

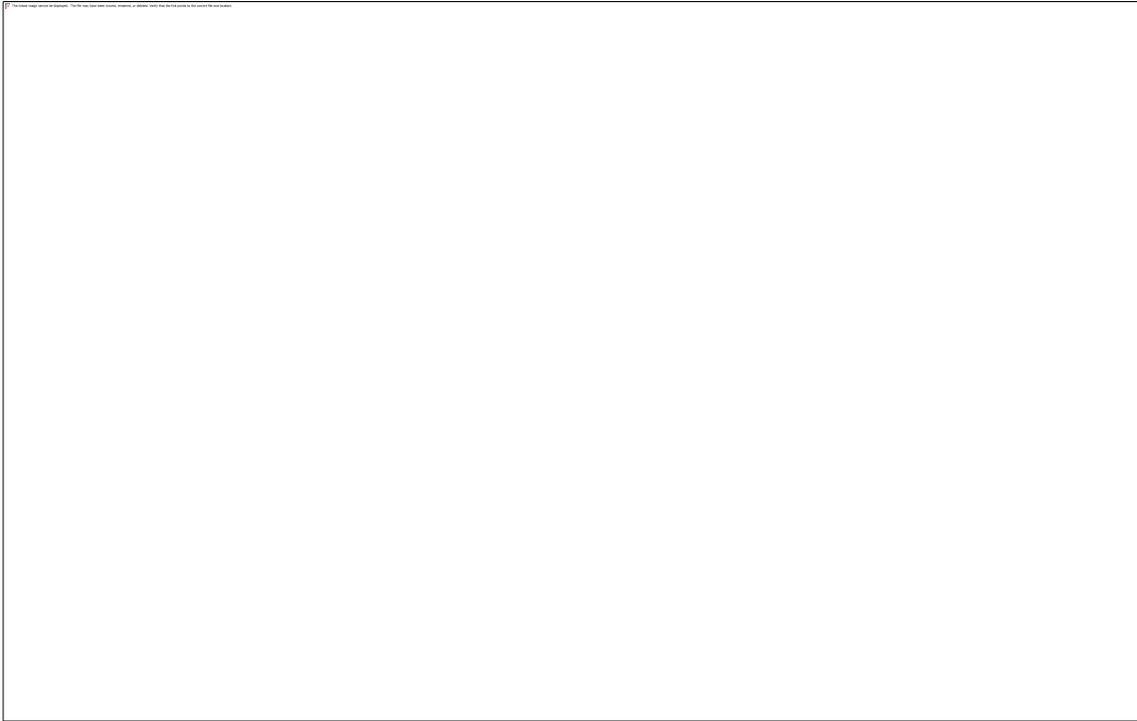


Figure 12: Existing Zoning (Source: PLEP 2023)

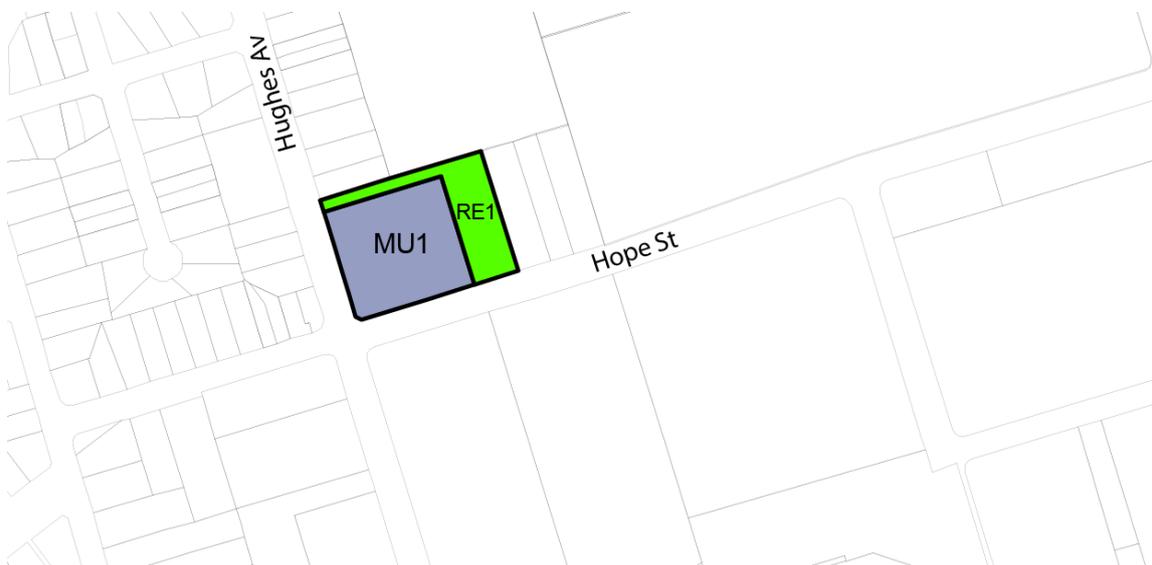


Figure 13: Proposed Zoning for Tomola site

The site is currently zoned R2 Low Density Residential and E4 General Industrial. These zones are inconsistent with the immediately adjoining sites that to the north and east that are zoned R4 High Density Residential (part of the Melrose Park North Planning Proposal).

The proposed MU1 Mixed Use and RE1 Public Recreation zones are therefore consistent with the emerging character of the area.

Height of Buildings

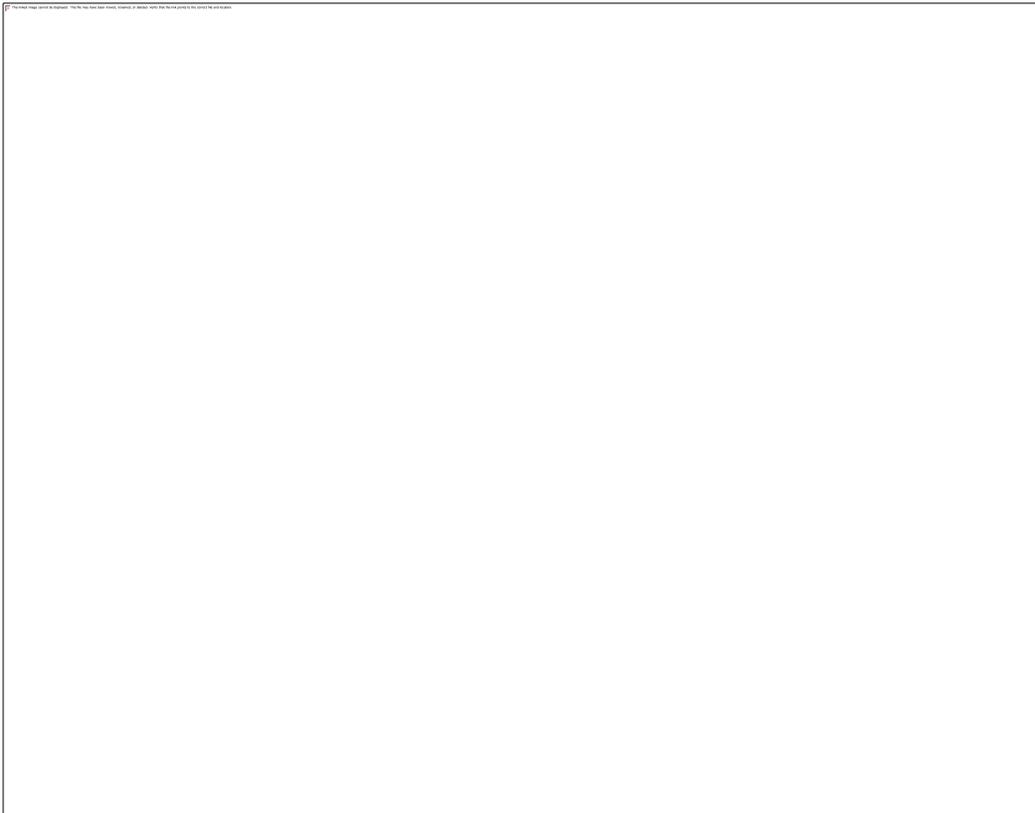


Figure 14: Existing Height of Buildings controls (Source PLEP 2023)

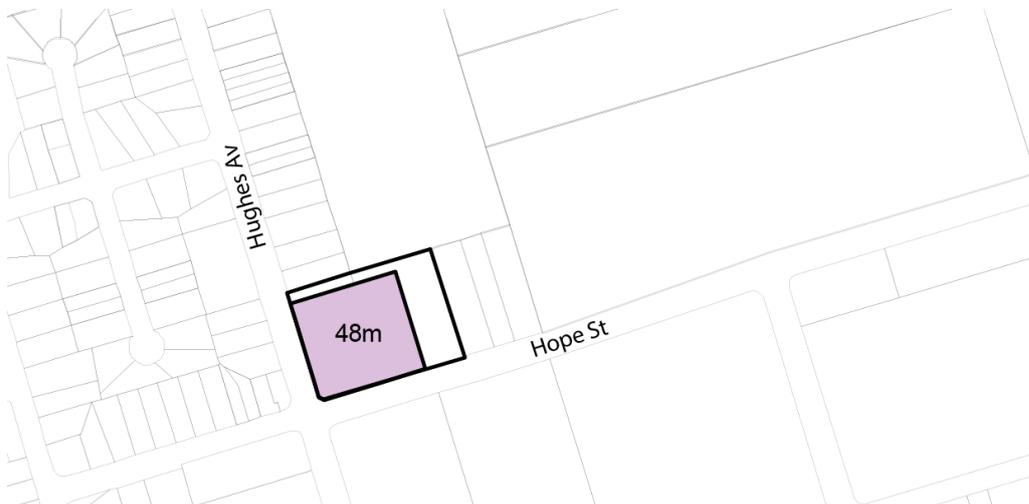


Figure 15: Proposed Height of Building controls for Tomola site

The site currently has a maximum building height of 12m on the E4 portion of the site and 9m on the R2 portion of the site.

The adjoining sites (part of the Melrose Park North Planning Proposal) to the north and east have maximum building heights of 49 metres and 60 metres respectively. The nearby Melrose Park South sites have maximum building heights of 34m, 45m and 77m.

The proposed maximum building height of 48 metres (14 storeys) for the MU1 zoned area of site will provide an appropriate transition in height from the taller buildings located to the east and the low density residential to the west.

Floor Space Ratio

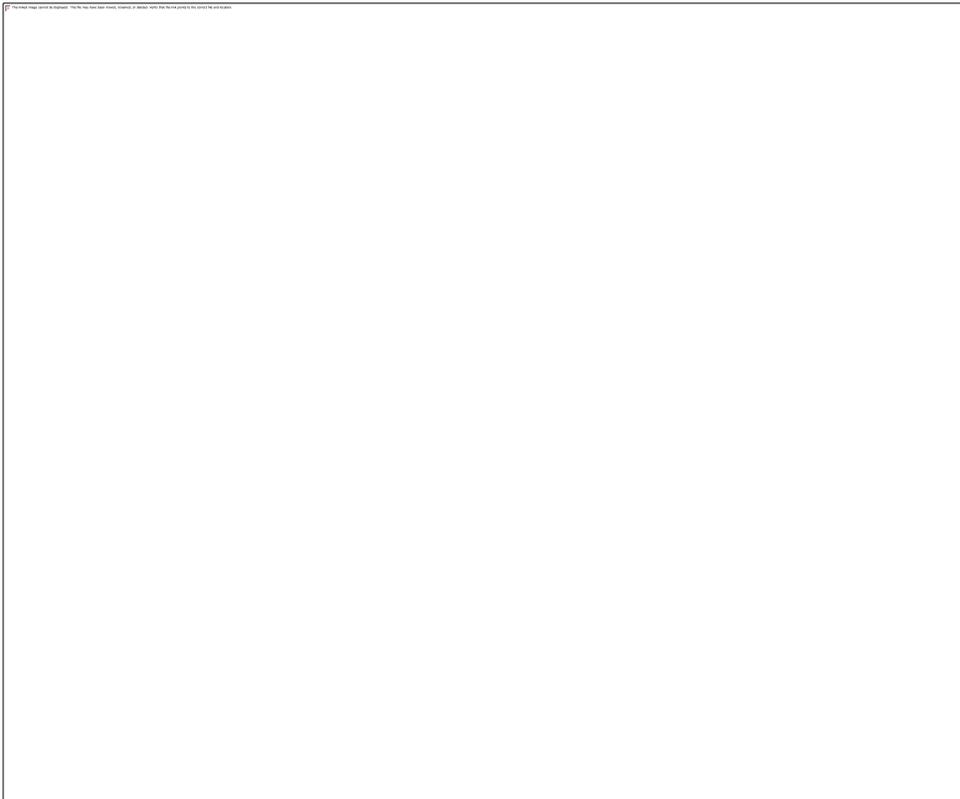


Figure 16: Existing Floor Space Ratio controls (Source: PLEP 2023)

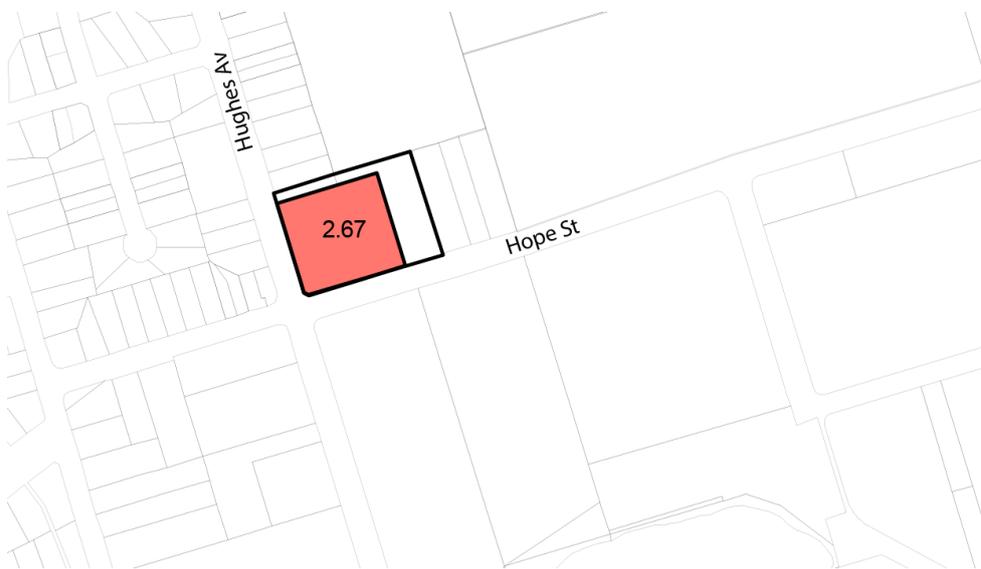


Figure 17: Proposed Floor Space Ratio controls for Tomola site

The site has an existing maximum floor space ratio (FSR) of 1:1 on the E4 portion of the site and 0.5:1 on the R2 portion of the site under the PLEP 2023. The adjoining sites (part of the Melrose Park North Planning Proposal) to the north and east have an overall maximum FSR of 1.85:1. The nearby Melrose Park South sites have an overall maximum FSR of 1.79:1.

The proposed overall FSR for the site is 1.85:1, which translates to an FSR of 2.67:1 on the MU1 land and a FSR of 0 on the RE1 land.

The future detailed design of the site will ensure that an appropriate transition of bulk and scale is provided to the adjoining low density residential developments.

### Heritage

The site does not comprise any heritage items and is not located within a heritage conservation area under the PLEP 2023.

The site is located opposite to a local heritage item known as the Bulla Cream Dairy item (164). The heritage item is located on intersection of Hope Street and Hughes Avenue (refer to the figure below).

The Planning Proposal is unlikely to have any adverse impacts on the heritage item as the item is shielded behind dense vegetation along both the Hope Street and Hughes Avenue frontages. Furthermore, the proposal will provide an appropriate transition in height towards the heritage item to minimise overshadowing impacts. Any heritage impacts will be addressed as part of a future detailed development application.



Figure 18: Heritage Map Extract (Source: PLEP 2023)

### Other Provisions

The Proposal seeks to insert a site-specific provision in PLEP 2023 and amend the Additional Local Provisions map to ensure a minimum of 1,400m<sup>2</sup> of non-residential floor space is to be provided within the site to serve the local retail and commercial.

The Proposal also seeks to amend the Land Reservation Acquisition map to reflect the areas of open space to be dedicated to Council.

The site is identified as being Class 5 Acid Sulfate Soils. The PLEP 2023 requires that development consent be obtained for works within land identified as comprising Class 5 Acid Sulfate Soils where works are within 500m of adjacent Classes 1, 2, 3 or 4 land below the 5m AHD and may lower the watertable below 1m AHD.

Any impacts to acid sulfate soils as a result of the proposal will be addressed as part of a future detailed development application.

## Paramatta Development Control Plan 2023

The Parramatta Development Control Plan 2023 (DCP 2023) applies to land within the Parramatta LGA. The Melrose Park chapter of DCP 2023 establishes the built form controls for the precinct. The DCP will be amended to include site specific controls for Tomola.

## Voluntarily Planning Agreement

The Planning Proposal includes a Letter of Offer to enter into a Voluntary Planning Agreement (VPA) with Council. The draft VPA proposes to dedicate 2600m<sup>2</sup> of open space (including pedestrian links) and one affordable housing unit to Council.

The site is also located adjacent to the Melrose Park North Precinct, which is subject to an executed \$96 million Planning Agreement.

## Rationale for Proposed Land Use Controls

This Planning Proposal and supporting reports make the case for change to rezone the Site from *E4 General Industrial* zone and *R2 Low Density Residential* zone to *MU1 Mixed Use* zone and *RE1 Public Recreation*.

The consideration of appropriate zones and key built form controls (height and FSR) follows an evidence-based approach which investigated in detail the economic, environmental (including traffic and transport) and social impacts of a new mixed use development of the Site.

A planning justification and rationale for these proposed land use zones and key built form controls is detailed below.

## Proposed Land Uses

The proposed zone for the Site is considered the most appropriate to deliver the desired future outcomes. The Site is surrounded by residential zones to the west and industrial zones to the east. However, the land surrounding the site is subject to recent Planning Proposals and is summarised as:

- north and east of the site – Melrose Park North seeks to rezone the site to E1 Local Centre, R4 High Density Residential and RE1 Public Recreation.
- land to the south of the site – Melrose Park South seeks to rezone the site to R4 High Density Residential and RE1 Public Recreation

Council's Local Strategic Planning Statement (LSPS) identifies Melrose Park as:

- a Growth Precinct and is forecast to provide 6,330 of those dwellings and 2,600 jobs
- under investigation for alternate uses reflecting the changing demand within the precinct

The Parramatta Economic Lands Strategy (2016) and the Employment Land Strategy Review and Update (2020) also identifies Melrose Park for urban renewal.

This Planning Proposal is consistent with the LSPS as it provides:

- up to 82 additional dwellings
- additional jobs
- the site with opportunity for urban renewal



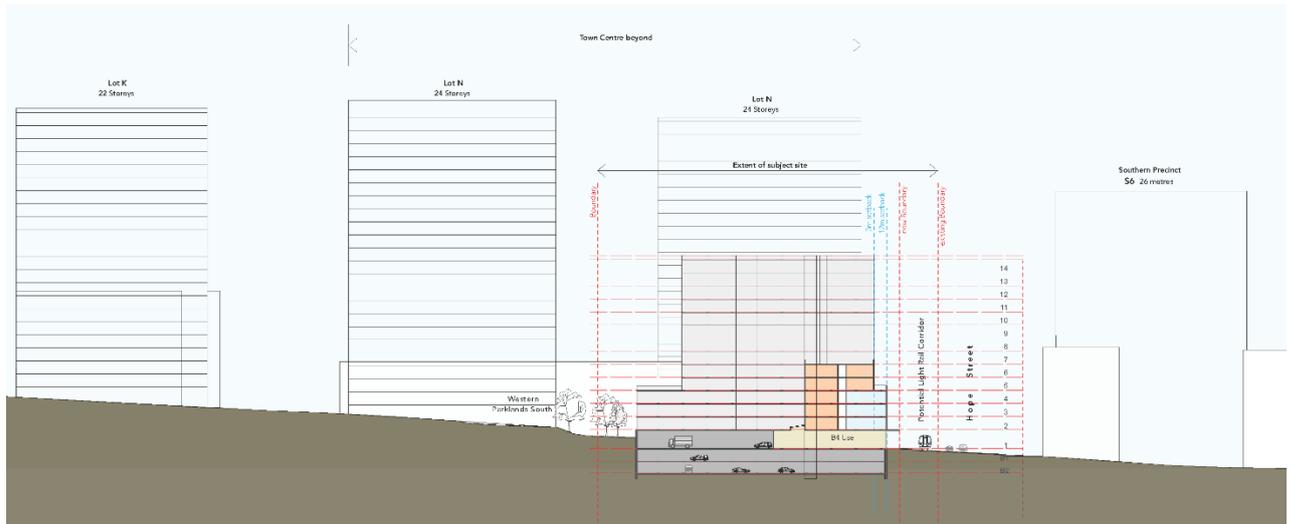


Figure 20: Section through site and Melrose Park North Precinct (Source: Olsson)

This proposal comprises building heights ranging from 4 storeys to 14 storeys. The tallest portion of the development is cited in the eastern section of the site. This ensures overshadowing and visual impacts of the proposal is minimised.

The proposal provides an appropriate building height transition from the adjoining 24 storey buildings in Melrose Park Town Centre down to the 2 storey buildings on the western side of Hughes Avenue. The proposed 14 storey building creates a gradual transition of heights which visually ties the Site into the overall built form of the Melrose Park Masterplan.

The 6 storey built form at the corner of Hope Street and Hughes Avenue creates a prominent entry to the Melrose Park North Precinct. The built form is also sympathetic to the 2 storey dwelling houses in Hughes Avenue. The proposed 9m setback from Hughes Avenue is an appropriate built form outcome as it minimises the scale of the proposal from the dwelling houses.

This proposal seeks an overall FSR of 1.85:1 across the site, which translates to an FSR of 2.67:1 on the MU1 land (no FSR on RE1 land). This FSR is appropriate for the desired built form outcomes given the size and opportunities to provide significant areas of deep soil zone and landscaping (refer to indicative Figures below).

The building height and density are justified in this location based on the following:

#### Distribution of Building Height

- building heights range between 4 and 14 storeys with the tallest building located towards the eastern section of the site. This portion of the site is adjacent to the Melrose Park North Planning Proposal which comprises a building height of 70 metres to 90 metres (approximately 21 storeys to 27 storeys) immediately adjoining the site.
- the low rise portion of the site is proposed on the northern, southern and western portions of the site to assist with the sensitive transition of the site to the neighbouring residential developments.
- the taller portion of the building comprises a slender form, rather than a lower and bulkier building. This will minimise impacts on surrounding residential properties in terms of overshadowing, overlooking, bulk and scale visual impacts

- the proposal will avoid a monotonous height across the site resulting in a poor urban design outcome

### Building Orientation

- to ensure a variety of apartment typologies are proposed the buildings are orientated north-south and east-west
- the proposal addresses Hughes Avenue and Hope Street, encouraging passive surveillance and active frontages

### Solar Access and Overshadowing Impacts

- the proposal reduces the impacts of overshadowing on residential properties
- the proposed built form ensures the proposal achieves at least 2 hours of direct solar access in mid-winter as per the ADG



Figure 21: Indicative built form of the site and surrounds from the northwest (Source: Olsson)

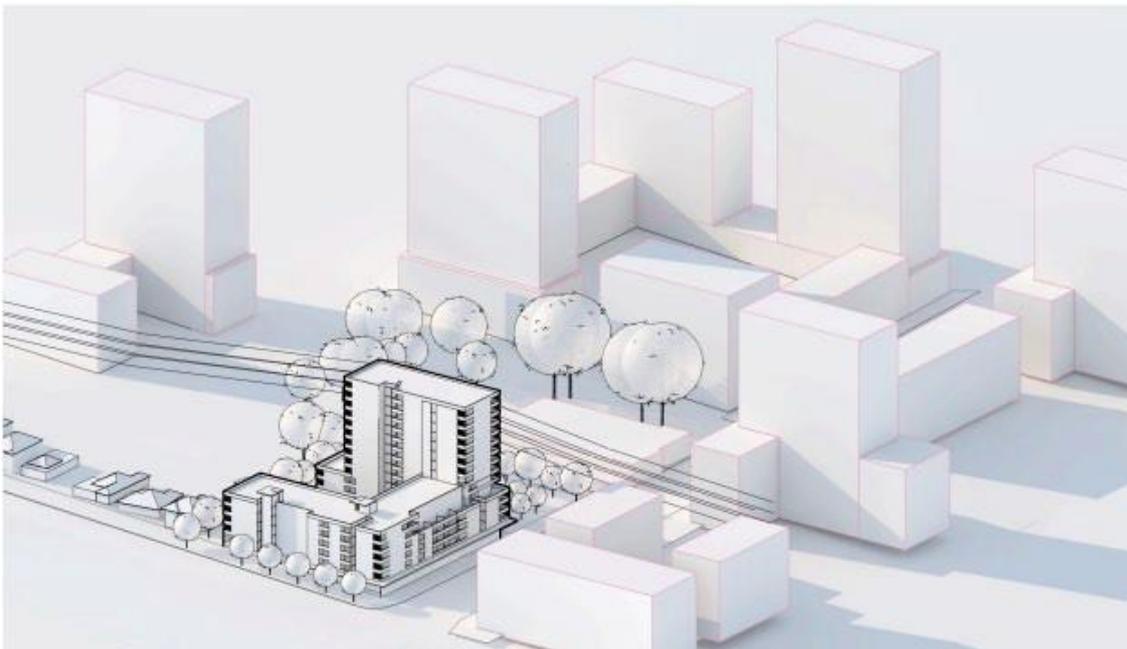


Figure 22: Indicative built form of the site and surrounds from the southwest (Source: Olsson)

# Part 3: Justification

## Section A: Need for a Planning Proposal

**Is the Planning Proposal a result of an endorsed local strategic planning statement, strategic study or report?**

This Planning Proposal is the result of several strategic studies and reports and is supported by a wide range of technical reports. These technical reports include traffic and transport, urban design and environmental reports. The key studies that underpin the Site's transition are the economic studies undertaken by the AEC Group and the adopted LSPS and ELS prepared by Council.

**Is the Planning Proposal the best means of achieving the objectives or intended outcomes, or is there a better way?**

This Planning Proposal is the best and most appropriate means of achieving the desired future redevelopment of the Site. As demonstrated in this Proposal, the current zoning and built form controls do not allow the Site to be redeveloped in a manner that will deliver a sustainable urban framework, built form outcomes or compliment the new Melrose Park Town Centre.

The current zoning and landuse controls sterilises the Site for future mixed use and residential outcomes to meet the future population demands of the LGA and broader region.

The existing planning controls do not adequately address the required landuses to deliver new mixed high-density uses or the required built form controls to allow for redevelopment of the site.

Accordingly, the proposed rezoning of the Site through an amendment to the PLEP 2023 is considered the most appropriate method to deliver the desired outcomes.

## Section B: Relationship to Strategic Planning Framework

Will the Planning Proposal give effect to the objectives and actions of the applicable regional, or district plan or strategy (including any exhibited draft plans or strategies)?

### Greater Sydney Region Plan

The *Greater Sydney Region Plan* (Region Plan) outlines how Greater Sydney will manage growth and change in the context of social, economic and environmental matters. It sets the vision and strategy for Greater Sydney, to be implemented at a local level through District Plans.

The Planning Proposal is consistent with the Region Plan as detailed in the Table below.

Direction	Response
A City supported by infrastructure	The Planning Proposal strongly aligns with this Direction by providing: <ul style="list-style-type: none"> <li>the provision of residential and non-residential floor space in a location that can utilise existing and future transport infrastructure</li> <li>new housing in close proximity to the future Melrose Park Town Centre encouraging walkable neighbourhoods</li> </ul>
A collaborative City	The Planning Proposal strongly aligns with this Direction. Council will work with the applicant, TfNSW and other state agencies
A City for people	The Planning Proposal strongly aligns with this Direction by providing: <ul style="list-style-type: none"> <li>housing in close proximity to the future Melrose Park Town Centre encouraging walkable neighbourhoods</li> <li>new commercial space</li> </ul>
Housing in the City	The Planning Proposal strongly aligns with this Direction as follows: <ul style="list-style-type: none"> <li>provides high density housing</li> <li>increases housing diversity</li> <li>satisfies the criteria for 'urban renewal' given its location on a regional transport link, proximity to strategic centres with connections to walking and cycling routes</li> </ul>

Direction	Response
A City of great places	<p>The Planning Proposal strongly aligns with this Direction as it:</p> <ul style="list-style-type: none"> <li>• contributes to and compliments the urban renewal of the Melrose Park Precinct</li> <li>• contributes to the character of the area by activating the ground floor with commercial uses and further activation Hope Street and Hughes Avenue providing a mix of land uses and activities that provide opportunities for social connection in walkable, human scale, fine grain neighbourhoods</li> <li>• is sensitive to heritage items within the vicinity of the site</li> </ul>
A well-connected City	<p>The Planning Proposal strongly aligns with this Direction as follows:</p> <ul style="list-style-type: none"> <li>• the Site is within walking distance of Victoria Road Major Transport Corridor and can be totally integrated with the Parramatta Light Rail Stage 2 Corridor</li> <li>• contributes to the key outcome of population within 30 minute public transport access to the metropolitan cluster of Parramatta</li> <li>• improves pedestrian connectivity through the provision of through site links</li> </ul>
Jobs and skills for the City	<p>The Planning Proposal strongly aligns with this Direction as it:</p> <ul style="list-style-type: none"> <li>• provides additional commercial floor space and employment opportunities in close proximity to the future Melrose Park Town Centre</li> <li>• provides additional residential floor space in close proximity to the future Melrose Park Town Centre facilitating people to live and work nearby</li> <li>• supports the continued economic development and diversity of Greater Parramatta</li> </ul>
A City in its landscape	<p>The Planning Proposal strongly aligns with this Direction as it:</p> <ul style="list-style-type: none"> <li>• provides for an appropriate development within an urban area</li> <li>• is a significant increase in deep soil and landscaping areas on site</li> </ul>

Direction	Response
An efficient City	<p>The Planning Proposal aligns with this Direction as it:</p> <ul style="list-style-type: none"> <li>• is in close proximity to major transport corridors (Victoria Road and future Parramatta Light Rail)</li> <li>• is consistent with the current TMAP with regards to the efficient operation of surrounding roads and reduced reliance on private transportation</li> <li>• supports investment into neighbouring Strategic and Local Centres providing additional jobs and labour force development within these centres</li> <li>• will incorporate ESD principles to reduce waste and energy usage at detailed design stage</li> </ul>
A resilient City	<p>The Planning Proposal aligns with this Direction as redevelopment of the</p> <p>Site can be designed to adapt to the impacts of urban and natural hazards.</p>

Table 4: Alignment with the Greater Sydney Region Plan

### Central City District Plan

The *Central City District Plan* (District Plan) reinforces the key planning directions and objectives outlined in the Greater Sydney Region Plan.

The District Plan provides broad strategic directions to support the Central City. The District Plan consists of key planning priorities and actions for achieving a liveable, productive and sustainable future for the Central City.

The District Plan places a significant focus on productivity, including the recognition of the importance of *Greater Parramatta and the Olympic Peninsula Area* (GPOP).

The proposal is consistent with the key planning priorities of the District Plan as it promotes new housing and commercial space close to the Melrose Park Town Centre which is in an accessible location with easy access to the Metropolitan Centre of Parramatta.

The District Plan places emphasis on the management of industrial and urban services land and classifies this land as either review or retain.

Importantly, the site is located within a '**Review and Manage**' region, allowing for flexibility in the use of undeveloped industrial land. The review is required to consider the current level of industrial and urban services land supply, the changing nature of industries and the transformation in the sector due to the impact of changing demand for land.

Critically, the District Plan also recognises that conversion of industrial land to other uses may be appropriate as detailed below:

**"In limited cases, conversion to other uses may be appropriate. In some locations, such as GPOP, specifically Camellia, Rydalmere and Silverwater, the safeguarding of industrial activities will be a starting objective. The Greater Sydney Commission will collaborate with other State agencies and councils and seek input from stakeholders as part of the review. This approach applies to the Cumberland, The Hills and City of Parramatta local government areas and the established areas of Blacktown Local Government Area".**

The District Plan identifies that opportunities for urban renewal need to be considered by location and by capacity of existing and proposed infrastructure. In older more established parts of Greater Sydney, urban renewal opportunities may exist around regional transport and strategic centres where links for walking and cycling promote a healthy lifestyle and contribute to liveability.

Where there is significant investment in mass transit corridors, both existing and proposed, urban renewal may best be investigated in key nodes along the corridor. Corridor investigations can provide a longer term strategic context while the development of precincts within the corridor is sequenced over time.

Locational criteria for urban renewal investigation opportunities including alignment with investment in regional and district infrastructure which acknowledges the catalytic impacts of infrastructure such as Sydney Metro Northwest, NorthConnex, WestConnex and Parramatta Light Rail.

Further, the District Plan also states several locational criteria for urban renewal investigation opportunities to ensure urban renewal is appropriately serviced by infrastructure. The locational criteria are as follows:

- alignment with investment in regional and district infrastructure which acknowledges the catalytic impacts of infrastructure such as Sydney Metro Northwest, NorthConnex, WestConnex and Parramatta Light Rail
- other possible future investments such as Sydney Metro West and opportunities created by enhancements to existing infrastructure such as upgrades to schools, open space including sporting facilities and transport
- accessibility to jobs, noting that over half of Greater **Sydney's** jobs are generated in metropolitan and strategic centres
- accessibility to regional transport, noting that high frequency transport services can create efficient connections to local transport services and expand the catchment area of people who can access regional transport
- catchment areas within walking distance (10 minutes) of centres with rail, light rail or regional bus transport
- areas of high social housing concentration where there is good access to services, transport and jobs
- distance from special land uses such as ports and airports

The urban renewal of the site is consistent with the above criteria as the site is located nearby to the Victoria Road corridor, is adjacent to the planned Parramatta Light Rail Stage 2 and is highly accessible to several strategic centres. The site is currently able to access the metropolitan centre of Parramatta by bus in 30 minutes.

The Planning Proposal comprehensively demonstrates the case for transition of the site from residential and industrial zones to MU1 Mixed Use and RE1 Public Recreation zones. The Planning Proposal is supported by an evidence-based analysis to deliver:

- redevelopment of an isolated industrial site which reflects the emerging future character of Melrose Park
- increased residential and employment floorspace within close proximity to existing and future transportation services
- a catalyst project for the transition of employment lands that directly adjoin residential uses
- an innovative solution for a heavily constrained redundant industrial site

The key planning priorities of the *Central City District Plan* relevant to the proposal as summarised below.

Planning Priority	Comment
Infrastructure and collaboration	
C1: Planning for a city supported by infrastructure	<p>The proposal will increase the quantum of residential and non-residential floorspace contributing to the mix of uses and development of the wider Melrose Park Precinct.</p> <p>The site is in close proximity to the Victoria Road Transport Corridor and future Parramatta Light Rail giving residents and workers access to variety transport services.</p>
C2: Working through collaboration	Council will continue ongoing consultation with the applicant and state agencies as part of the process.
Liveability	
C5: Providing housing supply, choice and affordability, with access to jobs, services and public transport	<p>This Planning Proposal will facilitate 161 new high quality dwellings within the Site.</p> <p>The dwellings will range from 1 to 3 bedrooms providing a diverse unit mix and contributing towards the wider housing market.</p> <p>The site has a strong strategic location within close proximity to the future Melrose Park Town Centre. Further, the site is within the GOPP indicating good access to jobs.</p> <p>The urban renewal of the site is consistent with the relevant criteria within the District Plan as the site</p> <ul style="list-style-type: none"> <li>• is located close to the Victoria Road corridor</li> <li>• aligns with the planned Parramatta Light Rail Stage 2</li> <li>• is highly accessible to several strategic centres</li> <li>• is accessible to the metropolitan centre of Parramatta by bus in 30 minutes</li> </ul>

Planning Priority	Comment
C6: Creating and renewing great places and local centres, and respecting the District's heritage	<p>Melrose Park was historically characterised by industrial uses; however it is now identified for urban renewal. The proposal will contribute to and compliment the high density mixed use precinct.</p> <p>The proposal responds to the Bulla Cream Dairy heritage item (I64) by providing an appropriate transition in building height from the high density Melrose Park Town Centre to the east, ensuring a suitable interface.</p>
Productivity	
C7: Growing a stronger and more competitive Greater Parramatta	<p>The Site is located nearby to Greater Parramatta and the proposal will strengthen the area by providing additional housing and employment generating floor space that is easily accessible to Parramatta.</p>
C8: Delivering a more connected and competitive GPOP Economic Corridor	<p>The Site will benefit from and contribute to the development of a more connected GPOP Economic Corridor.</p>
C9: Delivering integrated land use and transport planning and a 30- minute city	<p>The proposal promotes integrated land use planning by providing housing in close proximity to the proposed Melrose Park Town Centre creating a walkable neighbourhood.</p> <p>Further, the site is located in a strategic position nearby to the metropolitan centre of Parramatta.</p> <p>As part of the 30-minute city vision it is aimed that people will be able to access their nearest strategic centre and metropolitan centre in 30 minutes by public transport.</p> <p>The site is currently able to access Parramatta CBD by bus in roughly 30-40 minutes.</p>
C10: Growing investment, business opportunities and jobs in strategic centres	<p>This proposal will support investment into and development of neighbouring Strategic centres, supporting job creating and labour force development</p>

Planning Priority	Comment
	within these centres.
C11 Maximising opportunities to attract advanced manufacturing and innovation in industrial and urban services land	<p>The proposal was developed in response to Action 49 which tasked Council with reviewing and managing its industrial and urban service land. This process was undertaken through the <i>Parramatta Employment Lands Strategy 2016</i>.</p> <p>The strategy identified that the key industries within Melrose Park were looking to leave and that the precinct is ideal for urban renewal. The urban renewal of Melrose Park, including the site, will still facilitate new employment through the development of a new town centre.</p>
Sustainability	
C15. Protecting and enhancing bushland, biodiversity and scenic and cultural landscapes	<p>The Site is not identified on the Natural Resources – Biodiversity Map, nor the Natural Resources – Riparian Land and Resources Map in the PLEP 2023. Therefore, no adverse biodiversity impacts are anticipated.</p> <p>Notwithstanding, the proposal will provide significant landscaping within the site, which will positively contribute to the biodiversity within the site.</p>
C16: Increasing urban tree canopy cover and delivering Green Grid connections	<p>The proposal seeks to increase the deep soil zones and landscaped area on the site as detailed in the Landscape Concept Plan (Appendix 8).</p>
C17: Delivering high quality open space	<p>The Planning Proposal provides a high quality north facing area of communal open space. In addition, the proposal facilitates increase permeability from Hope Street to the Western Parklands South.</p>
C19: Reducing carbon emissions and managing energy, water and waste efficiently	<p>Energy efficiency and sustainable measures will be incorporated to ensure compliance with BASIX and resultingly reduce the carbon footprint of the development.</p>

Planning Priority	Comment
C20: Adapting to the impacts of urban and natural hazards and climate change	Measures to reduce waste and energy usage will be incorporated at detailed design at later stages.

Table 5: Consideration of key planning priorities of the Central District Plan

Is the planning proposal consistent with a council LSPS that has been endorsed by the Planning Secretary or GCC, or another endorsed local strategy or strategic plan?

The Planning Proposal is also assessed against a number of Council's strategies and plans as discussed in this report including the LSPS, Community Strategic Plan and the Employment Lands Strategy.

### Parramatta 2038 Community Strategic Plan

The *Parramatta 2038 Community Strategic Plan* is a 25 year Plan for the City of Parramatta. The Plan contains 6 strategic objectives and formalises several big and transformational ideas for Parramatta and Western Sydney.

Parramatta is the second fastest growing LGA in NSW, growing at 3% per annum. The Plan identifies ways in which the City will manage this growth and maintain its liveability, including the plan to provide an additional 50,000 jobs by 2038.

The Planning Proposal will support these goals through the provision of an appropriate mix of residential and non-residential uses located adjacent to the Melrose Park Precinct with future public transport, shops and community facilities in close proximity. The proposal will help to activate the street with commercial uses on the ground floor. The development will also allow for the concentration of housing around transport nodes and contribute towards dwelling targets for NSW.

### City of Parramatta Local Strategic Planning Statement

The LSPS predicts Parramatta will require 87,900 more dwellings by 2036 and be home to 198,000 more people. Melrose Park is identified as a Growth Precinct and is forecast to provide 6,330 of those dwellings and 2,600 jobs. The proposed development will help achieve these targets.

The LSPS identifies the strategic direction for the LGAs industrial areas as either 'metropolitan significant', 'strategic employment' or 'under investigation'.

Melrose Park including the site has been categorised 'under investigation' for alternate uses, reflecting the changing demand within the precinct. This reflects the *Parramatta Economic Lands Strategy* (2016) and the *Employment Land Strategy Review and Update* (2020) which also identify Melrose Park for urban renewal.

Further, Melrose Park is identified as a growth precinct and a proposed local centre. The site is partially located within the Melrose Park Growth Precinct and in very close proximity to the proposed local centre.

The LSPS provides several Planning Priorities that are of particular relevance to the Proposal and these are addressed in the table below.

Planning Priority	Comment
Local Planning Priorities	
P1: Expand Parramatta's economic role as the Central City of Greater Sydney	The Site is located nearby to Greater Parramatta and the proposal will strengthen the area by providing additional housing and additional employment generating floor space that is easily accessible to Parramatta.
P2: Grow Parramatta as a Smart City	Smart City initiatives, including technological innovation and improved liveability and sustainability will be incorporated at detailed design at later stages.
P3: Advocate for improved public transport connectivity to Parramatta CBD from the surrounding district	The Site is located in close proximity to the Victoria Road Transport Corridor and future Parramatta Light Rail on Hope Street. Future residents and workers will have access to a variety transport services, providing connectivity to and from Parramatta CBD.
P4: Focus housing and employment growth in the GOP and Strategic Centres; as well as stage housing release consistent with the Parramatta Local Housing Strategy	The proposal will provide additional residential and employment generating floorspace within the GOP and in close proximity to the Sydney Olympic Park strategic centre. The site is also located within the Melrose Park Growth Precinct.
P5: Preserve and enhance the low- scale character and identity of suburban Parramatta outside of the GOP area and Epping Strategic Centre	The proposal will provide an appropriate transition from the future taller buildings within Melrose Park North and South Precincts to the lower-scale suburban character on the western side of Hughes Avenue.

Planning Priority	Comment
P6: Provide for community infrastructure and recreation opportunities	<p>Community infrastructure and recreation opportunities will be provided within the wider Melrose Park Precinct.</p> <p>Notwithstanding, the proposal will provide increased permeability between Hope Street and the Western Parklands South via a through site link.</p>
Liveability Planning Priorities	
P7: Provide for a diversity of housing types and sizes to meet community needs into the future	<p>This Planning Proposal will facilitate approximately 161 new high quality dwellings within the Site.</p> <p>The dwellings will range from 1 to 3 bedrooms providing a diverse unit mix, contributing towards the wider housing market.</p>
P8: Incentivise affordable rental housing delivery and provide for permanent affordable housing	<p>Affordable housing is not proposed. Notwithstanding, the proposal includes a diverse unit mix providing, contributing to the availability of housing in the local area.</p>
P9: Enhance Parramatta's heritage and cultural assets to maintain our authentic identity and deliver infrastructure to meet community needs	<p>Heritage item I64, the Bulla Cream Dairy, is located at the opposite corner of the Hope Street and Hughes Avenue intersection. The proposal will provide an appropriate transition from the future taller buildings within Melrose Park to Hughes Avenue, ensuring a suitable interface within this heritage item is provided.</p>

Planning Priority	Comment
<p>P10: Improve active walking and cycling infrastructure and access to public and shared transport</p>	<p>The proposal will increase the quantum of both residential and non-residential floorspace for a site that is within close proximity to the Victoria Road Transport Corridor and future Parramatta Light Rail, giving residents and workers access to variety transport services.</p> <p>The Planning Proposal promotes integrated land use planning by providing housing within close proximity of the future Melrose Park Town Centre creating a walkable neighbourhood.</p> <p>The proposal includes a north-south through site link, which improved permeability between Hope Street and the Western Parklands South, thereby improving active walking and cycling infrastructure within the locality.</p>
<p>Productivity Planning Priorities</p>	
<p>P11: Build the capacity of the Parramatta CBD, Strategic Centres, and Employment Lands to be strong, competitive and productive</p>	<p>As discussed, the proposal will provide additional residential and non-residential floorspace in a strategic location with good access to existing and future public transport. The proposal will therefore support and positively contribute to the development of Parramatta CBD, the GOP and neighbouring strategic centres.</p>
<p>P12: Retain and enhance Local Urban Service Hubs for small industries, local services and last-mile freight and logistics</p>	<p>The site is not identified as a Local Urban Service Hub.</p>
<p>Sustainability Planning Priorities</p>	
<p>P13: Protect and improve the health and swimmability of the Parramatta River, its waterways and</p>	<p>The proposal includes large areas of landscaping and deep soil planting, ensuring the site is permeable limiting runoff.</p>

Planning Priority	Comment
catchment	
P14: Protect and enhance our trees and green infrastructure to improve liveability and ecological health	The proposal seeks to increase the deep soil and landscaped areas within the site as detailed in the Landscape Concept Plan (Appendix 8).
P15: Reduce emissions and manage energy, water, and waste efficiently to create better buildings and precincts and solve city planning challenges	<p>Energy efficiency and sustainable measures will be incorporated within the detailed design to ensure compliance with BASIX and resultingly reduce the carbon footprint of the development.</p> <p>Measures to reduce waste and energy usage will be incorporated at detailed design at later stages.</p>

Table 6: Consistency with LSPS Planning Priorities

### Parramatta Employment Lands Strategy 2016

The ELS provides a consolidated set of land use planning actions and recommendations to guide the future of Parramatta's 21 Employment Lands Precincts.

The recommends that given size and significance of the Melrose Park Precinct, and also the changing nature of the pharmaceuticals industry, that a Structure Plan be prepared for Melrose Park, which considers future uses in the precinct and opportunities for urban renewal, including space for smaller biotech firms and also specialised research infrastructure.

Council adopted the *Parramatta Employment Land Strategy Review and Update* in July 2020. The update is to be read in conjunction with the ELS. In relation to the North Precinct, the update highlights the planning work undertaken to date on the Melrose Park North Planning Proposal and states the strategic direction and zone type for the growth precinct as a new mixed use commercial & residential area.

The ELS 2016 identifies 11 Actions that have been developed to guide the future of employment lands. The Planning Proposal is consistent with the relevant Actions and Directions of the ELS as detailed in the table below.

Action	Direction	Comment
A1 – Protect Strategically Important Employment Lands Precincts	Protect strategically important employment lands precincts that provide industrial activities linked into broader metropolitan and global markets and supply chains and those serving the local population catchment area through the provision of urban services.	<p>The Proposal is consistent with this Direction.</p> <p>The Site is not considered to be located within a strategically important employment or industrial precinct considering its existing or future employment potential, location to existing markets and provision of urban services.</p> <p>The AEC report outlines the changing face of the existing industrial uses on the Site and makes the case for change to a mixed uses development with specific allocation for new commercial employment and retail areas.</p>

Action	Direction	Comment
A2 - Allow for a net reduction (10-15%) of existing employment lands	Allow for a net reduction of 10- 15% of existing zoned industrial/employment lands over the long term, going from 665 hectares down to 565-598 hectares.	The Proposal is consistent with this Direction. The Site accounts for only very minor portion of existing industrial / employment land in the Parramatta LGA. As per the findings of the AEC reports, the changing nature of the pharmaceutical industry and the rezoning of approximately 25 ha of industrial land at Melrose Park to a mixed use zoning to include employment opportunities for a minimum of 15,000m <sup>2</sup> of commercial and 15,000m <sup>2</sup> of retail space is well within the proposed net reduction of 10-15% of existing industrial / employment lands in the Parramatta LGA.
A3 - Rezoning to zones that facilitate higher employment densities	When considering rezoning of industrial zoned lands, rezoning to B5 Business Development, B6 Enterprise Corridor or B7 Business Park must first be considered to facilitate higher employment densities and an increased range of services and economic activities, rather than zones that permit residential uses. This includes consideration of office/service based employment to meet the additional 51,640 jobs forecast for the Parramatta LGA by 2041.	The Proposal is consistent with this Direction.  Consideration of the proposed B5, B6 and B7 zones has been undertaken as detailed below.  The proposed MU1 Mixed Use and RE1 zones are the most appropriate to deliver housing and employment outcomes.

Action	Direction	Comment
A4 - Facilitate renewal of isolated industrial precincts	Facilitate the rezoning of smaller, isolated industrial precincts that are wholly surrounded by residential development and are no longer viable to alternate, complementary uses.	The Proposal is consistent with this Direction.  The Site is surrounded by mixed uses including low density residential uses. The site will become isolated from other industrial sites if it is not rezoned.
A5 - Use of light industrial zone to facilitate increased range of employment uses	Facilitate an increased amount of light industrial zoned land, to provide for an increase in the range of high employment uses, including offices.	Not applicable.
A6 - Prepare Structure Plans for Key Employment Precincts which are undergoing economic change	Prepare Structure Plans for key employment lands precincts, including Camellia/Rosehill, Rydalmere, South Granville/Chester Hill and Melrose Park, which are undergoing economic change, restructuring of key industries and are of significant scale and size to support urban renewal and increased employment densities.	The Proposal is consistent with this Direction.  The Structure Plan was prepared to support the Melrose Park North Precinct consistent with the Structure Plan principles, Directions and Actions in the ELS. This Structure Plan remains relevant to the proposal.
A7 - Prepare Structure Plans for Key Employment Precincts located on key arterials	Prepare Structure Plans for key employment lands precincts which are located on key arterials on Parramatta Road and Woodville Road and need significant urban renewal.	Not applicable.

Action	Direction	Comment
A8 - Structure Plan precincts will not result in a decrease to employment density	Prepare Structure Plans for key employment lands precincts which are located on key arterials on Structure Plan precincts will not result in a decrease to the employment density within the precinct as identified in the Precinct recommendations to ensure that the resulting land use outcomes at the very least will not reduce existing employment levels. This will ensure that future development will continue to contribute towards Metropolitan and Sub-Regional employment targets.	<p>The Proposal is consistent with this Direction.</p> <p>The Melrose Park North Precinct is supported by the Northern Structure Plan as adopted by Council as part of a 2 part structure plan process for the Melrose Park Precinct. While not specifically located within the Melrose Park North Precinct, the site immediately adjoins it.</p> <p>The Northern Structure Plan nominates the location of the new Town Centre in close proximity to the site facilitating a walkable neighbourhood.</p>
A9 - Investigate potential for business park around UWS	Investigate the potential for a business park around the University of Western Sydney at Rydalmere linked to the specialisations of the University.	Not applicable.
A10 - Advocate to State Government for infrastructure improvements	Advocate to State Government for infrastructure improvements which will facilitate improved <b>access to Council's</b> employment lands, including for freight and employees.	The site is located adjacent to the future Parramatta Light Rail Stage 2.
A11 - Proposed rezoning must be supported by an Economic	Proposed rezoning of industrial land must be supported by an Economic Impact Study, which as a minimum, addresses the following	<p>The Proposal is consistent with this Direction.</p> <p>This Planning Proposal is supported by a</p>

Action	Direction	Comment
Impact Study	Industrial Lands Strategic Assessment Checklist	comprehensive and evidence based Economic analysis including the following reports prepared by the AEC Group (Appendix 9).

Table 7: Response to the actions within the ELS

### Local Housing Strategy

The Council's Local Housing Strategy provides guidance about when and where future housing growth will occur in the LGA. The Local Housing Strategy is consistent with the Greater Sydney Region Plan and the Central District Plan.

The relevant key objectives of the Local Housing Strategy to the Proposal include:

**"Staged precinct release in line with infrastructure delivery (e.g. Sydney Metro West and the Parramatta Light Rail Stage 2 or equivalent projects) which are at early planning or business case stages are key to unlocking further capacity."**

The Local Housing Strategy nominates Melrose Park North and South as growth precincts. The site is located immediately adjacent to these sites and the Parramatta Light Rail Stage 2 line. As discussed throughout this Planning Proposal, the proposal will achieve additional jobs, housing and will facilitate urban renewal.

**Is the Planning Proposal consistent with applicable State Environmental Planning Policies?**

### SEPP (Biodiversity and Conservation)

The Proposal is fully land-based and is located just north of the foreshore area of the Parramatta River under the deemed SEPP as shown in the figure below. The Site does not adjoin the Harbour and will not affect any foreshore access or natural systems. There are provisions within SEPP which outline principles within the wider catchment and waterway area. The Proposal is consistent with these principles.

Given the proposed building height for the Site, the future development will be visible from parts of the Harbour/waterway. However, such impact will not be immediate and will be within an urban backdrop. Given the separation from the Harbour waters the design aspects can be considered at development stage.

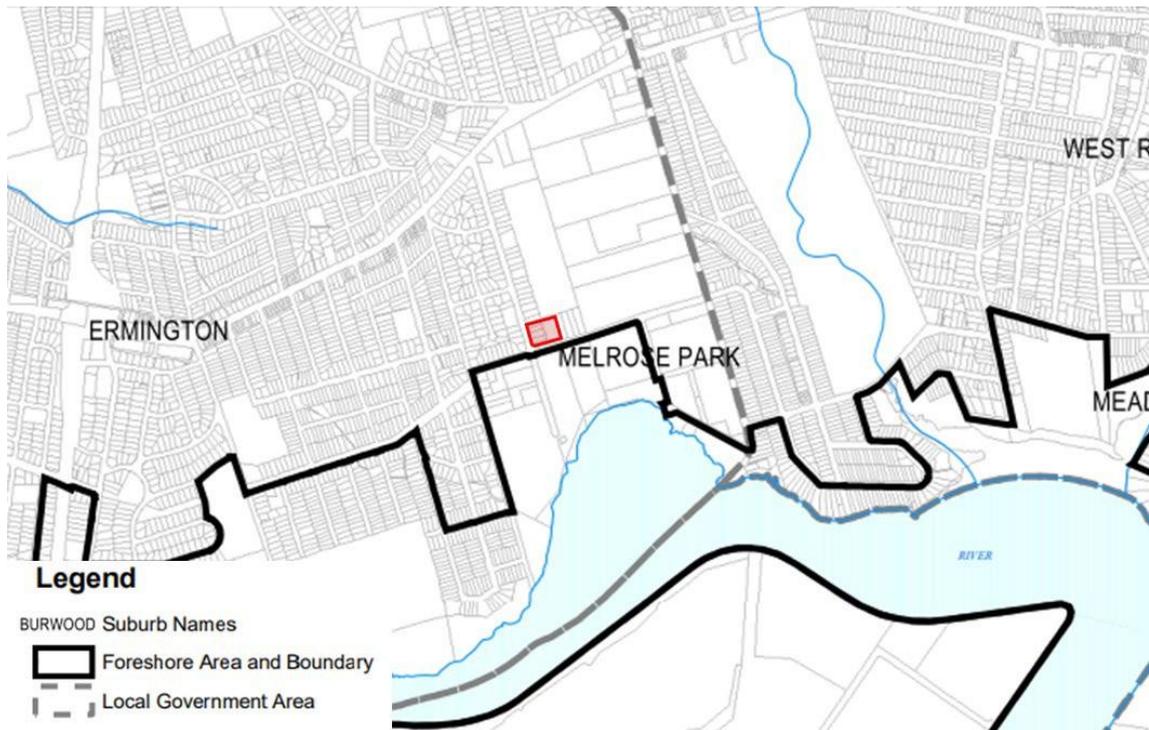


Figure 23: Foreshores and Waterways Map (SEPP)

The Site is not zoned open space and is not identified as having biodiversity significance. As outlined in the Flora and Fauna report by UBM Ecological Consultants (Appendix 4), the report identified no flora species listed as threatened or vulnerable under the NSW *Threatened Species* or Commonwealth *Environment Protection & Biodiversity Conservation Acts*. As the site has been used for the purposes of light industrial since at least early 1950, the grounds have been extensively landscaped, the presence of any such threatened flora species is highly unlikely.

There is the possibility of some habitat by fauna. Overall, this is likely to be low due to the nature of past development of the Site and lack of overall vegetation.

Where trees exist on the Site, they are generally in the landscaped setback area. The Planning Proposal, in-principle, is consistent with the SEPP.

#### Building Sustainability Index: BASIX SEPP

The requirements of BASIX will be met in the development phase of the Proposal.

#### Design Quality of Residential Apartment Development SEPP 65

The proposal is generally consistent with the ADG. It is believed the matters relevant in SEPP 65 will not be problematic at the DA stage. Naturally, details and provisions will need to be carefully considered as the Proposal continues to develop.

#### Housing SEPP

The proposal will contribute to housing diversity and affordability within the Parramatta LGA through the provision of additional dwelling types.

### Planning Systems SEPP

At this stage, it is not envisaged that any development applications for the Site would be considered as State Significant.

### Resilience and Hazards SEPP

The SEPP requires the Council to consider whether a Site is contaminated and whether the Site is suitable for the proposed use (before or after remediation).

Preliminary Site Investigation (PSI) prepared by ADE Consulting Group accompanies the Planning Proposal (Appendix 5). The PSI assesses the potential for contamination at the site.

ADE Consulting Group considers there is a moderate potential for contamination to have occurred on-site as a result of the past and present land-uses. The PSI recommends that a Stage II Detailed Site Investigation (DSI) with the inclusion of sampling for soil and groundwater should be conducted in accordance with the NSW OEH 2023. The Stage II DSI can be prepared as part of any future Development Application for the site.

The PSI concludes that it is likely that the site can be determined or made suitable for the proposed development, pending a Stage II DSI and remediation (if required).

### Transport and Infrastructure SEPP

The SEPP requires the referral of the application to the relevant electricity supply authority if works are carried out within or adjacent to an easement for electrical purposes. Future development applications will therefore require referral to Ausgrid.

The SEPP also identifies the capacity or size of developments that should be to TfNSW. The proposal does not exceed any of the threshold criteria and therefore referral to TfNSW is not required.

In terms of noise considerations, the site is approximately 500 metres south of Victoria Road and is not subject to aircraft noise limitations. Noise considerations to and from the proposed development can be addressed through the detailed design stage as part of the DA process and would not be a determinative factor in rezoning the Site.

Acoustic advice prepared by White Noise accompanies the Planning Proposal (Appendix 10). The advice indicates that the site can be acoustically designed to achieve compliance with all relevant acoustic requirements for a mixed-use development. The advice confirms that the future detailed design of the residential units can be adequately designed to comply with the Australian Standard AS2107:2016, the Department of Planning Development Near Rail Corridor and Busy Roads – **Interim Guideline and Council's DCP**.

In addition, the proposal can achieve compliance with the standard operational noise limitations for the development. A detailed *Noise Impact Assessment* can be undertaken at the DA stage.

**Is the Planning Proposal consistent with applicable Ministerial Directions (section 9.1 directions)?**

Yes. The Planning Proposal is consistent with the Directions issued by the Minister for Planning and Public Spaces under section 9.1 of the EP&A Act (formerly section 117). The Directions that are relevant to the Planning Proposal are addressed in the table below.

Relevant Ministerial Direction	Consideration
Direction 1.1: Implementation of Regional Plans	The Greater Sydney Region Plan is addressed in this report and the proposal is considered to be consistent with the plan. The proposal is consistent with this direction.
Direction 1.2: Development of Aboriginal Land Council Land	The site is not in the ownership of the Aboriginal Land Council nor are there any known Aboriginal objects or places of heritage significance within the site.
Direction 1.3: Approval and Referral Requirements	The Planning Proposal does not include consultation, concurrence or referral above and beyond the existing provisions of the PLEP 2023. The Planning Proposal is consistent with this Direction.
Direction 1.4 Site Specific Provisions	The Planning Proposal seeks to insert a site-specific provision in PLEP 2023 and amend the Additional Local Provisions map to ensure a minimum of 1,400m <sup>2</sup> of non-residential floor space is to be provided within the site to serve the local retail and commercial.

Relevant Ministerial Direction	Consideration
Direction 1.7: Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	The site is not identified within the Greater Parramatta Priority Growth Area.
Direction 3.2: Heritage Conservation	<p>The site does not contain any heritage items nor is it located within a heritage conservation area. An item of local heritage significance known as the Bulla Cream Dairy item (I64) is located opposite the site. The proposed height and bulk sought will provide an appropriate transition from the future taller buildings within Melrose Park to Hughes Avenue, ensuring a suitable interface within this heritage item is provided.</p> <p>The proposal therefore complies with this objective.</p>
Direction 4.1: Flooding	<p>The site is above the 1 in 100 year flood level and there are no flooding maps for the site in the PLEP 2023. The site is not known to be flood affected resultingly, the proposal complies with this direction.</p> <p>Any potential impacts as a result of development on the site, such as stormwater runoff, will be considered and addressed appropriately at DA stage. The Planning Proposal seeks to adopt the Concept Stormwater Strategy developed for the wider Melrose Park North Precinct which includes both stormwater quantity and quality strategies (Appendix 12).</p>
Direction 4.3: Planning for Bushfire Protection	The site is not identified as being bushfire prone land.

Relevant Ministerial Direction	Consideration
Direction 4.4 Remediation of Contaminated Land	<p>The PSI prepared by ADE Consulting Group finds that there is a moderate potential for the site to be contaminated due to past and present land-uses.</p> <p>The PSI recommends that a Stage II Detailed Site Investigation (DSI) with the inclusion of sampling for soil and groundwater should be conducted in accordance with the NSW OEH 2023. The Stage II DSI can be prepared as part of any future Development Application for the site.</p> <p>The PSI concludes that it is likely that the site can be determined or made suitable for the proposed development, pending a Stage II DSI and remediation (if required).</p>
Direction 4.5: Acid Sulfate Soils	<p>The Site has a low Classification of 5. The soil type and likely groundwater is such that this issue is not critical and able to be managed with future DAs.</p>
Direction 5.1: Integrating Land Use and Transport	<p>The Proposal is consistent with this Direction and meets the objectives as it:</p> <ul style="list-style-type: none"> <li>• provides new dwellings in close proximity to existing public transportation links on Victoria Avenue</li> <li>• provides new dwellings adjacent to the future Parramatta Light Rail</li> <li>• permits residents to walk or cycle to work if employed within the future Melrose Park Precinct</li> <li>• provides and support additional commercial premises in proximity to existing and future transport links</li> <li>• improves use of space and infrastructure by increasing densities on an underutilised site</li> </ul> <p>Further details are provided in the Traffic and Transport analysis in this report.</p>
Direction 5.2: Reserving Land for Public Purposes	<p>The Proposal seeks to amend the Land Reservation Acquisition map to reflect the areas of open space to be dedicated to Council.</p>

Relevant Ministerial Direction	Consideration
Direction 6.1: Residential Zones	<p>The Planning Proposal is consistent with these objectives as it:</p> <ul style="list-style-type: none"> <li>• provides additional residential floor space adjacent to the Melrose Park Precinct within close proximity to public transport, shops and community facilities</li> <li>• contributes to the redevelopment of underutilised industrial lands</li> <li>• will not adversely impact on the environment.</li> </ul>
Direction 7.1: Business and Industrial Zones	<p>The proposed urban renewal of the Site is consistent with the objectives of the zone as follows:</p> <ul style="list-style-type: none"> <li>• The Proposal seeks to rezone the site to MU1 Mixed Use and will contribute 1400m<sup>2</sup> of employment generating land uses</li> <li>• The proposal will support the new Town Centre at Melrose Park and the growth of nearby strategic centres</li> </ul> <p>This Planning Proposal provides the opportunity to redevelop industrial land that will become isolated given the emerging character of the Melrose Park Precinct.</p> <p>On 11 July 2016, The City of Parramatta Council adopted the <i>Employment Lands Strategy 2016</i> (ELS). The ELS 2016 identifies all industrial zoned land in Melrose Park, including the subject site, as Precinct 11. The ELS 2016 recognises the Melrose Park Precinct as unique in Parramatta's employment lands as it previously contained a significant concentration of some of the world's largest pharmaceutical companies but notes that these have recently moved overseas.</p> <p>The ELS 2016 recommends that given size and significance of the Melrose Park Precinct, and also the changing nature of the pharmaceuticals industry, that a Structure Plan be prepared for Melrose Park, which considers future uses in the precinct and opportunities for urban renewal, including space for smaller biotech firms and also specialised research infrastructure (BOLD our</p>

Relevant Ministerial Direction	Consideration
	<p>emphasis).</p> <p>On 22 August 2016, Council resolved that Melrose Park be subject to two Structure Plans – a Northern and a Southern Structure Plan. Council adopted the Melrose Park Northern Structure Plan on 12 December 2016, in accordance with the recommendations of the ELS 2016.</p> <p>The subject site is situated within the Melrose Park Northern Structure Plan and from a strategic planning perspective has been identified by Council to undergo urban renewal. The proposal seeks to act upon this to facilitate the redevelopment of industrial land that would otherwise become isolated</p> <p>The Proposal is justified by several studies to support the rezoning of the Site from E4 General Industrial and R2 Low Density Residential to MU1 Mixed Use including an Economic Impact Assessment for the wider Melrose Park North Precinct prepared by AEC Group.</p> <p>The economic modelling conducted for this report indicates that the Planning Proposal for the Melrose Park North Precinct will make a significant contribution to the Parramatta LGA economy through its construction phase and the ongoing activities of the redeveloped Site. Furthermore, once the redevelopment is completed and fully operational it will continue to provide a strong ongoing contribution to the Parramatta economy.</p> <p>As the subject proposal is located adjacent to the Melrose Park North Precinct and it is therefore considered that the redevelopment of the site will support and contribute to the development and renewal of the area and will result in positive economic impacts to the Parramatta LGA.</p>

Table 8: Section 9.1 Directions by the Minister

## Section C: Environmental, Social and Economic Impact

Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the Proposal?

There is no known critical habitat or threatened species, populations or ecological communities, or their habitats likely to be adversely affected as a result of the Proposal.

Are there any other likely environmental effects as a result of the Planning Proposal and how are they proposed to be managed?

The Planning Proposal includes a detailed consideration of a range of relevant issues which demonstrates that it will have minimal environmental impact and is an appropriate response to the site and its context. These issues include:

### Built Form and Amenity

The site is strategically located within the Melrose Park Growth Area. The proposal transitions appropriately between the emerging high density mixed use development in the VRS, the adjoining Melrose Park North and South Planning Proposals and the surrounding density residential properties on Hughes Street and Hope Street.

The proposal is generally consistent with SEPP 65 and the ADG. The proposal is designed to minimise impacts to adjoining properties and ensures high levels of residential amenity.

Key areas of the built form that respond to SEPP 65 and the ADG are detailed below.

Appropriate Height Relative to High Density Mixed Use Development and Low Density Residential Development

- the taller portion of the building is placed adjacent to the eastern boundary
- the taller portion of building is orientated on a north south axis to minimise overshadowing of surrounding residential development
- appropriate building separation is achieved with adjoining buildings
- apartment size, the apartment mix and car parking will be provided in accordance with Council's DCP

A key consideration for the development of the Site is the impact on the surrounding properties. In relation to built form, the size and nature of the Site combined with careful urban design and Site planning ensure no unacceptable impacts on surrounding properties in particular the surrounding residential and heritage item located opposite the site in Hope Street.

The proposal provides for an appropriate level of solar access for surrounding properties. This is achieved through the siting and built form, focusing the taller building height adjacent to the **western boundary**. **This design ensures the development's shadow moves quickly across the surrounding sites and minimises the extent of shadow cast.**

The overshadowing analysis in the Architectural Package reveals that overshadowing impacts on adjoining properties is reasonable.

The Urban Design Report (Appendix 8) provides an analysis of the 14 storey building and its potential shadow impact on the building envelopes in the Melrose Park South Precinct and surrounding properties. This analysis demonstrates that all properties on the southern side of

Hope Street obtain more than 3 hours direct sun in mid-winter on the buildings' northern facades.

### Contamination

Preliminary Site Investigation (PSI) prepared by ADE Consulting Group accompanies the Planning Proposal (Appendix 5). The PSI assesses the potential for contamination at the site.

ADE Consulting Group considers there is a moderate potential for contamination to have occurred on-site as a result of the past and present land-uses. The PSI recommends that a Stage II Detailed Site Investigation (DSI) with the inclusion of sampling for soil and groundwater should be conducted in accordance with the NSW OEH 2023. The Stage II DSI can be prepared as part of any future Development Application for the site.

The PSI concludes that it is likely that the site can be determined or made suitable for the proposed development, pending a Stage II DSI and remediation (if required).

### Flora and Fauna

There is minimal vegetation located on the site with low shrubbery on the Tomola site and a few mature trees located within the residential properties fronting Hughes Avenue. The Site is not identified on the Natural Resources – Biodiversity Map, nor the Natural Resources – Riparian Land and Resources Map in the PLEP 2023.

A Preliminary Ecological Report has been prepared by UBM Ecological Consultants for the wider Melrose Park North Precinct (Appendix 4). This report makes reference to the Office of Environment & Heritage mapping (OEH 2013) which identifies areas of native vegetation (bushland) in the locality and region. This mapping does not identify any vegetation within Melrose Park or the site.

Attachment 2 within the Preliminary Ecological Report provides a list of threatened or vulnerable fauna species known for the locality. The report notes several of the listed species are aquatic or migratory species known for the Parramatta River foreshores, and thus are unlikely to be found in Melrose Park or the site.

The report notes that large mature trees within Melrose Park are likely to support arboreal mammals (possums), birds, and possibly microbats, and seasonally, macrobats such as the Grey headed Flying-fox. At least five (5) microbat species known for the Locality are listed under the legislation. The report recommends that prior to future development applications, it would be prudent to undertake a nocturnal fauna survey.

Given the lack of significant trees within the site, there is very little possibility of the site containing habitat for fauna. This is likely due to the current lack of overall vegetation within the site.

The proposal will significantly increase the extent of landscaping, tree canopy cover and deep soil zones within the site, resulting in an improved environmental outcome.

### Flooding

The Section 10.7 Certificates for the site do not identify it as containing flood prone land. Furthermore, the Site is not known to be flood-affected.

### Geotechnical

A Preliminary Geotechnical Assessment Report prepared by ADE Consulting Group accompanies the Planning Proposal (Appendix 6). This report concludes that the proposed development is considered feasible from a geotechnical perspective. Provided appropriate site investigation, design assessments, and construction monitoring normally associated with this type of development are carried out, the risks to adjacent structures and services are found to be manageable.

A land survey prepared by LTS Lockley accompanies the Planning Proposal and details the levels, contours, built improvements and retaining walls across the Site (Appendix 3). This survey demonstrates that the site has a fall from north to south by approximately 3.3 metres and from west to east by 1.8 metres.

### Heritage - Aboriginal

The site is not known to have any archaeological potential for items of Aboriginal significance given the respective lots which form the site have been previously developed. The site is also not known to be a site of Aboriginal significance. As such, no further assessment of Aboriginal heritage has been undertaken.

### Heritage - European

The site does not contain any items of European heritage, nor is it located within a heritage conservation area.

A heritage item of local significance is located at the opposite corner of the Hope Street and Hughes Avenue intersection, at **64 Hughes Avenue, Ermington**. This item is known as the **'Bulla Cream Dairy' (I64)** under the PLEP 2023. This site contains a single storey residential dwelling with a single storey warehouse to the rear and fronting Hope Street.

### Servicing and Survey Report

An Engineering Services Desktop Due Diligence Report prepared by Integrated Group Services accompanies the Planning Proposal (Appendix 2). This report outlines the servicing capability of the site relating to potable water, wastewater, electricity, gas and telecommunications.

The existing infrastructure in both Hope Street and Hughes Avenue are insufficient for proposed potable water requirements. An upgrade will be required to access the nearest suitable water main for connection at the intersection of Hope Street and Waratah Street, approximately 220 metres to the east of the site. The report confirms that it is unlikely that there will be any issues with servicing the site from the Sydney Water infrastructure in the vicinity of the site.

There are 150mm and 225mm sewer mains reticulating within the site that will require diversion or coordination with the development design. The 225mm sewer main in the vicinity of the site is identified as being sufficient to connect to the proposed future development.

Based on infrastructure plans provided by Endeavour Energy, existing High Voltage infrastructure is located on the southern side of the site within Hope Street which will most likely be the point of connection for the new on-site substations. The capacity of this feeder will be determined once an application for connection has been lodged to the authorities. However, it is envisaged that the High Voltage feeders will have the capacity to service the

projected development load.

The Ausgrid high voltage transmission lines and towers reticulating through the site will remain in place "as is" and the future detailed design will be planned around these assets.

Jemena have sufficient infrastructure in the vicinity of the site and can easily cater for gas requirements of the new development. The existing 32mm 210kPa Natural Gas main is the most likely point of connection, subject to Jemena approval.

The response received from the respective Telecommunication suppliers and NBN shows a 100mm pit and pipe fibre services extending on Hope Street fronting the proposed development. The telecommunications services identified in the vicinity of the site are expected to have the carrying capacity to suit the needs of the proposed development.

### Transport and Traffic

A Transport Management Accessibility Plan (TMAP) was prepared in consultation and agreement with Council, TfNSW and the RMS as part of the Melrose Park North Planning Proposal.

The TMAP comprehensively assesses demand management and transport linkages, as well as traffic infrastructure augmentations and considerations in response to the adopted Structure Plan and Planning Proposal for Melrose Park North as well as the aspirations of the re-development of Melrose Park South Precinct. The TMAP has been developed to encourage and develop initiatives to maximise public transport use.

The Melrose Park TMAP identifies staging trigger points for associated road works on Victoria Road at Wharf Street and Kissing Point Road. The site is located within the Melrose Park precinct in the TMAP. The first identified trigger point for upgrades (Stage 1A) would occur at 1,100 dwelling and is currently being proposed as part of the VRS development. The next trigger point for road works identified in the Melrose Park TMAP (Stage 1B) is at 1,800 dwellings.

A TIA prepared by VIAE Consulting, accompanies the Planning Proposal (Appendix 7) and identifies the following:

- The site would generate 75 car trips in the morning peak hour and 89 car trips in the evening peak which is considered minor.
- A total of 225 parking spaces will be required to accommodate the proposed development yield as per the DCP 2023, based on the indicative mix of 1, 2- and 3-bedroom dwellings.
- The critical infrastructure projects planned by the NSW Government within Melrose Park and Greater Parramatta and Olympic Park (GPOP). These infrastructure projects will support the Planning Proposal and future residents.
- The traffic impacts associated with the Tomola site are accommodated by the Melrose Park TMAP Stage 1A road works package and the surrounding road network along Hope Street and Hughes Avenue. No works beyond TMAP Stage 1A works are required to accommodate the additional traffic generated by the proposed development.

The TIA finds that the traffic generated by the development would be minimal and can be easily accommodated under the works required for Stage 1A of the Melrose Park Precinct. A detailed traffic and transport assessment will accompany the future DA.

Project	Transport Mode	Status	Estimated Completion
Parramatta Light Rail 1	Light Rail	Stage 1 – Construction	2023
Parramatta Light Rail 2	Light Rail	Stage 2 – Planning and Design / Business Case	2026
Gateway Bridge (Melrose Park to Wentworth Point)	Bus / light rail	Investigation and Planning	2026
Victoria Road BRT	Bus	Planning and Design	2026
WestConnex	Road / Freight	Stage 1 - Completed Stage 2 - Construction Stage 3 - Construction	2023
Sydney Metro West	Metro	Planning and design / Business Case	2028
Melrose Park Bus Shuttle Service	Bus	Shuttle currently provides key connections to Meadowbank Ferry and Meadowbank Station	2019 – currently operating

Figure 24: Transport Projects for Melrose Park and GOP (Source TIA)

## Has the Planning Proposal Adequately Addressed Any Social and Economic Effects?

### Economic Impact Assessment

The urban renewal and transformation of the site will result in significant economic benefits for the new communities within the site, existing and future communities within Melrose Park and the surrounding neighbourhood. These public benefits include:

- contribute to the urban renewal of the wider Melrose Park Precinct through the redevelopment of what would become an isolated and unfeasible industrial site
- direct investment and jobs in the local area:
  - during construction the project is projected to generate the following economic impacts (total direct and flow-on) for Parramatta LGA:
    - \$117 million in output
    - \$43 million contribution to Gross Regional Product (GRP)
    - \$26 million in wages and salaries paid to local workers
    - 300 FTE jobs
  - following the completion of construction, the project is estimated to support the following annual economic activity through direct and indirect (flow-on) impacts associated with operations on the Site:
    - \$19 million in output
    - \$10 million contribution to GRP
    - \$5 million in incomes and salaries paid to households
    - 76 FTE jobs (including 56 FTE directly related to activity on the Site).

This is a key investment in the local community:

- +2600m<sup>2</sup> of RE1 Public Recreation dedicated to Council

- provides pedestrian links north-south and east-west through the site improving connectivity to Melrose Park Town Centre and the wider Melrose Park Precinct

### Social Impact Assessment

A SIA for the wider Melrose Park North Precinct was undertaken by Urbis and outlines the potential benefits and impacts from the Melrose Park North Planning Proposal (Attachment 12). In particular, the identified benefits include:

- development of a new Local Town Centre within the development allowing for opportunities for childcare facilities, community marketplace, provision of open space areas and development of retail and commercial businesses
- public benefits of over \$200 million, comprising provision of open space and public infrastructure, affordable housing, provision of land for a new school and contributions to Melrose Park Public School, contributions and dedication of infrastructure including roads and future assessments for transport and power in Melrose Park and contributions to smart cities provision within the development.
- the increased supply of modern accommodation options to create a more even and mixed housing market for the community
- under existing conditions, the number of jobs have and will continue to decrease on the Site without change. Once the redevelopment is completed, the Site will provide between 1,538 – 1,932 jobs, with the provision of a minimum 15,000m<sup>2</sup> dedicated for commercial and employment uses and 15,000m<sup>2</sup> in retail uses. The development will create jobs during the construction phase and additional jobs in the supply chain during construction and operation which will support employment outcomes for the community (as outlined in the EIA).

The subject proposal will support and expand upon the achievement and delivery of these social benefits as:

- it provides approximately 161 residential dwellings to supply the growing suburb with a diverse housing choice
- future residents of the development will support the Melrose Park Local Town Centre and associated commercial and retail businesses
- improve and encourage active modes of transport through the provision of through site links (east-west and north-south)
- it will contribute to the urban renewal of the wider Melrose Park Precinct through the redevelopment of what would become an isolated industrial site

## **Section D - Infrastructure (Local, State and Commonwealth)**

### **Is there Adequate Public Infrastructure for the Planning Proposal?**

Future development on the site will make use of existing public infrastructure and services including connections to water, sewerage, electrical and telecommunications infrastructure.

## **Section D – State and Commonwealth interests**

### **Is there Adequate Public Infrastructure for the Planning Proposal?**

Future development on the site will make use of existing public infrastructure and services including connections to water, sewerage, electrical and telecommunications infrastructure.

### **What are the views of State and Commonwealth Public Authorities Consulted in Accordance with the Gateway Determination?**

Consultation with State and Commonwealth public authorities will be carried out at the Gateway determination stage.

# Part 4: Mapping

Draft LEP maps will be prepared in accordance with the Local Environmental Plan Making Guideline prior to public exhibition. For reference the indicative Land Use Zone map, Height of Building map, and Floor Space Ratio map are shown below.

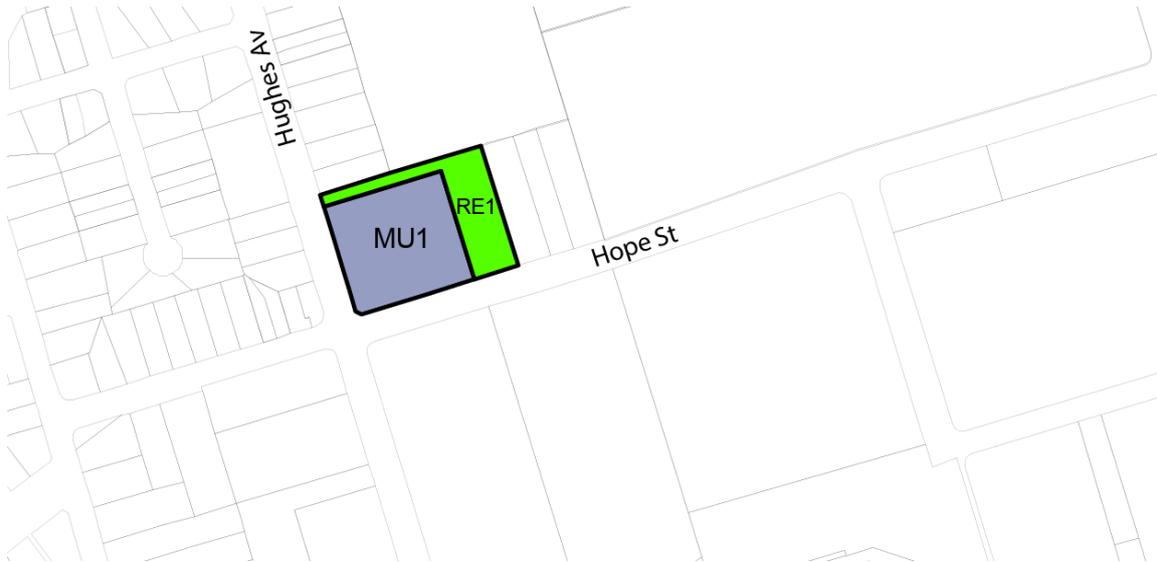


Figure 25: Proposed Land Use Zoning for Tomola site

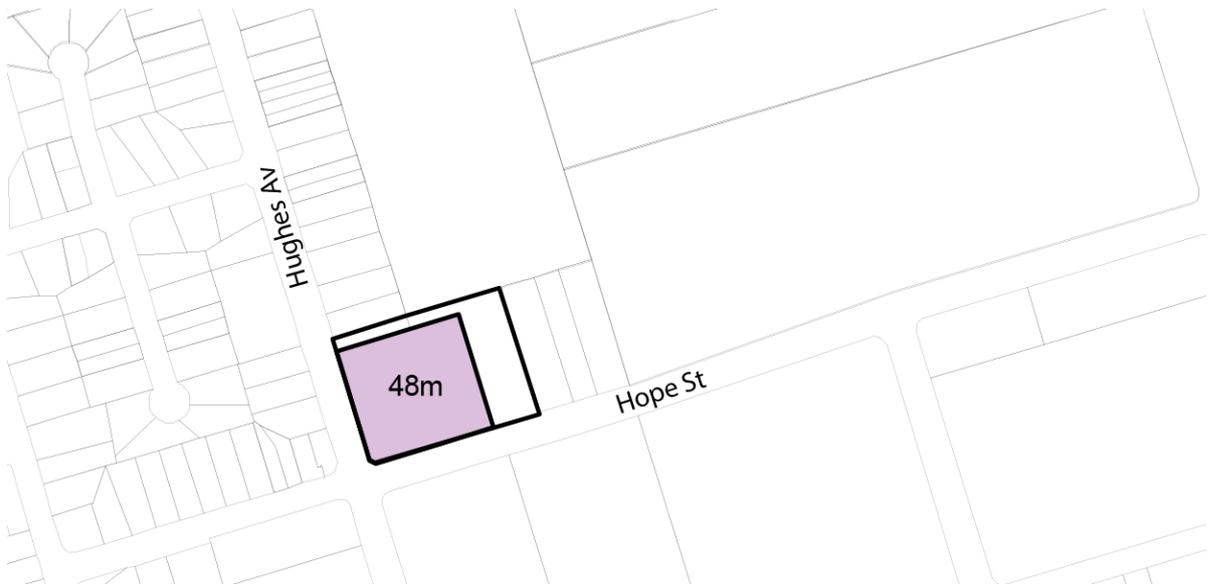


Figure 26: Proposed Height of Building controls for Tomola site

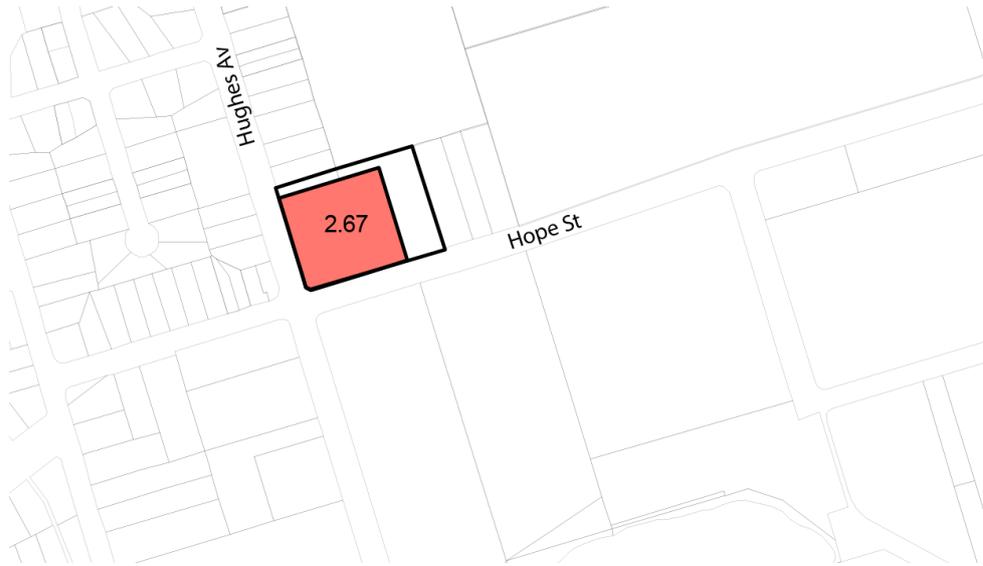


Figure 27: Proposed Floor Space Ratio controls for Tomola site

## Part 5: Community consultation

The Planning Proposal (as revised to comply with the Gateway determination) is to be publicly available for community consultation.

Per the Gateway Determination the Planning Proposal is categorised as complex (in accordance with the *Local Environmental Plan Making Guideline*) and must be made publicly available for a minimum of 30 days.

## Part 6: Project Timeline

Table 9 below outlines the anticipated timeframe for the completion of the Planning Proposal.

MILESTONE	TIMEFRAME
Report to the Local Planning Panel on the assessment of the Planning Proposal	17 May 2022
Report to Council on the assessment of the Planning Proposal	14 June 2022
Submission to the Department of Planning and Environment for review of Gateway determination	11 August 2023
Gateway determination issued	5 October 2023
Commencement and completion dates for public exhibition period	Anticipated March 2024
Consideration of submissions	Anticipated April 2024
Consideration of Planning Proposal and associated report post-exhibition by the Local Planning Panel	Anticipated May 2024
Consideration of Planning Proposal post-exhibition and associated report by Council	Anticipated June 2024
Submission to the Department of Planning and Environment to finalise the LEP amendment	Anticipated June 2024
Notification of instrument	Anticipated September 2024

Table 9: Anticipated timeframe to Planning Proposal process

# Appendix 1 – Community Engagement Strategy

# Appendix 2 – Engineering Services Due Diligence Report

## Appendix 3 – Survey Plan

## Appendix 4 – Flora & Fauna Report

# Appendix 5 – Preliminary Site Investigation Report

# Appendix 6 – Preliminary Geotechnical Assessment Report

## Appendix 7 – Preliminary Traffic Impact Assessment

# Appendix 8 – Urban Design, Landscaping Report & Proposed LEP Maps

## Appendix 9 – Economic Impact Assessment

## Appendix 10 – Acoustic Advice

## Appendix 11 – Social Impact Assessment

## Appendix 12 – Concept Stormwater Strategy

## Appendix 13 – Hazard Analysis

## Appendix 14 – Site Sustainability Statement

## Appendix 15 – Updated Tomola Drawing Set



Department of Planning and Environment

## Gateway Determination

**Planning proposal (Department Ref: PP-2023-1736):** rezone and amend development provisions to permit high density mixed use development, public recreation and small-scale retail/ commercial for land at 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington

I, the Director, Central (GPOP) at the Department of Planning and Environment, as delegate of the Minister for Planning and Public Spaces, have determined under section 3.34(2) of the *Environmental Planning and Assessment Act 1979* (the Act) that an amendment to the Parramatta Local Environmental Plan 2023 to rezone and amend development provisions to permit high density mixed use development, public recreation and small-scale retail/ commercial for land at 19 Hope Street, Melrose Park and 69-77 Hughes Avenue, Ermington should proceed subject to the following conditions:

The Council as planning proposal authority is authorised to exercise the functions of the local plan-making authority under section 3.36(2) of the Act subject to the following:

- (a) the planning proposal authority has satisfied all the conditions of the gateway determination;
- (b) the planning proposal is consistent with applicable directions of the Minister under section 9.1 of the Act or the Secretary has agreed that any inconsistencies are justified; and
- (c) there are no outstanding written objections from public authorities.

The LEP should be completed on or before 4 October 2024.

### Gateway Conditions

1. Prior to community consultation, the proposal be updated to address the following:
  - a) amend the existing and proposed land zoning maps to ensure consistency with the employment zones reform;
  - b) update the proposal to ensure consistency for the proposed floor space control, intended built form outcomes and supporting technical studies;
  - c) identify proposed changes to the Land Reservation Acquisition (LRA) and Additional Local Provisions (ALP) Maps;
  - d) amend the figures in the economic impact assessment to ensure consistency with the planning proposal;
  - e) ensure that the planning proposal is exhibited with the Transport Management Accessibility Plan (TMAP);

2. Public exhibition is required under section 3.34(2)(c) and clause 4 of Schedule 1 to the Act as follows:
  - (a) the planning proposal is categorised as complex as described in the *Local Environmental Plan Making Guideline* (Department of Planning and Environment, August 2023) and must be made publicly available for a minimum of 30 days; and
  - (b) the planning proposal authority must comply with the notice requirements for public exhibition of planning proposals and the specifications for material that must be made publicly available along with planning proposals as identified in *Local Environmental Plan Making Guideline* (Department of Planning and Environment, August 2023).
3. Consultation is required with the following public authorities and government agencies under section 3.34(2)(d) of the Act and/or to comply with the requirements of applicable directions of the Minister under section 9 of the Act:
  - Transport for NSW
  - Transgrid

Each public authority is to be provided with a copy of the planning proposal and any relevant supporting material via the NSW Planning Portal and given at least 30 working days to comment on the proposal.
4. Prior to finalisation, ensure an appropriate mechanism is identified which facilitates a transition to lower density uses;
5. A public hearing is not required to be held into the matter by any person or body under section 3.34(2)(e) of the Act. This does not discharge Council from any obligation it may otherwise have to conduct a public hearing (for example, in response to a submission or if reclassifying land).

Dated 5 October 2023



**Jazmin van Veen**  
**Director, Central (GPOP)**  
**Metro Central and North**  
**Department of Planning and Environment**

**Delegate of the Minister for Planning and  
Public Spaces**

PP-2023-1736 (IRF23/2344)

---

**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

---

<b>ITEM NUMBER</b>	13.3
<b>SUBJECT</b>	Public Exhibition of Draft Church Street North Development Control Plan (DCP)
<b>REFERENCE</b>	F2022/03176 - D09253542
<b>REPORT OF</b>	Senior Project Officer Land Use

**CSP THEME:** Innovative

**WORKSHOP/BRIEFING DATE:** 18 March 2024

**PURPOSE:**

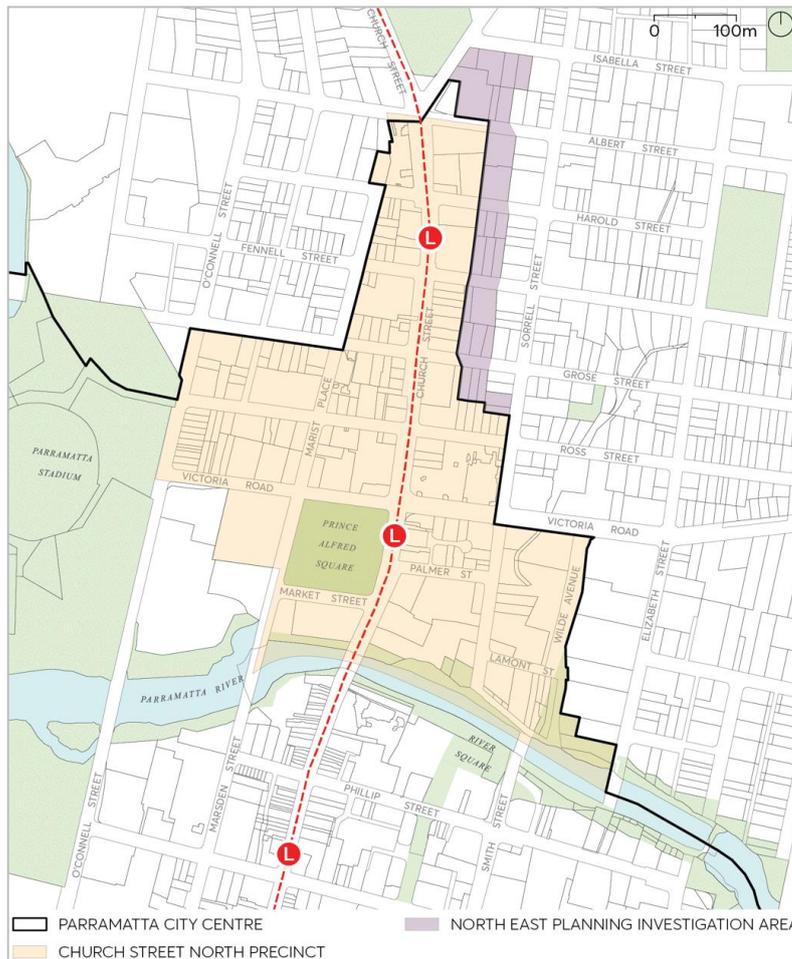
To seek Council endorsement for public exhibition of the draft Development Control Plan for the Church Street North area which has been prepared to support the Department of Planning, Housing and Infrastructure's *SEPP (Church Street North) 2023* which introduces new controls for this area into Council's LEP 2023.

**RECOMMENDATION**

- (a) That Council approve the draft Development Control Plan (draft DCP) for Church Street North at Attachment 3 for the purposes of public exhibition.
- (b) That the results of the public exhibition be reported to Council for its consideration to finalise the DCP controls to enable them to be in place as close as possible to 1 July 2024 when the new planning controls for the Church Street North Precinct come into force.
- (c) Further, that Council delegates authority to the Chief Executive Officer to make any changes of a minor, administrative and/or non-policy nature to the draft DCP during this process.

**BACKGROUND**

1. The area of the Parramatta City Centre located north of the river was removed from the Parramatta CBD Planning Proposal in October 2022 by the Department of Planning, Housing and Infrastructure ("the Department") when *Parramatta LEP 2011 (Amendment 56)* took effect.
2. The Department subsequently prepared a State Environmental Planning Policy to amend the *Parramatta LEP 2023* to introduce new planning controls for the land north of the river (refer to **Figure 1**). On 15 December 2023, the [\*SEPP \(Church Street North Precinct\) 2023\*](#) ("the SEPP") was published with a delayed commencement of 1 July 2024. A summary of the evolution of the City Centre LEP and DCP major milestones is provided at **Attachment 1**.



**Figure 1** – Relationship between the forthcoming Parramatta City Centre boundary, the Department’s Church Street North Precinct (as per the SEPP); as well as the North East Planning Investigation Area.

3. The SEPP amends *Parramatta LEP 2023* as follows:
  - a. Amends various clauses in Part 7 Additional local provisions – Parramatta City Centre along with any supporting maps (where necessary) to address changes to zoning, building heights, floor space ratios, heritage, end of journey facilities, high performing building design, sun access, car parking, land reservation acquisitions, relevant authorities, active frontages, dual water, and floodplain risk management.
  - b. Introduces a new local provision (as clause 7.46 Church Street North Precinct) for additional height and FSR for sites that meet certain criteria.
  - c. Addresses several LEP housekeeping matters which the Department initiated and led.

More detail on the changes is provided at **Attachment 2**.

4. The above forthcoming changes to *PLEP 2023* require Council to have appropriate DCP controls in place that respond to, and correlate with, the SEPP amendment, as close to the 1 July 2024. The section below details the proposed DCP changes.

5. A separate Council report on the North East Planning Investigation Area (NE PIA) which abuts the Church Street North Precinct as shown in **Figure 1** is anticipated in the coming weeks.

## CHURCH STREET NORTH PRECINCT DCP AMENDMENT

6. This DCP amendment involves clarifying the existing controls that will apply to different parts of the City Centre on account of the SEPP, as well as preparing new controls to support the SEPP. The Church Street North DCP amendment requires:

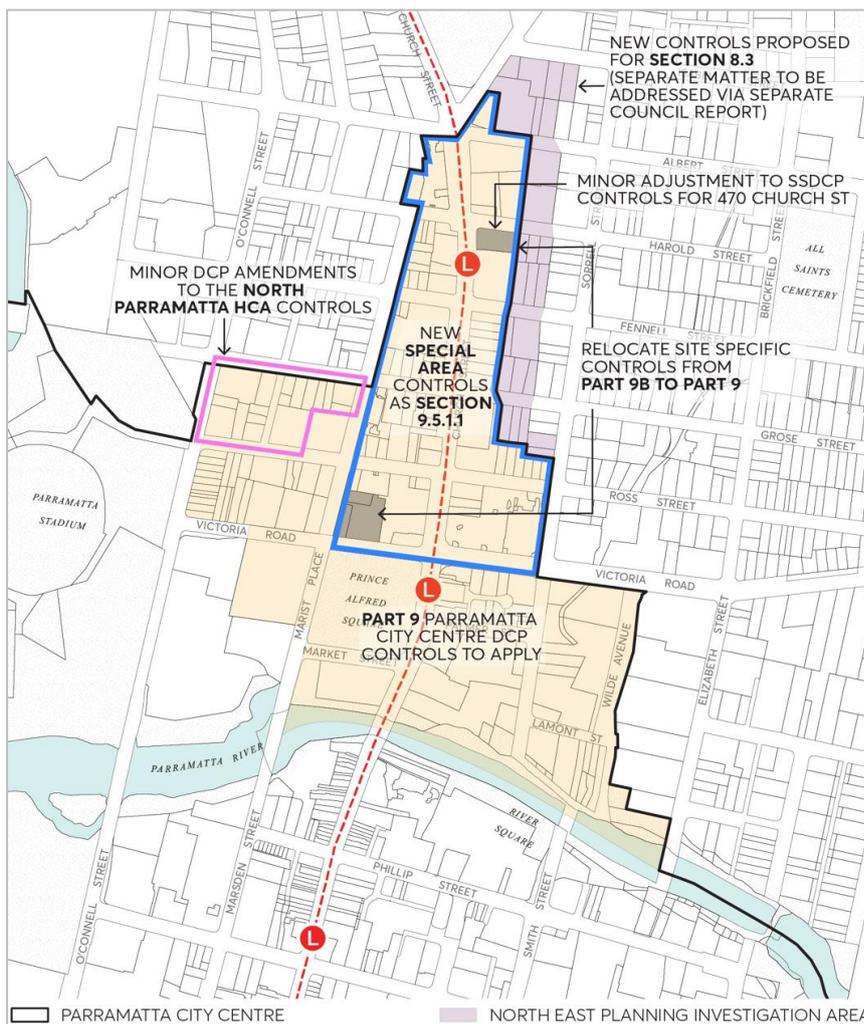
- a. Amending Part 9 – Parramatta City Centre:

- i. To provide clarity for applicants regarding how Part 9 may apply to a site and its relationship with other parts of the DCP.
  - ii. To ensure all maps in Sections 9.1, 9.4 and 9.5 include the Church Street North Precinct.
  - iii. To provide new special area controls that respond to the forthcoming new heights and FSRs for some blocks fronting Church Street (detailed in the section below and shown edged blue in Figure 2).
  - iv. To identify a new area of civic space fronting Church Street in the block bounded by Harold, Church, Fennell and Villiers Streets (this is detailed in the section below).
  - v. To make a minor adjustment to the site specific controls for the site at 470 Church Street to create an appropriate transition to the North East Planning Investigate area which flanks the Church Street North Precinct to the east.
  - vi. To identify through site links to improve pedestrian permeability (this is detailed in the section below).
- b. Amending Part 9B to remove the current controls that apply to Church Street North and amend the way the controls in this section are presented to reflect this change. There are no changes to any controls or policy for any sites currently covered in Part 9B outside of the Church Street North Precinct. Maps and information are to be amended to reflect the relocation of controls for Church Street North Precinct otherwise all the controls remain unchanged.
  - c. Amending some of the DCP controls in Section 7.10.1 North Parramatta Conservation Area on account of the southern portion of the North Parramatta HCA (between Grose and Ross Streets) being rezoned via the SEPP from the R2 and R3 zones to the MU1 zone. This introduces non-residential uses to this area requiring minor adjustments to the controls (refer to the area edged purple in **Figure 2**).

**Figure 2** below illustrates broadly where the existing Part 9 controls will apply and where new controls in Part 9.5.1.1 are required.

7. The proposed amendments to each Section of the DCP being recommended for exhibition are shown in blue font in **Attachment 3**. Also, explanatory notes have been included throughout Part 9 to explain which existing controls in Part 9 are being 'switched on' for the Church Street North Precinct.

8. It is important to note that when the Draft City Centre DCP controls were exhibited in late 2021, the existing DCP controls contained in Part 9 applied across the entire Parramatta City Centre because they correlated with the CBD Planning Proposal which at the time included the Church Street North precinct. Should Council endorse the exhibition of the controls as discussed in this report, it means that the exhibition of the controls in Part 9 largely constitutes their second exhibition.
9. Furthermore, as suggested by the Department, Council Officers in preparing the DCP amendments have considered the Department’s [Finalisation Report](#) for the Church Street North Precinct and the corresponding [urban design study](#) prepared by the Department’s consultants, Hassall in 2023.



**Figure 2** – Broad illustration of how the Part 9 DCP controls will apply to the Church Street North Precinct area.

**Justification for the new Church Street North Special Area DCP controls in Section 9.5.1.1 of the DCP (edged blue in Figure 2 above)**

*Responding to the new SEPP controls*

10. In response to new heights, FSRs and place-based bonus mechanisms in the SEPP, special DCP controls have been drafted for the Church Street North Special Area as indicated in **Figure 2**. Special area controls are considered

necessary in this location where heritage sensitivities are the greatest, and include objectives and controls for:

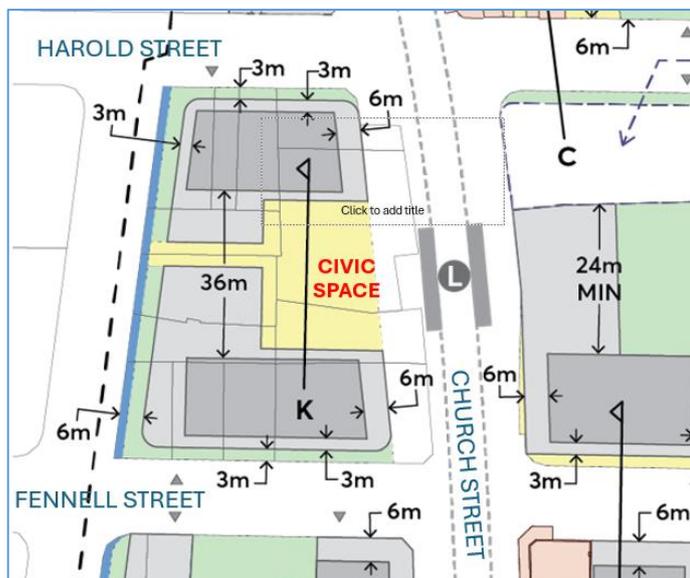
- Heritage transition achieved through specified setbacks and street wall heights,
- Street setbacks defined by prevailing heritage alignments,
- Curtilage and preferred design response for heritage items within the precinct,
- Tower separation to enable views to sky when observed from both the Sorrell Street HCA (east) and North Parramatta HCA (west),
- Identified through-site-links and laneways, and
- Preferred amalgamation pattern to realise the objectives of the special area.

#### *Unifying development across the precinct*

11. To respond to the heritage setting and transition to the HCA's, consistent tower separation and building setbacks along the east-west streets are proposed for both the Church Street North precinct and the NE PIA.

#### *Potential new civic space*

12. As part of the new special area controls, a site on the western side of Church Street between Harold Street and Fennell Street has been identified as a potential location for a future civic space due to its proximity to the Parramatta Light Rail stop as indicated in **Figure 3**. This site is also predominately in Council or State Government ownership and may be delivered alongside community floorspace. The Parramatta Community Infrastructure Strategy 2020 identifies the need for 1,500sqm of multi-purpose community space in this locality and notes an open space deficit proportionate to the anticipated population growth for this area. This civic space does not hinder the achievement of the forthcoming FSR control on either landholding.



**Figure 3** – Proposed new civic space (extract from Draft DCP controls with labels)

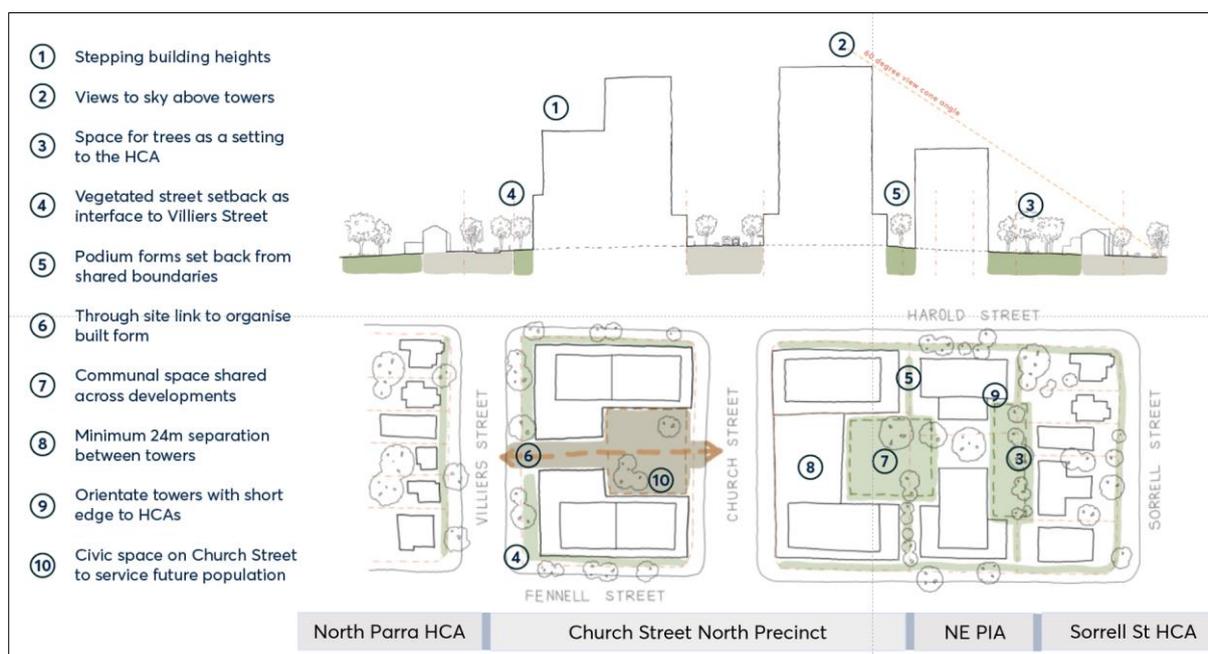
13. To assist with the delivery of this civic space, a future amendment to the Height of Buildings Map in Council's LEP which will allocate a 0 metre height limit in the location of the proposed civic space is intended. This will be programmed into the Land Use Planning Team's project workplan and consultation with landowners will be undertaken.

*Make minor changes to the controls affecting 470 Church Street*

14. The existing site specific controls for the site at 470 Church Street (proposed to be relocated to a new section 9.10.20) requires minor adjustments to ensure they correlate with the proposed new section 9.5.11 Church Street North, in which this site is located, and enable a transition to the NEPIA (part of a separate DCP amendment) in respect to the prevailing east-west heritage street alignment.
15. The proposed change to the site specific controls involves amending the setback of the podium to Harold Street (from 0 metres to 3 metres) and the eastern (side) boundary adjoining the NEPIA (from 0 metres to 4.5 metres) as indicated in **Attachment 3** (Section 9.10.20). These changes do not affect the tower footprint nor impact on the ability to achieve the prescribed FSR. Consultation with the landowner will be undertaken as part of the engagement process.

*Public domain and through-site links*

16. A number of desired through-site-links have been identified in the new special area controls one of which is indicated in **Figure 4**. Through site links are supported by the preferred amalgamation pattern and building setback controls. Through site links are to be designed and where possible used as publicly accessible spaces.



**Figure 4 – Unifying development across the precinct through building heights and setbacks and indicative civic space near the light rail stop.**

**PROPOSED ENGAGEMENT APPROACH**

17. Once the draft DCP controls are endorsed by Council for exhibition purposes, the proposed draft DCP controls will be exhibited immediately. This will minimise the time between the SEPP taking effect and the new DCP controls taking effect.
18. The proposed engagement approach for the exhibition of the proposed controls is as follows:

- a. a 28-day exhibition period, consistent with Council's Engagement Strategy 2022-2024, the *Environmental Planning and Assessment Act 1979* and *Environmental Planning Regulations 2021*.
- b. Frequently asked questions
- c. Public notice and social media
- d. Webpage promotion via Participate Parramatta
- e. Letters to landowners situated within the precinct, including the landowner of 470 Church Street.
- f. Notification email to identified stakeholders that have made submissions or shown interest in the CBD PP/DCP or the SEPP (Church Street North) 2023 during development and finalisation stages.
- g. Online submission portal and formal submission process.

## NEXT STEPS

19. Should council endorse the draft DCP controls for exhibition, the next steps are:
  - a. Place the draft DCP controls on exhibition and exhibit for 28 days;
  - b. Program an amendment to the Height of Building Map in the case of the block bounded by Harold, Church, Fennell and Villiers Streets which identifies a new area of Civic Space;
  - c. Review the submissions received during the exhibition period;
  - d. Make any changes to the draft DCP if required; and
  - e. Report back to council for finalisation seeking Council's endorsement - anticipated in July 2024.

## CONSULTATION & TIMING

### Councillor Consultation

20. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
18 March 2024	All invited	General discussion matters only	N/A	Group Manager – City Strategic Planning

## LEGAL IMPLICATIONS FOR COUNCIL

21. There are no legal implications for Council associated with this report.

## FINANCIAL IMPLICATIONS FOR COUNCIL

22. If Council resolves to endorse this report in accordance with the recommendation, there are no unbudgeted financial implications for Council's

budget. Costs associated with the public exhibition of the DCP will be funded from existing Strategic Land Use Planning budget allocations.

23. The table below summarises the financial impacts on the budget arising from approval of this report.

	FY 23/24	FY 24/25	FY 25/26
<b>Revenue</b>			
Internal Revenue			
External Revenue			
<b>Total Revenue</b>	NIL	NIL	NIL
<b>Funding Source</b>	NIL	NIL	NIL
<b>Operating Result</b>			
External Costs			
Internal Costs			
Depreciation			
Other			
<b>Total Operating Result</b>	NIL	NIL	NIL
<b>Funding Source</b>	NIL	NIL	NIL
<b>CAPEX</b>			
CAPEX			
External			
Internal			
Other			
<b>Total CAPEX</b>	NIL	NIL	NIL

Robert Cologna  
**Group Manager, Strategic Land Use Planning**

Jennifer Concato  
**Executive Director City Planning and Design**

John Angilley  
**Executive Director Finance & Information**

Gail Connolly  
**Chief Executive Officer**

### **ATTACHMENTS:**

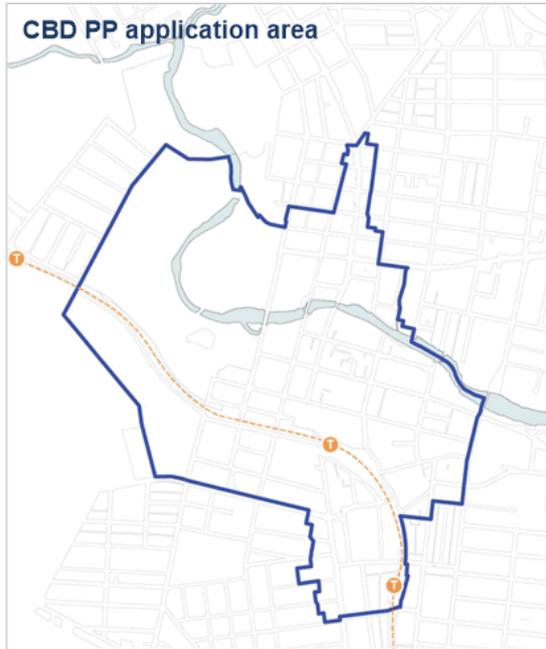
- |   |           |
|---|-----------|
| <a href="#"> 1</a> Major milestones in the Parramatta City Centre LEP and DCP Processes          | 4 Pages   |
| <a href="#"> 2</a> Summary of changes to the Parramatta LEP 2023 by the Church Street North SEPP | 4 Pages   |
| <a href="#"> 3</a> Draft Church Street North DCP Amendments - Consolidated                       | 115 Pages |

### **REFERENCE MATERIAL**

# CHURCH STREET NORTH DCP AMENDMENT – ATTACHMENT TO COUNCIL REPORT MAJOR MILESTONES IN THE CITY CENTRE LEP & DCP PROCESSES

## Parramatta City Centre LEP Process: Key Milestones

2020/2021

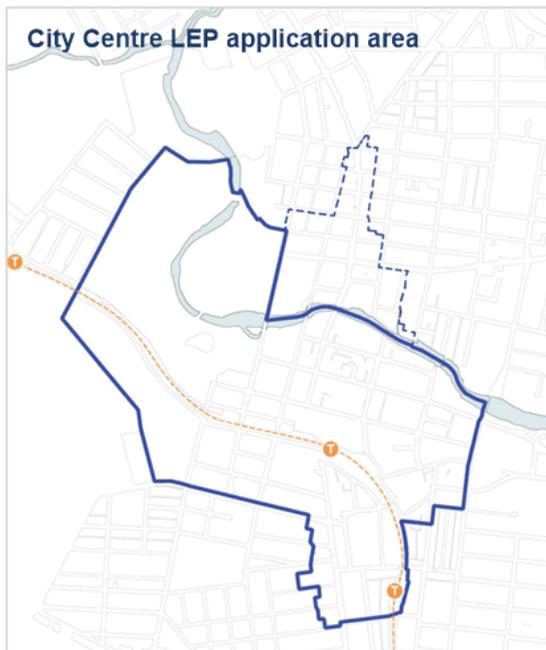


### CBD PLANNING PROPOSAL:

This boundary represents the CBD Planning Proposal land application area, as at:

- **September 2020 to November 2020** when the CBD PP was exhibited; and
- **1 July 2023** when the CBD PP was forwarded to the DoP for finalisation.

October 2022

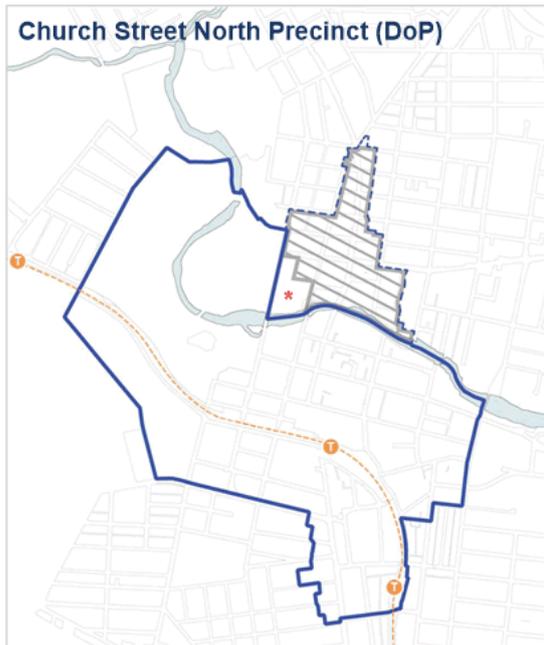


### CITY CENTRE LEP (FIRST PHASE):

This boundary represents the LEP amendment application area, as at **14 October 2022** when *Parramatta LEP 2011 (Amendment 56)* came into effect. The amendment shifted the LEP application area by removing the portion of the City Centre\* situated north of the river (blue dashed area); the area where the Department of Planning (the Department) took control of the planning process.

**Note:** the "CBD" terminology was replaced with the 'City Centre' terminology from this point onward given the "Parramatta City Centre" wording brought by the LEP amendment.

October 2023

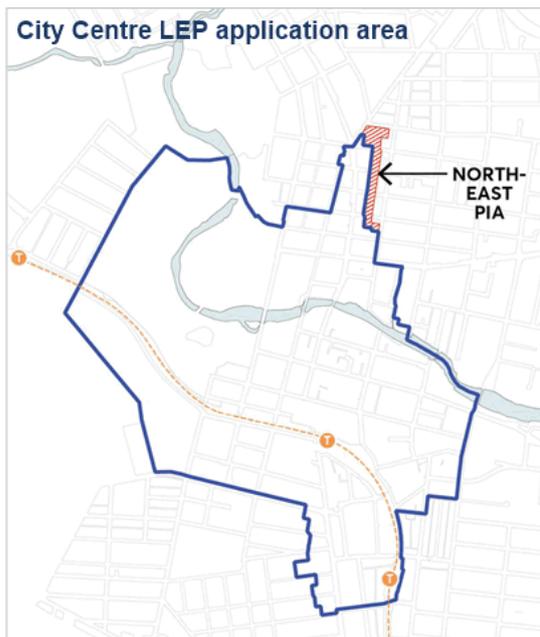


**CHURCH STREET NORTH PRECINCT:**

In **October 2023**, the Department identified the Church Street North Precinct as the area to focus any new planning controls. The new LEP controls brought in via a SEPP were subsequently published on 14 December 2023 and take effect from 1 July 2023.

**Note:** the uncoloured area notated with a red asterisk is part of the Parramatta Park Highly Sensitive Area where the controls are not able to be amended because of a Conservation Agreement with the Commonwealth Government.

1 July 2024



**CITY CENTRE LEP (FINALISED):**

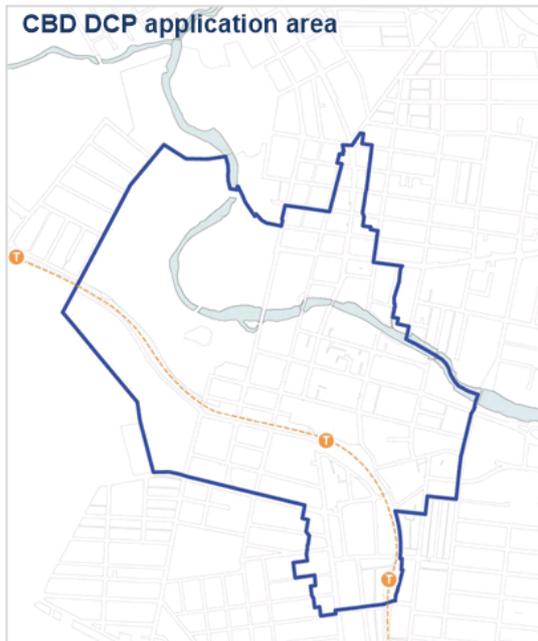
Whilst published on 15 December 2023, the Department's *SEPP (Church Street North Precinct) 2023* which amends Part 7 Parramatta City Centre of *Parramatta LEP 2023* will take effect from the 1 July 2024.

This amendment completes the strategic LEP based planning work for the City Centre which commenced back in 2013.

This map also shows the relationship of the northern section of the City Centre with the North East Planning Investigation Area (subject to a separate council report scheduled for the same meeting).

## Parramatta City Centre DCP Process: Key Milestones

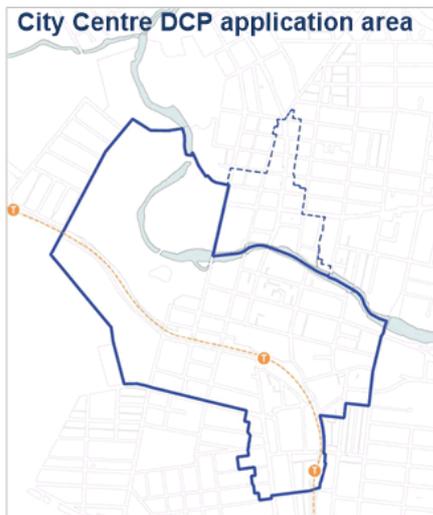
November/December 2021



### DRAFT CBD DEVELOPMENT CONTROL PLAN AREA:

This boundary represents the CBD Development Control Plan area as exhibited from November to December in 2021. It corresponded with the (then) CBD PP area.

December 2022 & March 2023

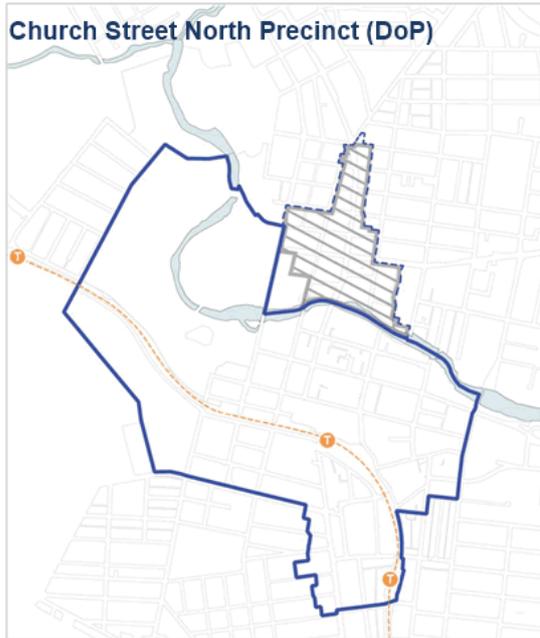


### CITY CENTRE DCP:

This boundary represents:

- December 2022** The area that the City Centre DCP controls applied to when they came into effect. At this time, they were housed in PDCP 2011 as Part 6 which excluded the area north of the river.
- March 2023** The area that the City Centre DCP controls applied to when they were relocated to their new location in Part 9 as part of the comprehensive Harmonisation (PDCP 2023) project which, at the time, excluded the area north of the river.

October 2023

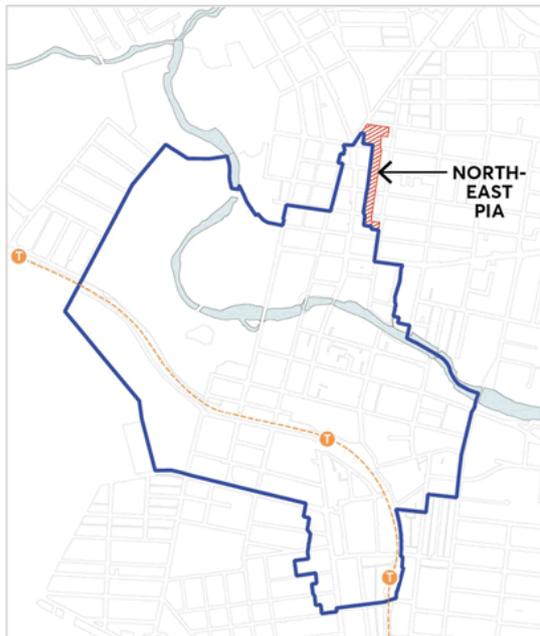


**CHURCH STREET NORTH PRECINCT:**

In **October 2023**, the Department identified the Church Street North Precinct as the area to focus any new planning controls and dispensing with the Place Strategy Area of November 2022. The new DCP controls would be brought in via a SEPP that would be published by the end of 2023 and take effect from 1 July 2023.

**Note:** the area uncoloured is part of the Parramatta Park Highly Sensitive area where the controls are not able to be amended, on account of a Conservation Agreement with the Commonwealth Government.

July/August 2024



**CITY CENTRE DCP (DRAFT):**

This area reflects the proposed City Centre DCP land application area. The new DCP controls are anticipated to come into effect as soon as possible after the Department's *SEPP (Church Street North Precinct) 2023* takes effect on 1 July 2024.

If endorsed by Council this amendment completes the strategic DCP based planning work for the City Centre which commenced back in 2017.

This map also shows the relationship of the northern section of the City Centre with the North East Planning Investigation Area.

## Attachment 2 - Council report on the Draft DCP for the Church Street North Precinct

The Draft DCP controls for the Church Street North area - outlined in this report to Council - are intended to support new LEP controls that will come into effect on 1 July 2024.

The **key** new LEP controls that affect the Church Street North area include amendments to heights and FSRs.

The purpose of this Attachment is to:

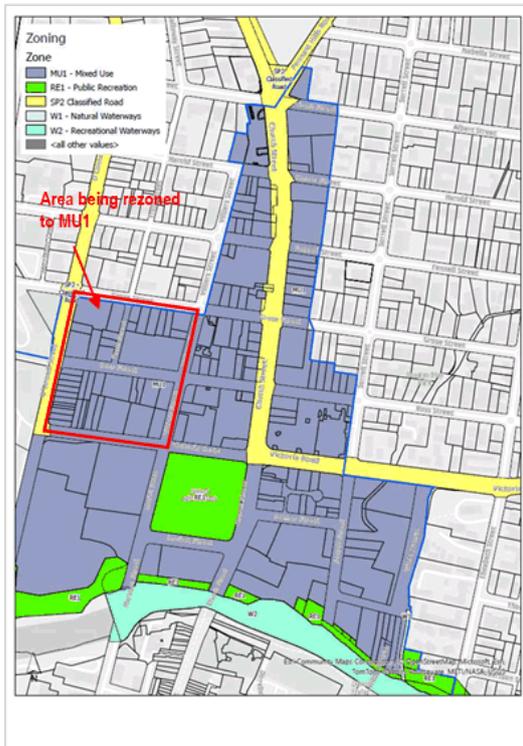
- summarise the new LEP controls that relate to the Church Street North area, which will provide context for the new draft DCP controls (**see Part A**), and
- outline other forthcoming amendments to the LEP that affect both the Church Street North area and Parramatta City Centre (**see Part B**).

### **Part A: Summary of the changes to the PLEP 2023 by the SEPP (Church Street North Precinct) 2023 that specifically affect the Church Street North area**

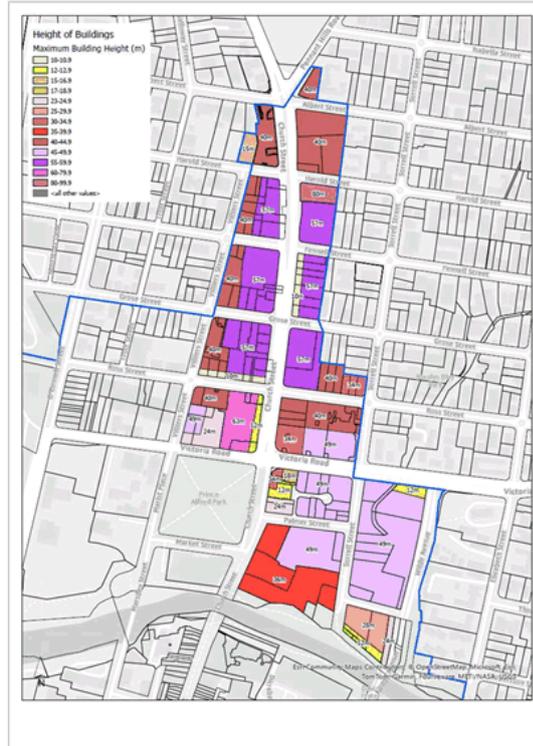
The changes include:

- Introduces a new local provisions clause that applies to an area identified in the Special Provisions Area Map referred to as "Area C" (as shown on page X of this attachment). The provision is a place-based bonus height and FSR mechanism (details available in [15] Part 7, Division 6 of the SEPP).
- Amendments to the Land Zoning Map, Height of Buildings Map, Floor Space Ratio Map and Special Provisions Area Map. The amendments to the maps are:
  - o **Land Zoning Map** – rezones the block bounded by Victoria Road and O'Connell Street, Grose Street and Villiers Streets from the R2 zone to the MU1 zone as shown in the Land Zoning Map edged with a red line below.). This rezoning removes the last remaining area of land zoned residential within the Parramatta City Centre.
  - o **Height of buildings Map** – amends heights from a mix of 15m, 24m, 34m, 40m and 80m to a mix of 10m, 18m, 28m, 34m, 40m, 57 and 63m. Refer to the forthcoming Height of Buildings Map below.
  - o **Floor Space Ratio Map** – from a mix of 2:1, 3:1 and 4:1 to a mix of mostly 4.5:1 and 5:1. Refer to the forthcoming Floor Space Ratio Map, below.
  - o **Active Frontages Map** and the **Flood Risk Management Map** – extending their application into the parts of the Church Street North Precinct area. Refer to the map, below.
  - o **Special Provisions Area Map** – Amend the 'Area A' boundary to remove the Church Street North Precinct which will switch on the following provisions in Part 7: 7.3 Floor space ratio; 7.14 Competitive design process; 7.15 Additional building height; 7.17 Car parking; 7.22 Managing heritage impacts; 7.23 End of journey facilities; 7.24 Dual water systems; 7.25 High performing building design; and Amends the map to identify new two new areas: "Area C" and "Area D". Refer to the map below.
  - o **Sun Access Protection Map** – introduce a solar plane access control to prevent additional sunlight to Prince Alfred Park. Refer to the map below.

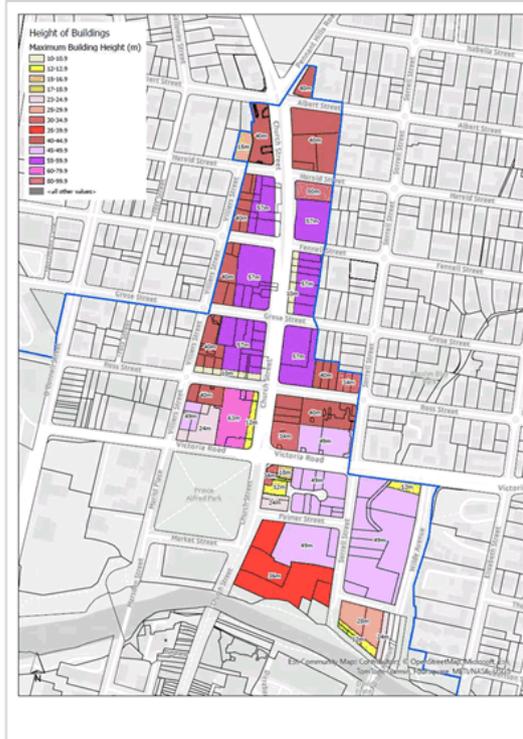
Land Zoning Map



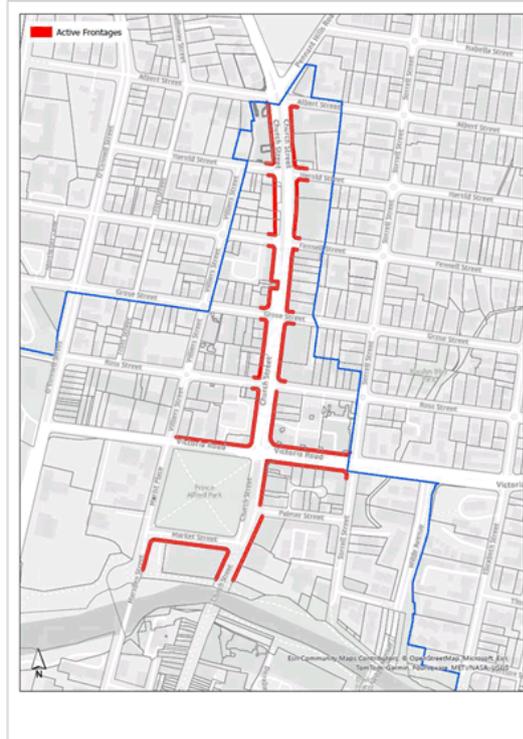
Height of Buildings Map



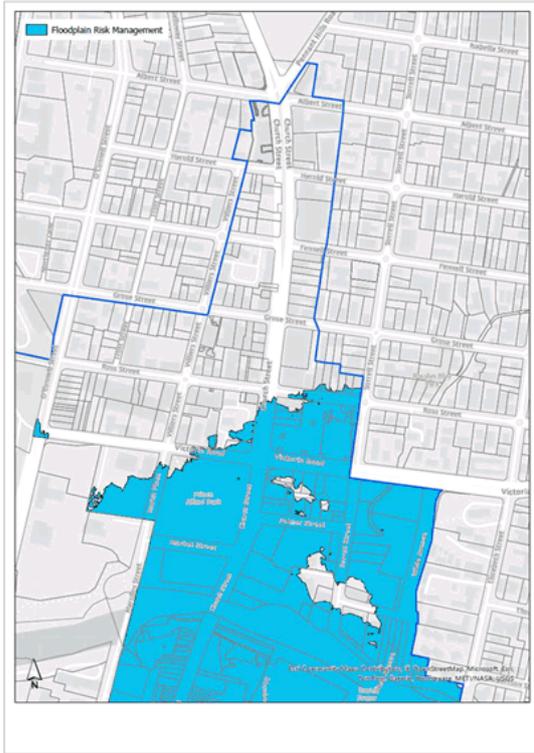
Floor Space Ratio Map



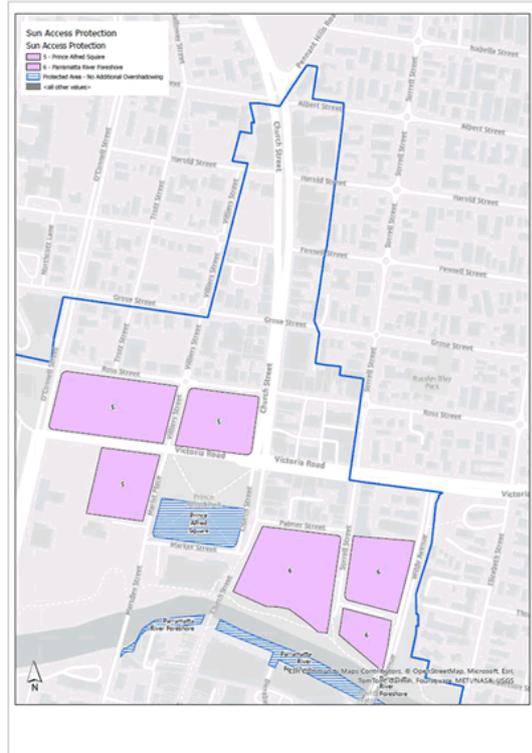
Active Frontages Map



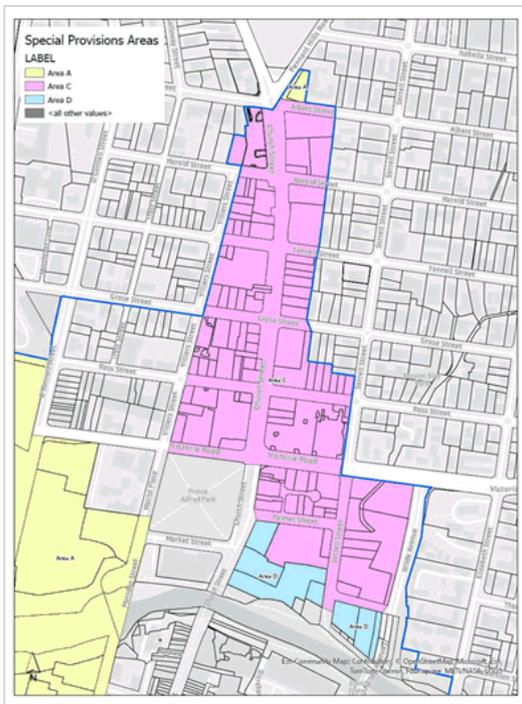
Floodplain Risk Management Map



Sun Access Protection Map



Special Provisions Area Map



**Part B: Summary of the changes to the [PLEP 2023](#) by the [SEPP \(Church Street North Precinct\) 2023](#) that affect the Parramatta City Centre and Church Street North area**

The SEPP amends Part 7 Additional local provisions – Parramatta City Centre, as follows:

1. Amends the following clauses:
  - a. **7.3 Floor space ratio** – sets a sliding scale for FSRs for sites under 1,800 sqm.
  - b. **7.14 Competitive design process** – changes the threshold for triggering a design competition becomes a building height greater than 40 metres.
  - c. **7.15 Additional building height and floor space ratio** – where there is an opportunity for an additional 15% height and FSR subject to a development being the winner of a design process and exhibiting design excellence.
  - d. **7.17 Car parking** – ensure this clause applies to the Church Street North Precinct.
  - e. **7.22 Managing heritage impacts** – to apply this clause to ‘Area C’ and ‘Area D’ and include the southern portion of the North Parramatta Heritage Conservation Area so as to be considered by the consent authority.
  - f. **7.23 End or journey facilities** – ensure this clause applies to the Church Street North Precinct.
  - g. **7.24 Dual water** – ensure this clause applies to the Church Street North Precinct.
  - h. **7.25. High performing building design** – ensure this clause applies to the Church Street North Precinct.

### Attachment 3 - Council report on the Draft DCP for the Church Street North Precinct

The purpose of this Attachment is to illustrate:

- the new DCP changes to Section 9.5 of PDCP 2023; and
- the consequential changes required to Section 7.10.1, Part 9 and Part 9B of PDCP 2023 on account of the new changes.

Parramatta Development Control Plan 2023, Part 9: Parramatta City Centre  
[cityofparramatta.nsw.gov.au/sites/council/files/2023-09/09 - Part 9 Parramatta City Centre.pdf](http://cityofparramatta.nsw.gov.au/sites/council/files/2023-09/09 - Part 9 Parramatta City Centre.pdf)

Section of the DCP being amended	New controls or consequential changes?
Section 9.5.11 Church Street North Special Area controls	New controls
Section 9.1 to 9.9 Parramatta City Centre	Consequential changes
Section 7.10.1 Parramatta North Conservation Area	Consequential changes
Sections 9.10.1, 9.10.19 & 9.10.20, Site Specific Controls for 470 Church Street and 8-12 Victoria Road ad 2A Villiers Street	Consequential changes
Part 9B Parramatta City Centre Auto Alley (West)	Consequential changes

### 9.5.11 CHURCH STREET NORTH

The Church Street North Special Area forms the northern extension of the Parramatta City Centre and is located between Victoria Road, Belmore Park and two highly sensitive heritage areas - the North Parramatta Heritage Conservation Area (HCA) to the west and the Sorrell Street HCA to the east. The Parramatta Light Rail runs along Church Street and serves the area with a stop between Harold and Fennell Streets. The future character of the area continues the high street functionality of Church Street to the south of the Parramatta River with street defining buildings and active uses at lower levels (see Section 9.5.4 Church Street).

As the area is largely confined to urban blocks along the axis of Church Street, there is a need to provide a transition in use and form to the surrounding low scale, largely residential setting of North Parramatta. On the eastern side of the precinct, transition to the Sorrell Street HCA is achieved across blocks as building forms step up from a lower scale along Sorrell Street to towers along Church Street. East west view corridors between towers, mid-block tree planting, and street setbacks aligned to heritage buildings contribute to the transition. On the western side of the precinct, Villiers Street separates future development from the North Parramatta HCA. Additional transition is achieved with a step in building height from Villiers Street to Church Street and with a generous street setback along Villiers Street with canopy tree planting forming a direct visual interface to the heritage area.

A number of buildings of heritage significance are located along Church Street and are contributing to the streetscape and human scale of the area. These buildings are of 1-2 storeys and have varied settings that require a bespoke design response. Some items contribute to an aligned street wall edge, while others are set back from the street and sit in space.

To unify development across the precinct and respond to the broader heritage setting, consistent building setbacks along east-west streets are defined by prevailing heritage building frontage alignments. This not only allows heritage items to form a dominant part of the streetscape, but also provide opportunities to extend the vegetated character of North Parramatta by creating additional space for street tree planting within front gardens.

A new civic square, co-located with the light rail stop, provides much needed open space and opportunities for supporting multi-purpose community facilities that can be used for a range of programs and activities to serve the local community. New pedestrian through site links provide improved permeability and fine grain activity that complements Church Street. Communal open spaces within private development complement the public domain with landscaped courtyards and generous tree canopy in deep soil.

Church Street North Special Area controls aim to realise a mixed-use area of the City Centre with retail and commercial spaces at lower levels and predominantly residential uses within street edge podium and tower forms, arranged along green streets and around landscaped courtyards with increased tree canopy.



Figure 9.5.11.1 – Church Street North Special Area Framework

## Objectives

- O.01 Conserve heritage buildings to the highest standard and activate street frontages through both the adaptive reuse of heritage items as well as the provision of active ground floor spaces within and around the heritage buildings in the Church Street North Special Area.
- O.02 Integrate heritage buildings as part of an overall site development strategy that achieves pedestrian connectivity and site permeability around the heritage buildings, resulting in a fine network of intimate streets and through site links in the area.
- O.03 Allow heritage items, including those in the adjacent HCAs, to be the dominant features of the streetscape and create defined view corridors along east-west streets from HCAs up to Church Street and visa versa.
- O.04 Maintain the vegetated character of North Parramatta by enabling large canopy trees in deep soil within the front setbacks, public domain and communal open spaces at ground.
- O.05 Extend the fine-grain high-street character of Church Street from south of the River, northwards towards Belmore Park to create continuity between the north and south of the City Centre.
- O.06 Provide building forms and communal open spaces that are appropriately proportioned for residential uses.
- O.07 Encourage slender tower forms and generous separation between towers to create views to sky between towers when observed from both the North Parramatta Heritage Conservation Area and Sorrell Street Heritage Conservation Area.
- O.08 Orientate building forms to minimise their impact on Heritage Conservation Areas and create consistent spacing between towers that aligns tower development across the block increasing views to sky.
- O.09 Locate towers to protect view corridors of historical and cultural value such as the views along the Church Street axis, views to Prince Alfred Park, and views along east-west streets.
- O.10 Protect solar access to significant public open spaces, the public domain, and adjacent heritage conservation areas.
- O.11 Ensure new publicly accessible spaces, such as through site links and civic squares, are suitable distributed, adequately sized, integrated with the broader public domain network, and designed to Council's standards.
- O.12 Improve legibility, pedestrian connections and enable transition between lots on Church Street, neighbouring lots, and Heritage Conservation Areas through a permeable ground plane with visual and/or physical connectivity through the blocks in accordance with **Figure 9.5.11.1** – *Church Street North Special Area Framework*.

Controls

Unless modified or specifically excluded below, all controls in [Sections 9.1 to 9.4](#) and [Sections 9.6 to 9.9](#) of this Part apply to development within the Church Street North Special Area.

C.01 Site consolidation must comply with [Figure 9.5.11.2 – Church Street North Special Area Public Domain and Consolidation Map](#) to realise the objectives of the Church Street North Special Area.

C.02 New through site links and civic square identified in [Figure 9.5.11.1 – Church Street North Special Area Framework](#) and [Figure 9.5.11.2 – Church Street North Special Area Public Domain and Consolidation Map](#) must be delivered through development or dedicated to Council for delivery in a coordinated manner.



Figure 9.5.11.2 – Church Street North Special Area Public Domain & Consolidation Plan

C.03 Development within the Church Street Special Area must comply with the building setbacks specified in **Figure 9.5.11.3 – Church Street North Special Area Building Setbacks.**



Figure 9.5.11.3 – Church Street North Special Area Building Setbacks

C.04 Development within the precinct must comply with the setback and envelope controls specified in **Figure 9.5.11.4 – Church Street North Special Area Required Setbacks and Built Form.**



Figure 9.5.11.4 – Church Street North Special Area Required Setbacks & Built Form

C.05 Development within the precinct must comply with the following specified envelope controls:

- a) On Church Street, the street wall must be built to boundary as per **Figure 9.5.11.5** unless otherwise specified in **Figure 9.5.11.3** and **Figure 9.5.11.4** to provide new civic square or curtilage to heritage items.



Figure 9.5.11.5 – Typical Setbacks and Street Wall Height on Church Street (Section A)

- b) On the eastern side of Villiers Street, a minimum 6m street setback must be provided of which 2m is to be dedicated to street widening for the Marsden Street Cycleway project as per **Figure 9.5.11.6**.

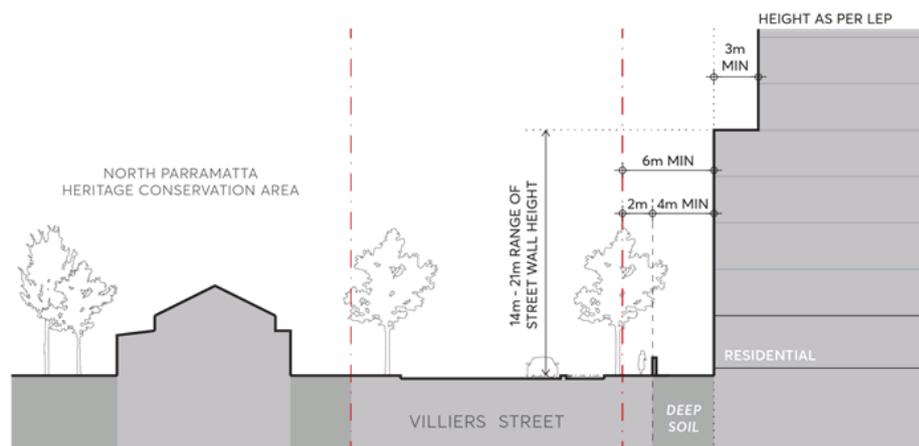


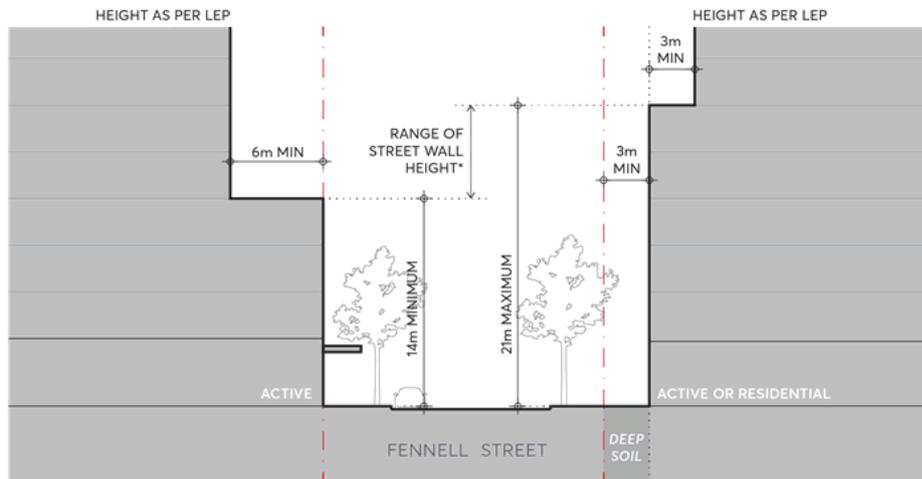
Figure 9.5.11.6 – Typical Setback and Street Wall Height on Villiers Street (Section B)

- c) Street setbacks and street wall heights on Harold Street must comply with **Figure 9.5.11.7** (Section C). Development on the northern side of Harold Street must provide a 12 metre building setback to provide curtilage to the heritage item at 476 Church Street. The street wall must be set back a minimum 3 metres from the street boundary on the southern side of Harold Street with the tower set back a minimum of 3 metres from the street wall.



Figure 9.5.11.7 – Typical Setbacks and Street Wall Height on Harold Street (Section C)

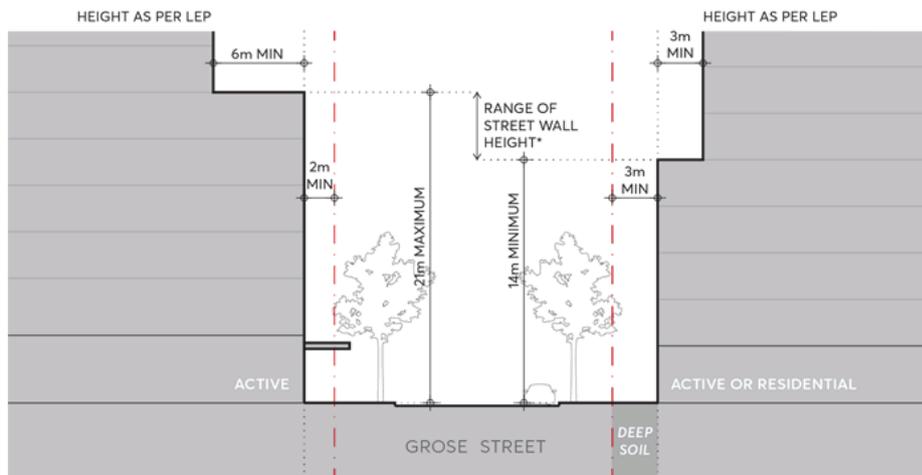
- d) Street setbacks and street wall heights on Fennell Street must comply with [Figure 9.5.11.8](#) (Section D). Development on the northern side of Fennell Street must provide a 3 metre building setback to align with the prevailing setback defined by heritage items on the street, and towers set back a minimum of 3 metres from the street wall. Development on the southern side of Fennell Street may be built to the street boundary with towers set back a minimum of 6 metres from the street wall.



\* EXCEPT WHERE MAXIMUM STREET WALL HEIGHT HAS BEEN DEFINED BY THE LEP

Figure 9.5.11.8 – Typical Setbacks and Street Wall Height on Fennell Street (Section D)

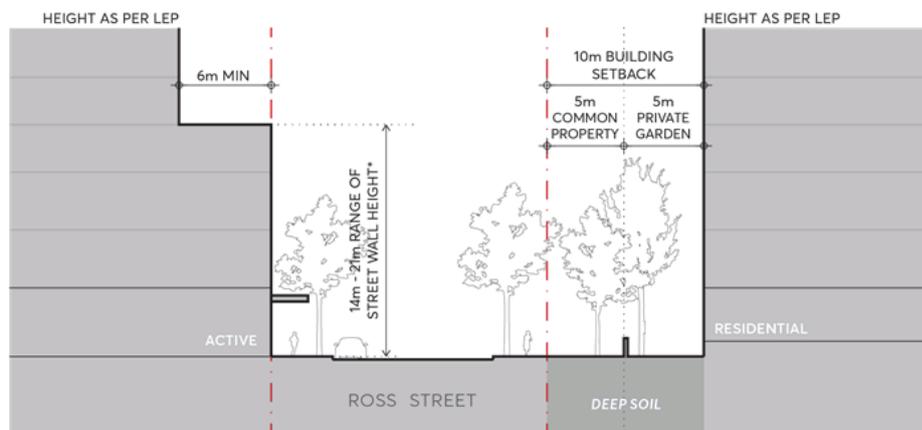
- e) Street setbacks and street wall heights on Grose Street must comply with [Figure 9.5.11.9](#) (Section E). Development on the northern side of Grose Street must provide a 3 metre building setback to align with the prevailing setback defined by heritage items on the street, and towers set back a minimum of 3 metres from the street wall. Development on the southern side of Grose Street must provide a 2 metre building setback with towers set back a minimum of 6 metres from the street wall.



\* EXCEPT WHERE MAXIMUM STREET WALL HEIGHT HAS BEEN DEFINED BY THE LEP

Figure 9.5.11.9 – Typical Setbacks and Street Wall Height on Grose Street (Section E)

- f) Street setbacks and street wall heights on Ross Street to the west of Church Street must comply with [Figure 9.5.11.10](#) (Section F). Development on the northern side of Ross Street must provide a 10 metre building setback to provide curtilage around the heritage item at 387 Church Street. This space is to be provided as deep soil landscape to support large canopy tree planting. Development on the southern side of Ross Street may be built to the street boundary with towers set back a minimum of 6 metres from the street wall.



\* EXCEPT WHERE MAXIMUM STREET WALL HEIGHT HAS BEEN DEFINED BY THE LEP

Figure 9.5.11.10 – Typical Setbacks and Street Wall Height on Ross Street (Section F)

- g) Buildings must provide a vegetated set back that is a minimum of 6 metres from the common boundary shared with lots to the east of the Church Street North Special Area, and towers set back a minimum of 9 metres from the common boundary as per [Figure 9.5.11.11](#) (Section G), subject to building separation controls specified in [C.07](#).

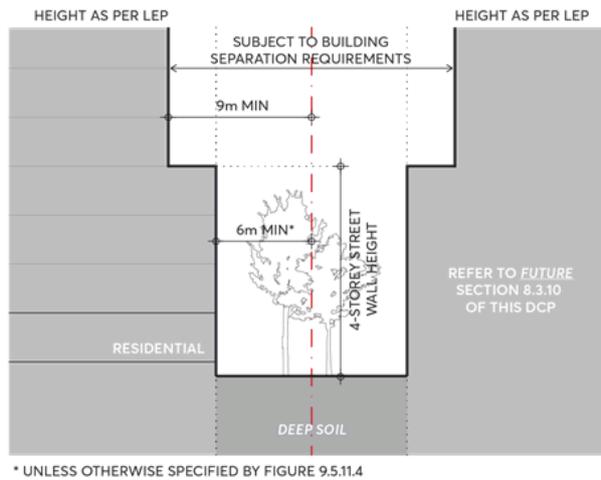


Figure 9.5.11.11 – Setbacks and Street Wall Height to boundary shared with mid-block properties to the east (Section G)

- a) Setbacks and street wall heights on east-west through site links must comply with **Figure 9.5.11.12** (Section H). Development must provide a through site link that is a minimum of 6 metres wide. Tower setbacks are to be determined by building separation requirements.

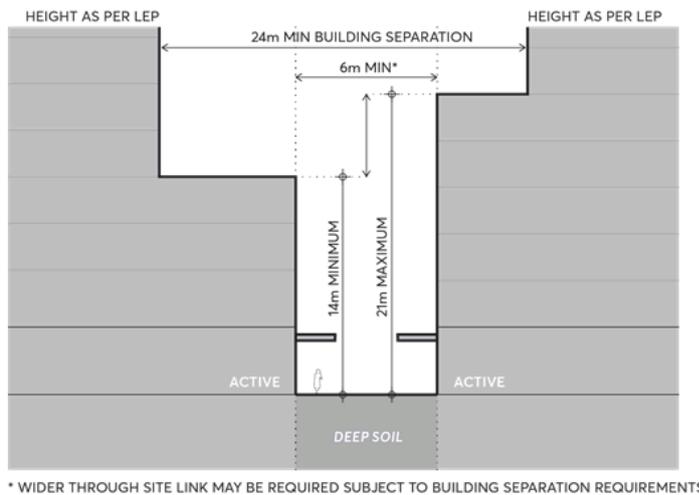


Figure 9.5.11.12 – East West (Section H) Through Site Link Setbacks and Street Wall Height

- b) Setbacks and street wall heights for any part of development at 446-458 Church Street must comply with **Figure 9.5.11.13** (Section J). Development on these sites must provide a building set back of 14 metres from the street boundary to create curtilage around the heritage items. This set back must be open to sky and no part of the building may overhang heritage. Development on the western side of Church Street must be built to the street boundary with towers set back a minimum of 6 metres from the street wall.

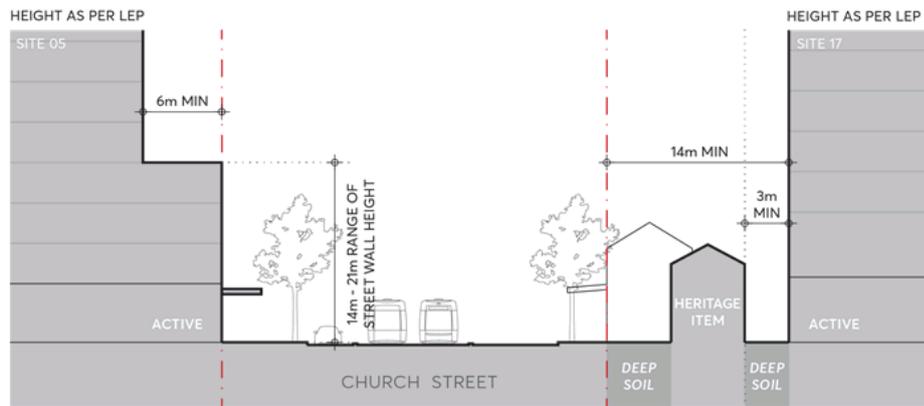


Figure 9.5.11.13 – Site 17 (Section J) Setbacks and Street Wall Height

- c) Setbacks and street wall heights on the future civic space must comply with **Figure 9.5.11.14** (Section K). The civic space must have a minimum dimension of 30 metres in a north-south direction, and 24 metres in an east-west direction. The street wall height may be provided within the range of 14 metres to 21 metres, and towers set back a minimum of 3 metres from the street wall.

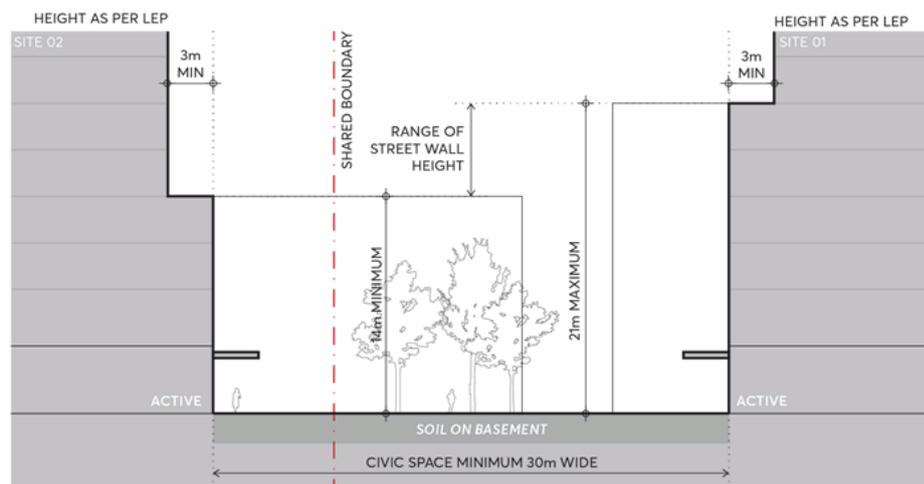


Figure 9.5.11.14 – Civic Space (Section K) Setbacks and Street Wall Height

- C.06 Development on the eastern side of Church Street must provide a setback to neighbouring properties within the North-East Parramatta Precinct (refer to **future Section 8.3.10** of this DCP). Side setbacks must comply with **Figure 9.5.11.4 - Church Street North Special Area Required Setbacks and Built Form** and ensure consistency with building separation objectives of the Apartment Design Guide.
- C.07 Where possible, buildings should be designed so that the short edge of towers may be orientated towards the North Parramatta Heritage Conservation Area and Sorrell Street Heritage Conservation Area to minimise their impact on these areas of heritage significance. Where possible, towers should be aligned across the block to create generous views to sky between towers when observed from either HCA, as per **Figure 9.5.11.15**.



Figure 9.5.11.15 – Spaces between towers to enable views to sky

C.08 Towers must have a minimum separation of:

- a) 18 metres between primarily east-west facing facades as per [Figure 9.5.11.16](#) and
- b) 24 metres between primarily north-south facing facades as per [Figure 9.5.11.17](#).

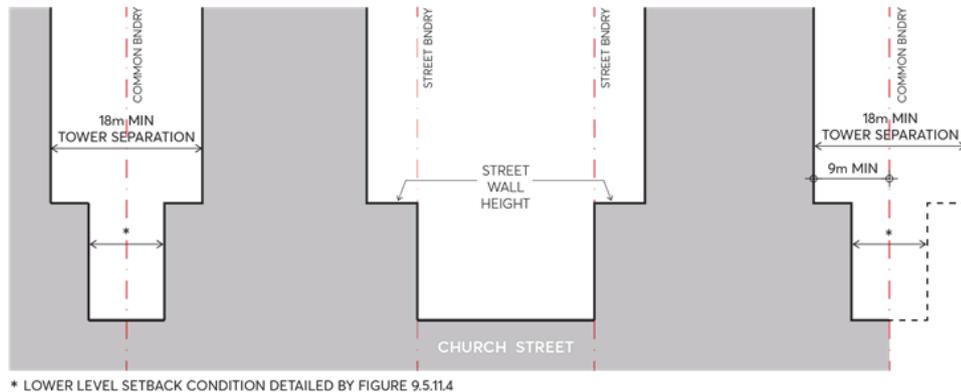


Figure 9.5.11.16 – Tower separation between primarily east-west facing facades

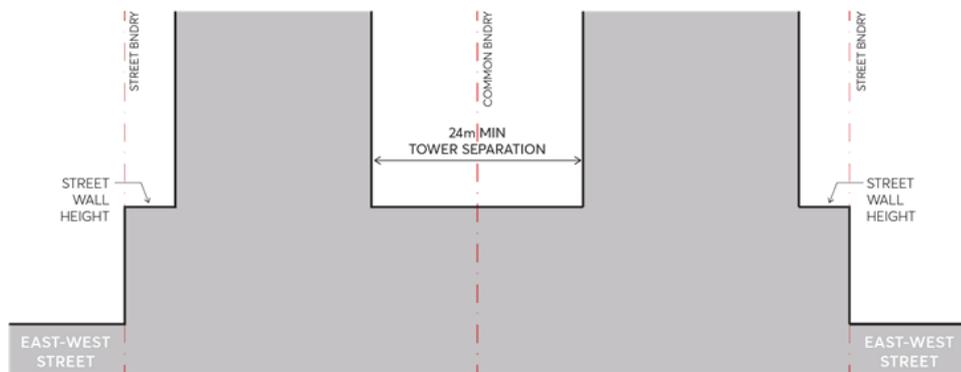


Figure 9.5.11.17 – Tower separation between primarily north-south facing facades

- C.09 All development containing a residential component must provide a minimum deep soil area equal to 7% of the total site area. All deep soil zones must have a minimum dimension of 6 metres x 6 metres.
- C.10 Where green coloured areas are shown in [Figure 9.5.11.4 - Church Street North Special Area Required Setbacks and Built Form](#) it is desirable that these areas be used as a communal courtyard and/or landscaped area.
- C.11 Deep soil is to be delivered primarily within the street setback zones and mid-block locations where they will be collocated with communal open space at ground.
- C.12 Where the street setback adjoins active uses, the setback zone is to be provided as publicly accessible space and designed as an extension of the footpath. All stairs and ramps on active frontages must be internalised to ensure the public domain and front setback zones are kept relatively level, accessible and uncluttered.
- C.13 Driveways servicing new development are not permitted on Church Street and Villiers Street.
- C.14 Pedestrian and vehicle conflict are to be minimised with limited vehicle crossings to the public domain. Crossings are to be generally in accordance with [Figure 9.5.11.4 - Church Street North Special Area Required Setbacks and Built Form](#).

## HERITAGE AND ARCHAEOLOGY

**PARRAMATTA WARD****7.10.1 NORTH PARRAMATTA AND SORRELL STREET CONSERVATION AREAS**

The location of North Parramatta Conservation Area is depicted in Figure 7.10.1.1 and the location of Sorrell Street Conservation Area is depicted in Figure 7.10.1.2.

The southern portion of the North Parramatta Conservation Area situated between Grose and Ross Streets is located within the Parramatta City Centre via SEPP (Church Street North Precinct) 2023 which rezoned this block from the R2 zone to the MU1 zone. Therefore, applicants must also consult section 9.6 Heritage in Part 9 of this DCP as it supports clause 7.22 Managing heritage impacts in Parramatta LEP 2023 which also applies to this portion of the Conservation Area.

**7.1.1.1 HISTORY****NORTH PARRAMATTA**

By 1846, there was little development north of Fennell Street, apart from along Church Street. The only building from this period is Roseneath, built c 1837, but there are likely to be some belowground archaeological deposits. A decade later, when the streets were surveyed to enable them to be officially aligned, more cottages had been erected. Several dwellings remain from the 1860s and 1870s.

The 1880s was the most intensive period of development. The economic confidence of the time encouraged speculative builders and landowners to construct houses. By 1895, when the area was surveyed for the sewerage system, a relatively dense pattern of houses had developed, with only a few pieces of vacant land west of Church Street.

The area retained its character as an area for cottages, with some houses built each decade. From the 1960s onwards, Council approved two and three storey residential flat buildings in North Parramatta, most of which involved the demolition of two or more small old dwellings.

Archaeological investigations in Parramatta have shown that there is a high likelihood of valuable archaeological material below ground that is worthy of investigation and archaeological excavation if and when development occurs.

**SORRELL STREET**

Sorrell Street was one of the early streets developed north of the Parramatta River. Its southern end between Palmer and Grose Streets was shown on a map of 1825, and the Brownrigg Map of 1844 shows the full extent of the street as it is today. At this time there were few buildings, mostly south of Grose Street, none of which remain today. There has been considerable re-subdivision including the creation of allotments to face Sorrell Street, whereas most originally faced north or south to Ross, Grose or Fennell Streets.

## HERITAGE AND ARCHAEOLOGY

Most buildings were constructed before 1895. Development was underway here in the 1840s as land in the centre of Parramatta was occupied. Building continued steadily from the 1860s to the 1880s. By the late nineteenth century, the original houses had been replaced by larger houses, some of which replaced two smaller houses. New houses were occasionally built in the subdivided grounds of existing houses with several houses built every decade. From the 1960s, Council approved residential flat buildings on the western side of Sorrell Street that required the amalgamation of several properties and the demolition of small houses.

Today the area includes houses in a range of scales and materials, dating from the 1830s to the 1950s, and residential flat buildings dating from the late 1950s to the 1990s. Buildings and grounds vary in scale from Endrim (the oldest house in the street), a two-storey villa with a large garden that occupies most of the land on the eastern side between Albert and Harold Streets, to small cottages built close to the street.

### 7.1.1.2 STATEMENT OF SIGNIFICANCE

#### NORTH PARRAMATTA

An area of early government subdivision in Parramatta that retains a considerable number of small dwellings and houses built from the mid-nineteenth century until the early twentieth century. In the nineteenth and early twentieth century this area was popular with the proprietors of businesses in Parramatta and it retains much of its residential character from this period. The predominance of small single storey cottages on their own allotments reflects the character of Parramatta north of the river from the mid nineteenth century until redevelopment for residential flats started in the 1960s. This area contains 46% of the dwellings that existed here in 1895.

HERITAGE AND ARCHAEOLOGY

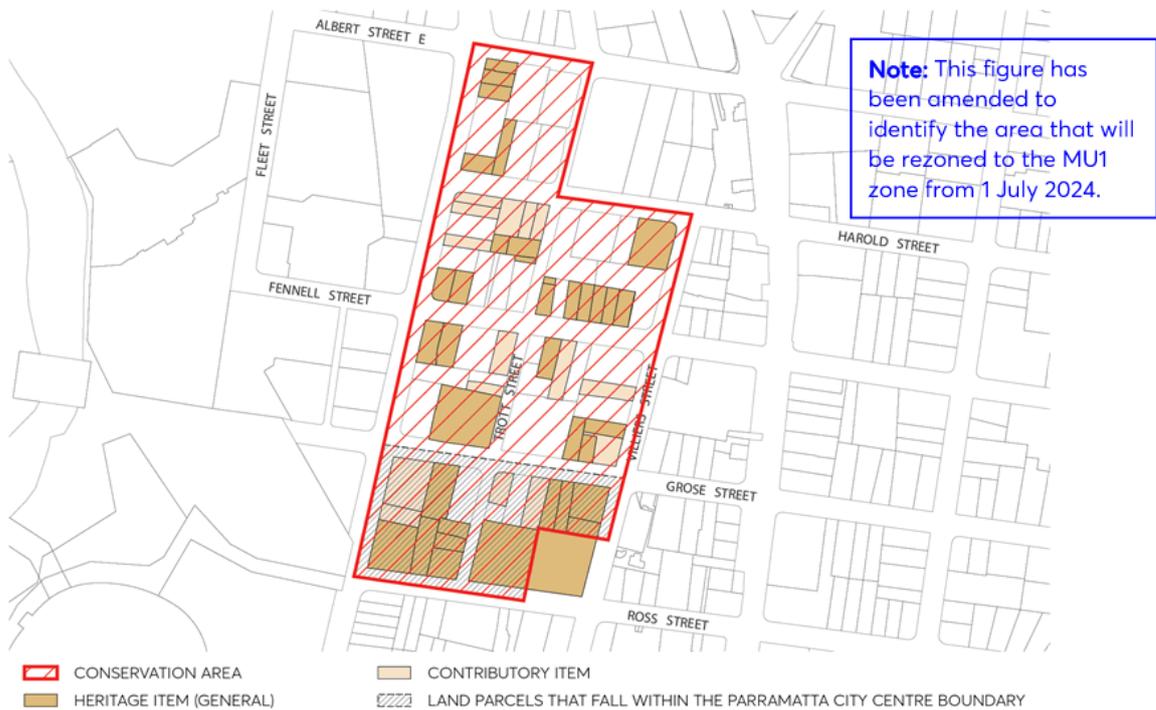


Figure 7.10.1.1 – North Parramatta Conservation Area

SORRELL STREET

An important local road in Parramatta north of the river, together with street trees and houses dating from the mid-nineteenth century to the mid-twentieth century. The Sorrell Street area demonstrates the variety of small and large dwellings built in Parramatta, north of the river, in the nineteenth and early twentieth century. The predominance of small single storey cottages on their own allotments reflects the character of Sorrell Street from the mid-nineteenth century until redevelopment for residential flats started in the 1960s. This area contains 63% of the dwellings that existed here in 1895.

## HERITAGE AND ARCHAEOLOGY



Figure 7.10.1.2 – Sorrell Street Conservation Area

## 7.1.1.3 DISTINCTIVE CHARACTERISTICS

- Gently sloping landform.
- Pattern of development from the nineteenth and early twentieth centuries of mostly small single-storey dwellings on their own allotments, in a variety of forms and styles with front verandahs, sited close to the street, together with a small number of larger houses with gardens.
- Twentieth century houses built on undeveloped land or replacing early small dwellings set further back than earlier houses with small front gardens.
- Gardens/yards at the rear of small dwellings that are likely to retain old wells from the era before the installation of a town water supply.
- Residential flat buildings dating from the 1960s onwards, two to four storeys in scale with driveways and ground level garages: these developments involved the amalgamation of two or more small allotments and the demolition of small dwellings.
- Absence of driveways across footpaths and hence the absence of garages at the front of lots and in the street scene.
- Stone kerbs and gutters and street trees.
- Street pattern from original government subdivision.
- Archaeological evidence of early dwellings constructed in Parramatta before the present buildings.

HERITAGE AND ARCHAEOLOGY

---

#### 7.1.1.4 PROVISIONS

Development should be in accordance with the general provisions under Section 7.4 of this DCP and the additional specific provisions below:

##### Objectives

The following objectives are applicable to both North Parramatta Conservation Area and Sorrell Street Conservation Area.

- O.01 Reinstatement of residential use in buildings originally constructed as dwellings. [Where a development application affects land zoned MU1 in North Parramatta Conservation Area, non-residential uses must be accommodated within the fabric of the building.](#)
- O.02 Ensure residential development are compatible with the small scale of its significant buildings.
- O.03 Retention of all buildings that contribute to the history of the area as a residential area from the mid-nineteenth century up to 1945.
- O.04 Retention of the existing pattern of allotments of North Parramatta and Sorrell Street Conservation Areas.
- O.05 Continued use for residential purposes and the re-establishment of residential use within buildings originally constructed as dwellings. [Where a development application affects land zoned MU1 in North Parramatta Conservation Area, non-residential uses must be accommodated within the existing building footprint and layout.](#)
- O.06 To avoid disturbance of significant archaeological deposits without investigation in accordance with the provisions of the *Heritage Act 1977*.

##### Controls

The following controls are applicable to both North Parramatta Conservation Area and Sorrell Street Conservation Area.

##### Subdivision

- C.01 Maintain the historical pattern of subdivision and re-subdivision to form allotments for small dwellings [including for any development application proposing non-residential development in the MU1 zone in North Parramatta Conservation Area.](#)
- C.02 Allow re-subdivision of lots that have been amalgamated in the past along the north-south line, or along previous boundaries as shown in the 1895 plan.
- C.03 Avoid re-subdivision across the line of subdivision or by amalgamation of rear garden space.
- C.04 Avoid development that involves the amalgamation of allotments and buildings that cross allotment boundaries.

## HERITAGE AND ARCHAEOLOGY

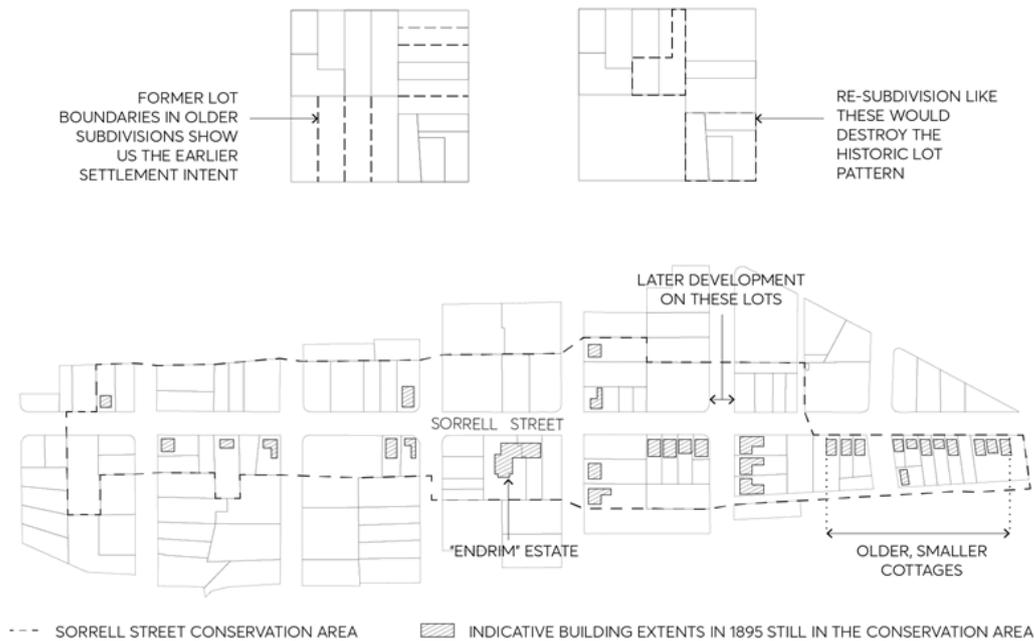


Figure 7.10.1.3 – Subdivision - Sorrell Street Conservation Area, 1895

## Existing Significant Buildings

- C.05 Consider removal of metal cladding followed by repair or reinstatement of weatherboards or other original cladding for buildings that have been clad in metal weatherboards.
- C.06 Consider reinstatement of residential use in buildings built as dwellings but now in commercial use, [except on land zoned MU1 situated within the North Parramatta Conservation Area](#).
- C.07 Avoid removal of stucco from buildings that were originally constructed with a stucco exterior.
- C.08 Avoid re-skinning of brick walls.
- C.09 Avoid removal of original details, except where they are decayed beyond repair and are to be replaced with an identical detail.
- C.10 Avoid adding new period details for which there is no evidence in the existing fabric or in historical photographs.
- C.11 Avoid covering original timber walls with another building material, such as imitation brickwork or metal cladding.
- C.12 Avoid altering the roof form above the main body of the building, other than to reinstate an original roof form.
- C.13 Avoid adding rooms above the main body of the house which require alterations to the existing roof height or shape. Rooms in the roof may be considered but only where ventilated by flat in-plane skylights at the rear of the roof.

## Siting and Garden Area

## HERITAGE AND ARCHAEOLOGY

- C.14 Maintain the historical pattern of development of detached dwellings with garden space around, with the oldest dwellings close to the front boundary and later dwellings and other buildings with larger setbacks [including on land in the MU1 zone](#).
- C.15 At least 40% of the site must be garden area. Ensure a high level of amenity [for dwellings](#) with garden spaces suitable for outdoor living, clothes drying, children's play, etc.,.
- C.16 Maintain features of heritage value in the garden area.
- C.17 Keep brick paving for paths and driveways.
- C.18 Keep all mature trees.

## Alterations and Additions

- C.19 Additions, limited to one storey, may occur at the rear of heritage buildings to increase the facilities available, provided the original character of the building is retained, the works do not involve demolition of significant parts of the building, and are in scale with the existing buildings. For most cottages, the roof space is too small for rooms to be accommodated without changing the roof scale and form.
- C.20 Keep the existing form of the roof above the main body of the existing building.
- C.21 Avoid additions higher than the ridgeline of the existing building.
- C.22 Additions at the rear are encouraged in linked pavilions or skillions.

## New Dwellings

A new small dwelling may be permissible in the rear garden of an historic building [except where land is zoned MU1](#). Provided substantial land is retained around the existing building, car access can be obtained using an existing driveway, or from a rear lane or right of way from an adjoining property. Rooms in the roof may be permissible in the new dwelling provided the total height of the building does not exceed the height of the ridge of the existing building by more than 1m.

- C.23 New rear buildings should be single storey scale with a wall height not greater than 3.6 metres.
- C.24 Avoid hearted or speckled bricks in light colours.
- C.25 Avoid using brightly-coloured or shiny roof coverings, excepting corrugated iron. The following controls apply to development on properties listed under 'Existing Significant Buildings' at the end of this Section.
- C.26 Avoid placing new buildings closer to the front boundary than the existing adjoining buildings and no closer than 6 metres.
- C.27 New buildings to be set back from the rear of existing buildings by a minimum of 10 metres.
- C.28 Investigate archaeological potential of area where new buildings are sited.
- C.29 Keep and repeat the existing form of the roof above the main body of building.
- C.30 Hipped or gabled pitched roofs should not exceed 35 degrees.
- C.31 Materials for new buildings to be rendered brick, common or face bricks, with tiles or corrugated iron roof.
- C.32 Keep significant archaeological deposits intact unless excavated in accordance with the provisions of the *Heritage Act 1977*.

## HERITAGE AND ARCHAEOLOGY

The following controls apply to new development on all properties not listed under 'Existing Significant Buildings' at the end of this Section.

- C.33 The building should have a residential use, [including on land zoned MU1 situated within the North Parramatta Conservation Area](#).
- C.34 Keep and repeat the existing setback from the front boundary (or minimum setback of 6m whichever is the greater).
- C.35 Keep and repeat verandahs at the front of buildings.
- C.36 Keep and repeat the scale of nearby historic buildings, with no building exceeding 10m in width at the front wall.
- C.37 Avoid having rooms in the roof which are larger than 60% of the floor area of the ground floor covered by the same roof.
- C.38 Avoid constructing buildings of similar scale to the existing residential flat buildings.

## Character of Additions and New Dwellings

- C.39 New building works should respect the scale of historic buildings but should not copy their style or details (such as by reproducing small panel windows). It is appropriate for the new work to be in a contemporary style.

## Utilities

- C.40 Aerials, antennae, air conditioning units, hot water systems, communication devices, rainwater tanks, roof vents, skylights, solar panels and the like should not be visible from the streetscape or a public place.

## Garages, carports and other ancillary development

- C.41 Garages and carports should not become a prominent part of the streetscape.
- C.42 Back garden placement of garages, carports and other utility buildings must be separate from the main building.
- C.43 Carports may be sited beside the house but only where they:
  - i) are constructed of lightweight frame of timber or metal
  - ii) stand at least 1 metres back from the front wall of the building and would not be a feature in the streetscape, and
  - iii) are not attached to the building and would not obstruct light and air into the building.
- C.44 Avoid creating new vehicular access driveways off Sorrell Street or anywhere in the North Parramatta Conservation Area.
- C.45 Avoid integrating garages into the facades of new buildings, except at the rear of allotments with access to two street frontages (eg laneway frontage) or with access to Trott Street.

## Fences

- C.46 Use low light-weight fences along the front boundary, such as timber picket fences with square tops, or timber frame fences with wire panels, which are common in the area.
- C.47 Front fences are not to exceed 1.2 metres in height.

## HERITAGE AND ARCHAEOLOGY

C.48 Open wire or other metal fences are permissible provided shrubs, hedges or vines are planted to cover the fence.

## Public Lands

C.49 Avoid change to existing stone kerbs and gutters. If repairs are needed, reuse stone for both kerbs and gutters.

C.50 Avoid planting of shrubs and trees that will obscure the views along the streets for pedestrians.

C.51 Avoid designs that involve major changes to the street pavement, such as chicanes, wide paved speed bumps or decorative paving.

## 7.1.1.5 EXISTING SIGNIFICANT BUILDINGS

The following buildings together demonstrate the history of the area and contribute to its significance. They must be retained, together with their original features.

## NORTH PARRAMATTA CONSERVATION AREA

- Fennell Street: 2\*, 4\*, 9\*, 11\*, 12\*, 16\*, 17, 18\*, 20\*, 21\*, 23, 22\*, 24\*
- Grose Street: 1\*, 6\*, 8\*, 9, 10\*, 12\*, 13, 15\*, 17\*, 19\*, 20\*, 22\*, 24
- Harold Street: 1, 2, 3, 5
- O'Connell Street: 40-42\*, 44, 46, 48, 56, 60, 62\*, 72\*, 74\*, 76\*
- Trott Street: 1\*, 2\*, 3\*, 3c\*, 5, 9\*
- Villiers Street: 1, 3, 9

## SORRELL STREET CONSERVATION AREA

- Albert Street: 44\*, 54\*
- Gladstone Street: 1, 4
- Grose Street: 44\*, 46\*, 48.
- Isabella Street: 8\*, 10\*, 12A\*, 14\*, 25\*
- Sorrell Street: 31, 33, 36, 40\*, 42, 44\*, 48, 50\*, 51A, 52\*, 53\*, 54\*, 54A (north of Endrim) 56, 60\*, 62\*, 63\*, 64\*, 66\*, 68A\*, 70\*, 72\*, 75\*, 76\*, 77\*, 78\*, 79\*, 80\*, 81\*, 82\*, 86\*, 88\*, 90\*

\* Heritage Item

PARRAMATTA CITY CENTRE

---

## CONTENTS

9	PARRAMATTA CITY CENTRE.....	1
9B	<b>AUTO ALLEY (WEST)</b> .....	338

**Explanatory note:** Sections which **do not** contain an amendment have been omitted from this version of the DCP only for the purposes of reporting and notification. The sections of this DCP which contain a proposed amendment have been retained and are shown in blue.

PARRAMATTA CITY CENTRE

**Explanatory note:** Sections which **are not** being amended have been omitted from this version of the DCP for the purposes of reporting and notification. Proposed changes are shown in blue text.

## PARRAMATTA CITY CENTRE

9.1	INTRODUCTION .....	1
9.1.1	APPLICATION .....	1
9.2	DESIGN QUALITY .....	2
9.3	BUILT FORM.....	2
9.3.1	GUIDING PRINCIPLES.....	2
9.3.2	MINIMUM SITE FRONTAGE .....	2
9.3.3	THE BUILDING ENVELOPE .....	2
9.3.4	THE STREET WALL.....	2
9.3.5	THE GROUND FLOOR .....	2
9.3.6	ABOVE GROUND PARKING.....	2
9.3.7	RESIDENTIAL APARTMENT DESIGN QUALITY.....	2
9.3.8	WINTERGARDENS .....	2
9.3.9	DWELLING MIX AND FLEXIBLE HOUSING .....	2
9.4	PUBLIC DOMAIN .....	3
9.4.1	SOLAR ACCESS TO SIGNIFICANT PARKS AND SPACES .....	4
9.4.2	AWNINGS AND TREES ON STREETS.....	6
9.4.3	DESIGN OF AWNINGS .....	11
9.4.4	PEDESTRIAN LANES, SHARED ZONES AND SERVICE LANES.....	13
9.4.5	PEDESTRIAN OVERPASSES AND UNDERPASSES .....	16
9.4.6	VEHICLE FOOTPATH CROSSINGS.....	16
9.4.7	VIEWS.....	19
9.5	SPECIAL AREAS .....	22
9.5.1	CITY RIVER.....	23
9.5.2	CIVIC LINK .....	26
9.5.3	GEORGE STREET .....	26
9.5.4	CHURCH STREET.....	26
9.5.5	MARION STREET .....	26
9.5.6	CAMPBELL STREET & GREAT WESTERN HIGHWAY .....	26
9.5.7	AUTO ALLEY .....	26
9.5.8	STATION STREET WEST.....	26
9.5.9	CREEK CORRIDORS .....	26
9.5.10	PARK EDGE HIGHLY SENSITIVE AREA.....	26
9.5.11	CHURCH STREET NORTH [NEW SECTION] .....	26
9.6	HERITAGE .....	27
9.6.1	GUIDING PRINCIPLES.....	27
9.6.2	UNDERSTANDING THE PLACE.....	27
9.6.3	HERITAGE RELATIONSHIPS.....	27

## PARRAMATTA CITY CENTRE

9.6.4	DEMOLITION .....	27
9.6.5	AMALGAMATION OF LOTS.....	27
9.6.6	DEVELOPMENT TO BENEFIT A HERITAGE ITEM .....	27
9.6.7	INTERPRETATION .....	27
9.7	FLOOD RISK MANAGEMENT .....	28
9.7.1	ASSESSMENT AND MINIMISATION OF FLOOD HAZARDS, RISKS AND POTENTIAL FOR HARM.....	29
9.7.2	LAND USE AND BUILDING LEVELS .....	29
9.7.3	SENSITIVE AND CRITICAL USES .....	29
9.7.4	FLOOD WARNING AND EMERGENCY RESPONSE PLANNING .....	29
9.7.5	DEVELOPMENT IN AND NEAR FLOODWAYS, RIPARIAN ZONES AND NATURALISED CHANNELS .....	29
9.7.6	CONTROLS FOR FLOODWAYS.....	29
9.7.7	CONTROLS FOR PARRAMATTA RIVER BANK AND FORESHORES .....	29
9.7.8	CAR PARK BASEMENTS IN FLOOD PRONE AREAS .....	29
9.8	ENVIRONMENTAL SUSTAINABILITY .....	30
9.8.1	HIGH PERFORMING BUILDINGS.....	30
9.8.2	DUAL WATER SYSTEMS.....	30
9.8.3	ALL ELECTRIC BUILDINGS.....	30
9.8.4	ELECTRIC VEHICLE CHARGING INFRASTRUCTURE .....	30
9.8.5	URBAN COOLING .....	30
9.8.6	SOLAR LIGHT REFLECTIVITY (GLARE).....	30
9.8.7	NATURAL REFRIGERANTS IN AIR CONDITIONING.....	30
9.8.8	BIRD FRIENDLY DESIGN .....	30
9.8.9	WIND MITIGATION .....	30
9.9	VEHICULAR ACCESS, PARKING AND SERVICING.....	31
9.9.1	VEHICLE DRIVEWAYS AND MANOEUVRING.....	31
9.9.2	ON SITE CAR PARKING.....	31
9.9.3	BICYCLE PARKING AND END OF JOURNEY FACILITIES .....	32

9.1 INTRODUCTION

9.1.1 APPLICATION

The controls in this Part apply to the Parramatta City Centre as shown in the Land Application Map, below. The controls in this Part support the controls contained in Part 7 of Parramatta LEP 2023.

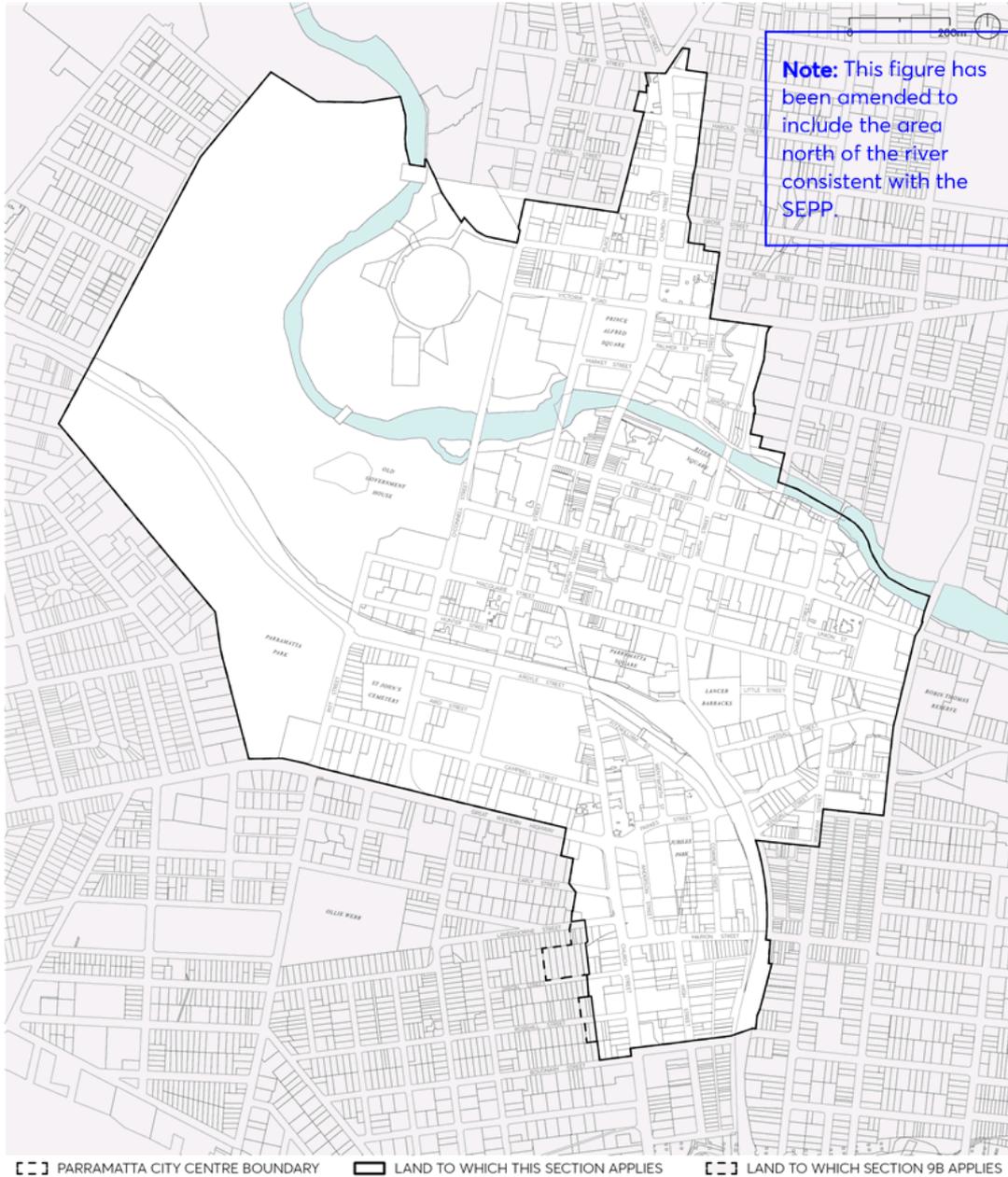


Figure 9.1.1 – Land Application Map – Parramatta City Centre

## 9.2 DESIGN QUALITY

## 9.3 BUILT FORM

**Explanatory note:** No proposed amendments to Sections 9.2 and 9.3.1 - 9.3.4.

## 9.3.1 GUIDING PRINCIPLES

## 9.3.2 MINIMUM SITE FRONTAGE

## 9.3.3 THE BUILDING ENVELOPE

## 9.3.4 THE STREET WALL

## 9.3.5 THE GROUND FLOOR

## 9.3.5.2 FLOOD AFFECTED SITES

Controls for flood affected sites in this section apply to land identified on the [Floodplain Risk Management Map of Figure 9.7.1 Parramatta LEP 2023](#). This section should be read in conjunction with Section 9.7 – Flood Risk Management and follow the site planning and design responses outlined.

Flooding conditions can be a major constraint for any development and must be incorporated in the initial stages of design work. Applicants should contact Council's Flood Engineers at the beginning of the design process to establish the requirements and to avoid abortive work.

Flood affected sites generally require habitable floors to be raised above natural ground level, which may have important implications for ground level relationships with the public domain. In this section a number of possible arrangements at this interface are illustrated. In determining the appropriate layout for each development, the design must take into account and synthesize the flooding parameters, proposed ground level functions, and the context and conditions of the site.

## 9.3.6 ABOVE GROUND PARKING

## 9.3.7 RESIDENTIAL APARTMENT DESIGN QUALITY

## 9.3.8 WINTERGARDENS

## 9.3.9 DWELLING MIX AND FLEXIBLE HOUSING

**Explanatory note:** No proposed amendments to Sections 9.3.6 to 9.3.9.

### 9.4 PUBLIC DOMAIN

Figure 9.4.1 indicates the existing and intended future Public Domain of the Parramatta City Centre together with relevant surrounding places.

Public spaces – streets, squares and parks – are the most enduring spaces of the city, the shared social and cultural domain that make up the organising framework of the City. Their clarity, quality and amenity contribute in a fundamental way to the identity and experience of the city.

This section details aspects of the design of the public domain, and must be read in conjunction with the [Public Domain Guidelines](#), which sets out the process, design guidelines and submission requirements for all new public domain assets in the City of Parramatta.

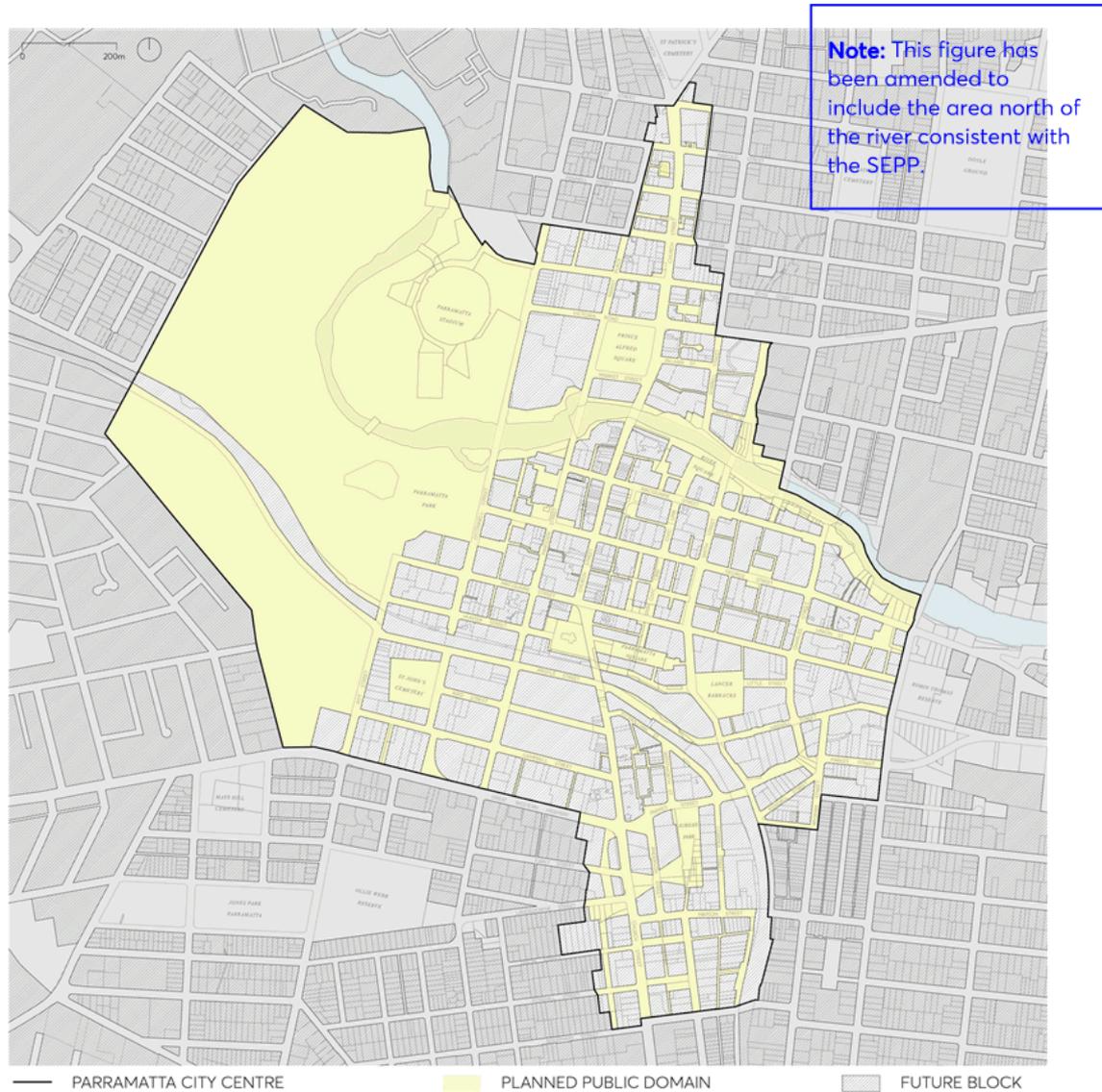


Figure 9.4.1 – The Public Domain

#### 9.4.1 SOLAR ACCESS TO SIGNIFICANT PARKS AND SPACES

Good solar access is an important contributor to the amenity of public spaces. Maintaining sunlight to significant public spaces within and close to the perimeter of the Parramatta City Centre will provide benefit to existing and future residents, workers, and visitors. The provision of solar access throughout the year is essential for a successful public open space. In addition, sunlight is crucial for the establishment and sustained health of tree planting and vegetation which provides attractive and cool environments for people in the City Centre.

The *Parramatta LEP 2023* provides specific solar access controls for Parramatta Square, Lancer Barracks, the River Foreshore and Jubilee Park. Additional parks and spaces within and close to the perimeter of the Parramatta City Centre have been identified in Figure 9.4.1.1 as providing valuable opportunities to maintain and enhance solar access.

##### Objectives

- O.01 Maintain or maximise solar access to the significant parks and spaces in and around the Parramatta City Centre during periods in the day when they are most used throughout the year.
- O.02 Maintain or maximise solar access to spaces which have important recreation values, aesthetic qualities and or heritage significance.
- O.03 Maintain or maximise solar access to existing spaces which may contribute to the open space network in the future.
- O.04 Promote active and passive recreation to public spaces to service existing and planned population of the Parramatta City Centre and surrounds.
- O.05 Ensure the successful growth and survival of trees and vegetation within these parks and spaces.

##### Controls

- C.01 New development, or additions and alterations to existing buildings, must not create any overshadowing to areas marked 'no overshadowing' in all Figures referenced in Column 2 of Table 9.4.1.1, between the nominated times listed in Column 3 of Table 9.4.1.1. Contact Council to source CAD files of areas identified for 'no overshadowing'.
- C.02 Where overshadowing of parks and spaces identified in Figure 9.4.1.1 is likely, a statement with supporting solar access studies must be submitted by a registered architect demonstrating that the proposed development does not overshadow the affected open space consistent with all Figures referenced in Column 2 of Table 9.4.1.1.
- C.03 New development and additions or alterations to existing buildings are to comply with the solar access controls irrespective of the existing height of nearby buildings.
- C.04 Ancillary structures such as columns, pillars, spires, flag poles, public art, and architectural roof features including equipment for servicing the building, such as plant, lift motor rooms, fire stairs and the like, must not be excluded from any overshadowing analysis.

PARRAMATTA CITY CENTRE

PUBLIC DOMAIN

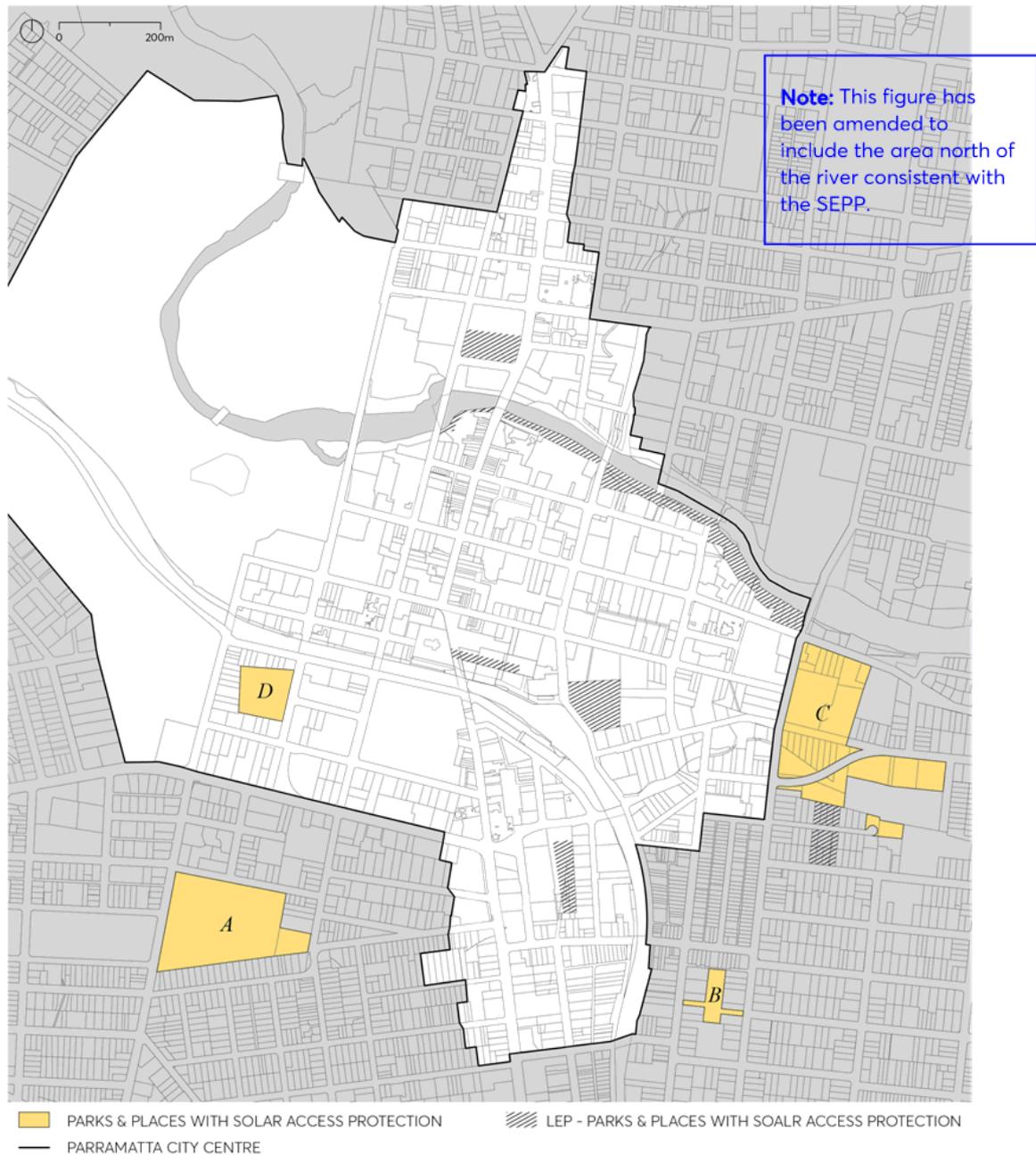


Figure 9.4.1.1 – Parks and Places with Solar Access Protection

#### 9.4.2 AWNINGS AND TREES ON STREETS

Awnings encourage pedestrian activity along streets by providing comfortable conditions at footpath level and, in conjunction with active ground floor frontages, contribute to the vitality of the streets. Awnings are the favoured means to provide shelter and weather protection for pedestrians. Colonnades are generally not supported as they restrict views of the frontage and fragment the public domain.

Trees are essential for their contribution to the amenity and character of the City Centre. When properly selected, located, planted and maintained street trees provide a multitude of benefits to the urban environment.

Ideally, in streets with active ground floor frontages, footpaths in the City Centre would be wide enough for awnings as well as street trees, but public footpath widths are generally 3.6 – 3.9 metres, and mostly insufficient to adequately accommodate both. Consequently, the following sections nominate controls for those streets where awnings have priority, those where trees have priority, and a possible strategy to achieve both awnings and trees where circumstances permit.

##### 9.4.2.1 AWNINGS HAVE PRIORITY

#### Objectives

- O.01 Ensure increased amenity in areas of high pedestrian volume by providing continuous protection from rain, sun and wind down draft.

#### Controls

- C.01 Continuous awnings must be provided along streets where identified in Figure 9.4.2.1.1.
- C.02 Dimensions of awnings must be in accordance with Figure 9.4.2.1.2.

PARRAMATTA CITY CENTRE

PUBLIC DOMAIN

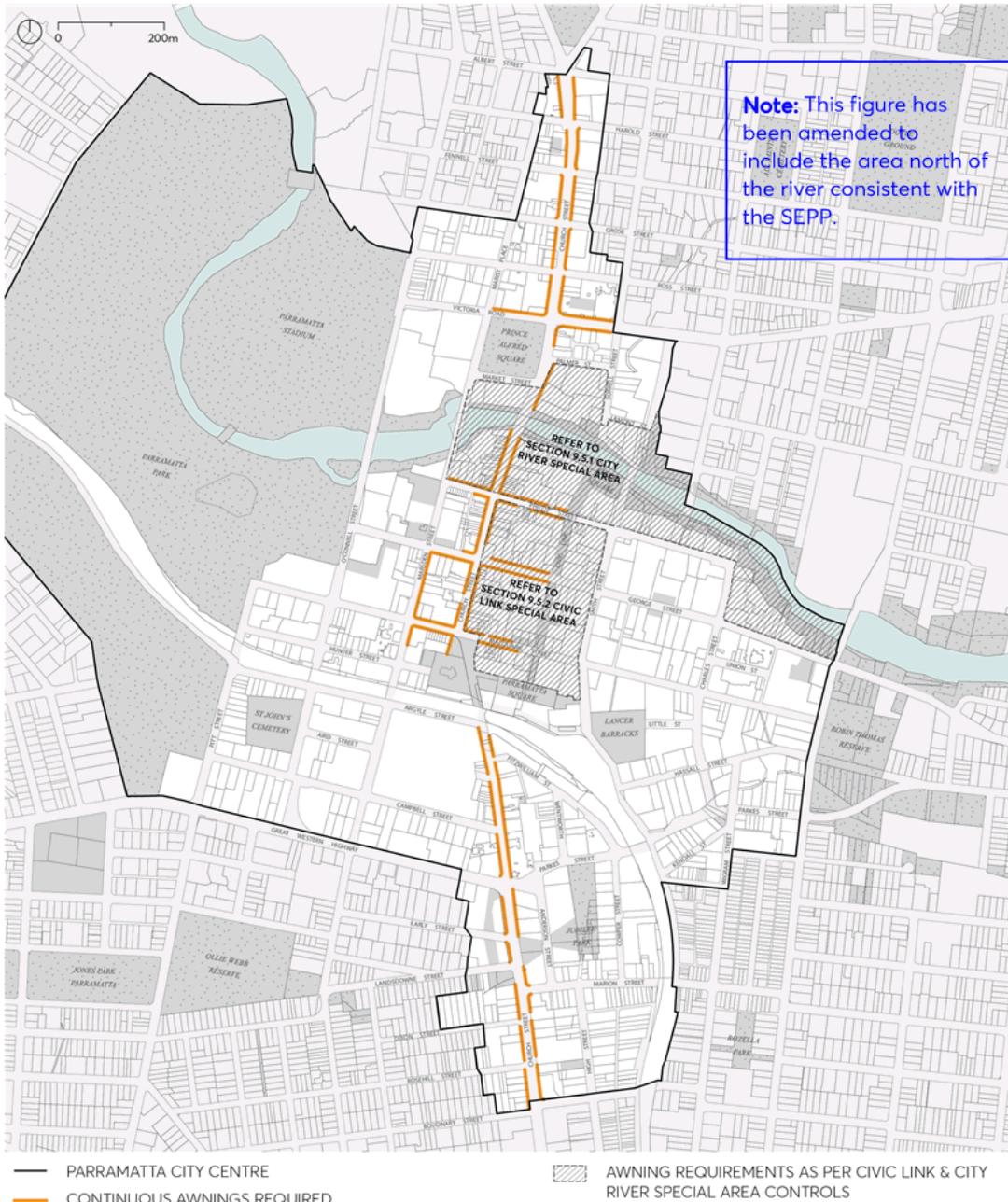


Figure 9.4.2.1.1 – Awnings have priority – Continuous awnings

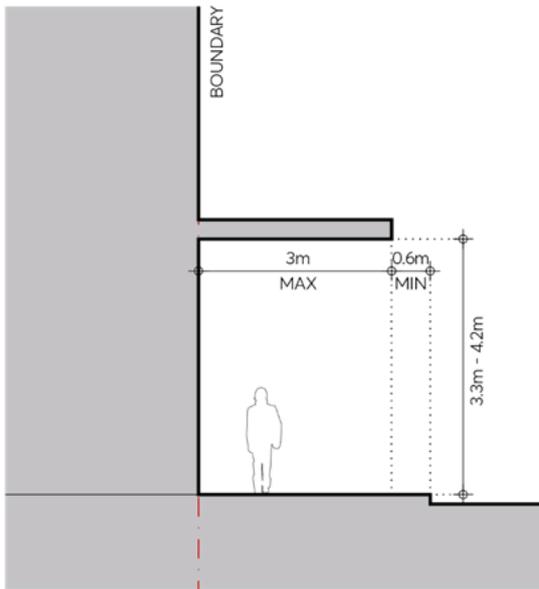


Figure 9.4.2.1.2 – Awnings have priority – Dimensions of awnings

#### 9.4.2.2 STREET TREES HAVE PRIORITY

In those areas where trees have priority, awnings of reduced width may be provided where footpaths are of sufficient width.

[Parramatta Public Domain Guidelines](#) identify the location of street trees and species selection and should be consulted when proposing the delivery of street trees as part of any development.

#### Objectives

- O.01 Maintain existing street trees and plant additional street trees within the public domain.
- O.02 Improve and enhance environmental biodiversity and mitigate temperature at ground level.
- O.03 Ensure maximum street tree crown development and performance.
- O.04 Improve visual amenity of the public domain.
- O.05 Improve quality of view for residents, workers and others overlooking the public domain.

#### Controls

- C.01 Street trees must be provided along those streets identified in Figure 9.4.2.2.1.
- C.02 Where footpath widths are 3.9 metres or greater, narrow width awnings may also be provided in accordance with Figure 9.4.2.2.2.
- C.03 Street tree species and spacing must be as specified in the [Parramatta Public Domain Guidelines](#).

- C.04 Street trees must be installed in accordance with the [Parramatta Public Domain Guidelines](#) and Council Design Standards.
- C.05 A Public Domain Alignment Plan indicating the street tree locations as detailed in the [Parramatta Public Domain Guidelines](#) must be submitted for the Development Application and Construction Certificate Application.

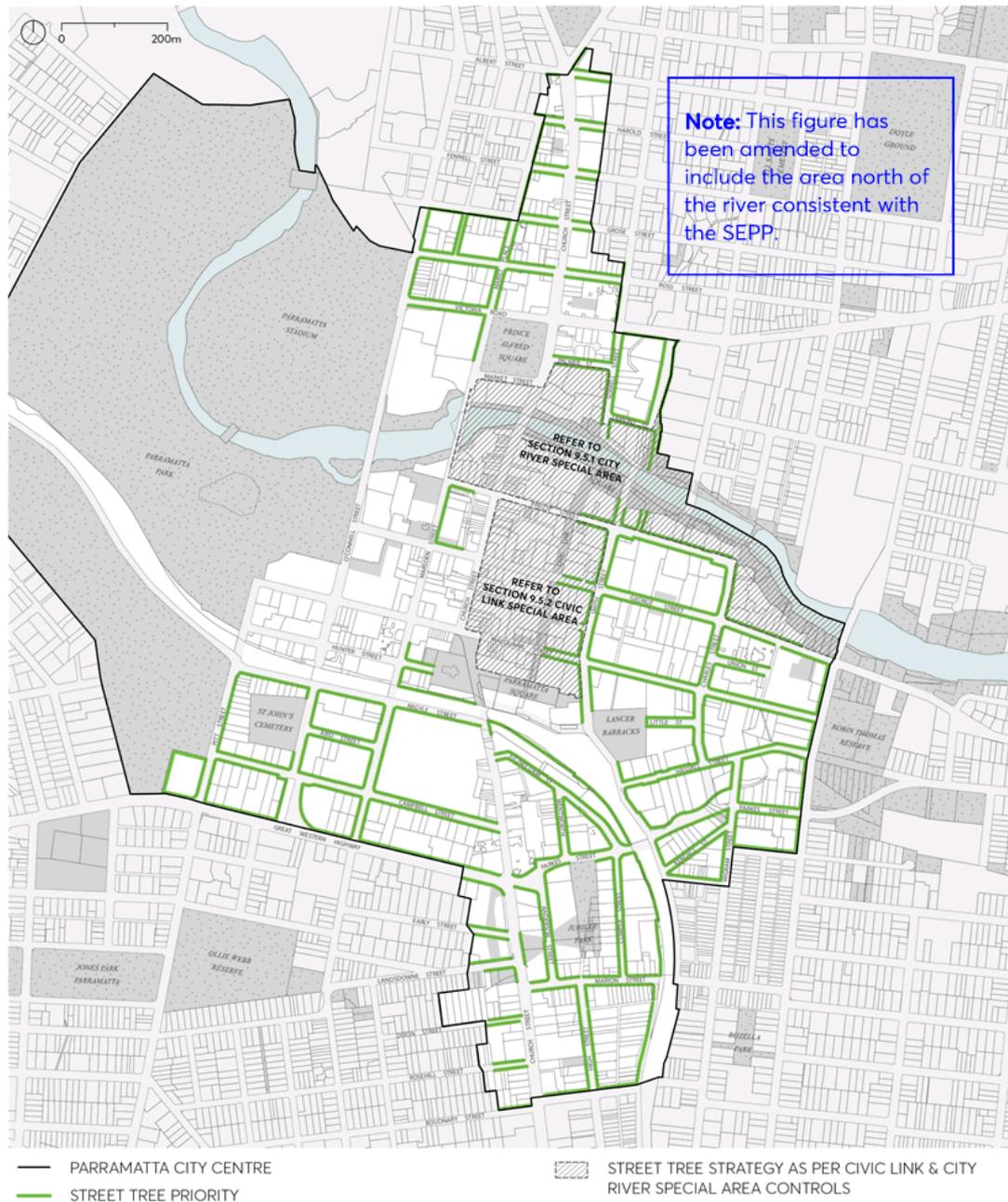


Figure 9.4.2.2.1 – Street trees have priority

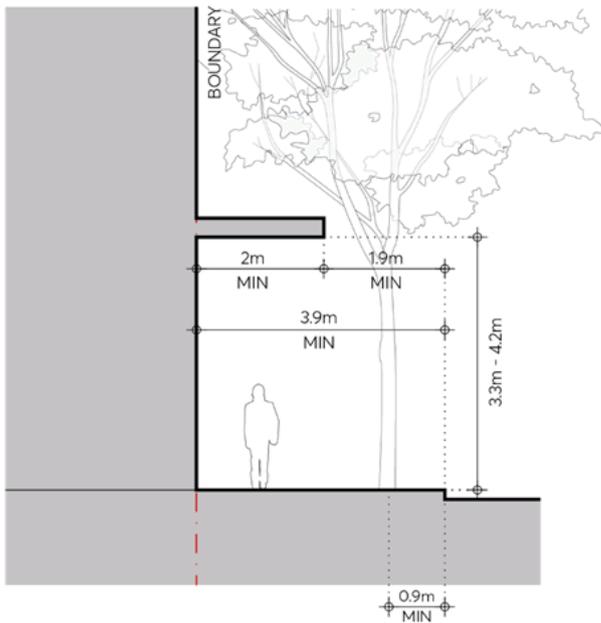


Figure 9.4.2.2.2 – Street Trees have priority, narrow width awnings

#### 9.4.2.3 SEMI-RECESSED AWNINGS

Semi-recessed awnings are an option for consideration either where awnings or street trees have priority. Setting the ground floor frontage back from the boundary and integrating the awning with the building soffit above can provide a generous footpath width, good awning cover as well as the necessary space for street trees.

Existing and possible future adjacent context must be taken into account in determining whether this option is feasible in each situation. Applicants should contact Council at the start of the design process to establish the street and awning profile for the proposal.

#### Objectives

- O.01 Allow for the possibility of generous footpaths, shelter from awnings as well as street trees where circumstances permit.

#### Controls

- C.01 Semi-recessed awnings may be provided in accordance with Figure 9.4.2.3.1.
- C.02 Where a semi-recessed awning is proposed, the following must be incorporated in its design:
- The awning must be integrated with the building soffit above as shown in Figure 9.4.2.3.1.
  - The space under the semi-recessed awning must be free of columns.
  - The frontage must be integrated with the adjacent existing frontage.

- d) A clear path of travel must be provided in the public domain as defined in the [Parramatta Public Domain Guidelines](#).

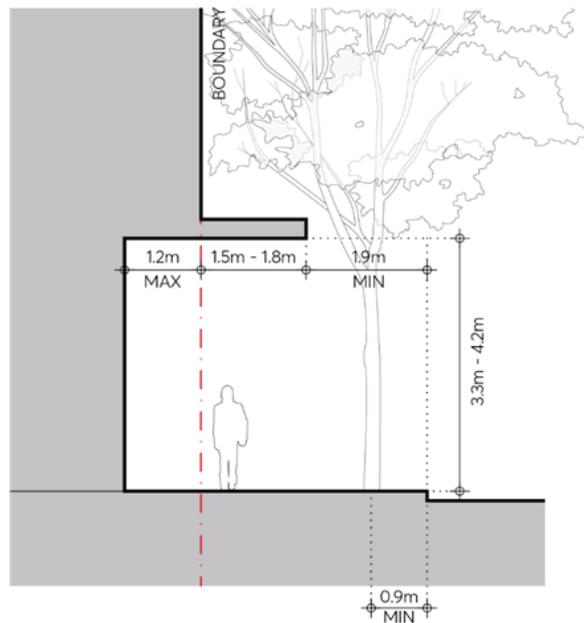


Figure 9.4.2.3.1 – Semi-Recessed Awnings

### 9.4.3 DESIGN OF AWNINGS

Well designed awnings provide a sheltered, humanly scaled space on the footpath that creates an accommodating pedestrian environment for shopping, dining, walking and lingering. They also provide weather protection for the doorways, openings and display areas of the active ground floor frontage of the building.

As an architectural element that is both part of the building as well as the public space of the street, the awning must integrate both with the characteristics of the building as well as existing and possible future adjacent awnings.

#### 9.4.3.1 AWNINGS ON STREETS

##### Objectives

- O.01 Design awnings to provide protection from rain, sun and wind down draft.
- O.02 Maintain complementary architectural detail of awning design.

##### Controls

- C.01 Awning dimensions must be in accordance with Figures 9.4.2.1.2, 9.4.2.2.2 and 9.4.2.3.1.

- C.02 Double height awnings are not permitted.
- C.03 All awnings and shading devices must have non-reflective surfaces.  
**Note** – Non-reflective surfaces is defined in Section 9.8.5 – Urban Cooling.
- C.04 Glazed awnings are not permitted except for minor articulation purposes.
- C.05 New awnings must be designed to take account of adjacent existing awnings.
- C.06 The awning roof must be designed so that all gutters are concealed and downpipes incorporated in the building fabric.
- C.07 Lighting and other fixtures must be recessed and integrated into the design of the soffit.
- C.08 Where street trees are provided, the entire length of the awning must be set back from the kerb as shown on Figures 9.4.2.2.2 and 9.4.2.3.1. Cut outs for trees and light poles in awnings are not permitted.
- C.09 The conversion of awnings to verandahs or balconies is not permitted.
- C.10 Where a proposed building is located on a street corner and an awning is not required on one frontage, the awning must extend around the corner by a minimum of 6m from the boundary corner.

#### 9.4.3.2 AWNINGS ON LANES

##### Objectives

- O.01 Encourage well-designed entrance canopies in order to provide additional shelter in lanes.
- O.02 Ensure that individual entry points are defined and address the lane.

##### Controls

- C.01 Continuous awnings are not permitted in lanes.
- C.02 Entrance canopies must not be supported with posts in order to maintain sight lines and a clear path of travel along the building edge, in accordance with the [Parramatta Public Domain Guidelines](#).
- C.03 Fixed awnings must not obstruct traffic.
- C.04 Retractable awnings must be a folding arm type and that extends into the lane no more than footpath width, in accordance with the [Parramatta Public Domain Guidelines](#).
- C.05 Provide individual awnings at building entries that are visually attractive.

#### 9.4.4 PEDESTRIAN LANES, SHARED ZONES AND SERVICE LANES

Many street blocks within the Parramatta City Centre are long, some being over 250 metres in an east-west direction and over 140 metres in a north-south direction. The benefits of a finer network of lanes are numerous: greater connectivity, increased frontage for entries and business opportunities, and a spatial intimacy and variety in the public domain. Service lanes also assist with activation of primary street frontages by providing back of house vehicular access, thereby reducing the necessity for driveways disrupting major city footpaths.

Pedestrian lanes are non-trafficable and can be narrower in width than those with vehicular access. Shared lanes have pedestrian priority over vehicle movement and typically have a flush surface for the full width of the lane. Service lanes prioritise vehicle movement and separate pedestrian movement by the use of kerbs or barriers. Service lanes should also be preserved from residential encroachment to ensure servicing is maintained or improved.

Council's City Centre Lane Policy and [Parramatta Public Domain Guidelines](#) provide further guidance on the design of pedestrian lanes, service lanes and shared zones.

#### Objectives

- O.01 Retain and increase connectivity in the public domain and variety in the street network.
- O.02 Encourage vehicular entries from shared zones and service lanes and not primary street frontages.
- O.03 Design lanes, shared zones and service lanes to encourage pedestrian amenity and safety.
- O.04 Encourage active frontages along lanes, shared zones, and service lanes without compromising safe pedestrian access and use.
- O.05 Ensure that any proposed privately owned lanes have a fully public nature equivalent to the public domain.

#### Controls

- C.01 A development must fully or partially deliver a pedestrian lane, service lane or shared zone as shown in Figure 9.4.4.1 Existing and Required lanes in the Parramatta City Centre
- C.02 Any development that proposes a new pedestrian lane, shared zone or service lane in addition to those indicated in Figure 9.4.4.1 must demonstrate that it meets the objectives and controls of this section.
- C.03 The minimum width of a pedestrian lane must be 4 metres as measured from the property boundaries.
- C.04 The minimum width of a shared zone or service lane must be 6.5 metres as measured from the property boundaries.
- C.05 The design and finish of pedestrian lanes, shared zones or service lanes must be in accordance with the [Parramatta Public Domain Guidelines](#).
- C.06 All pedestrian lanes, shared zones and service lanes must:
  - a) Be fully open to the sky.

- b) Be accessible to the public at all times.
  - c) Provide direct throughways with direct sightlines.
  - d) Be unencumbered by any basement car parking or any other private infrastructure under.
- C.07 Where a proposed lane or shared zone is not able to be dedicated to Council:
- a) The lane must be designed as part of the public street network, of equivalent status to the public domain, with its fully public nature embedded in the title arrangements.
  - b) The lane must be designed with the same parameters and finishes as required for Council owned lanes outlined in this section.
  - c) The lane must be named and signposted in the same way as for Council owned lanes.
- C.08 Pedestrian lanes must be clear of all obstructions, including columns, stairs, escalators and fixed furniture. A minimum of 50 per cent of lane width is to provide clear pedestrian access.
- C.09 Main building entry points on lanes must be clearly visible and defined as appropriately with canopies, building signage, lighting and high-quality articulation. Steps, handrails, or Tactile Ground Surface Indicators must not protrude into or interfere with the lane.
- C.10 Arcades are a secondary pedestrian option and must not to replace the role or function of a lane, shared zone, or service lane.

PARRAMATTA CITY CENTRE

PUBLIC DOMAIN

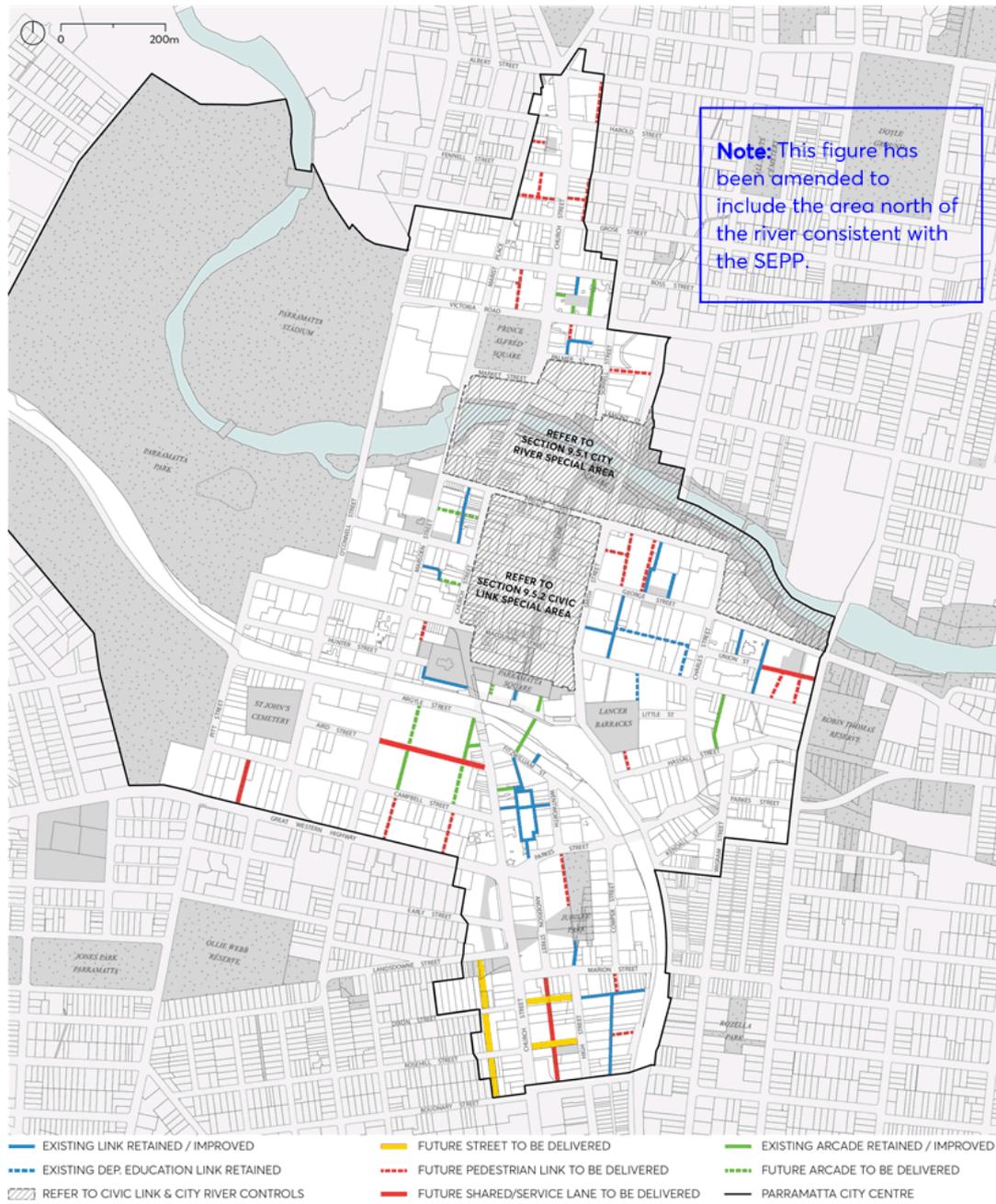


Figure 9.4.4.1 – Existing and Required Lanes in the Parramatta City Centre

#### 9.4.5 PEDESTRIAN OVERPASSES AND UNDERPASSES

**Explanatory note:** No amendments to Section 9.4.5 Pedestrian Overpasses and Underpasses

#### 9.4.6 VEHICLE FOOTPATH CROSSINGS

The design and location of vehicle access to developments should minimise conflicts between pedestrians and vehicles on footpaths, particularly along primarily pedestrian streets. Vehicle access should also be designed to minimise visual intrusion and disruption of the public domain.

Porte-cocheres are not encouraged as they disrupt pedestrian movement, do not contribute to active street frontage, and provide no public benefit.

##### Objectives

- O.01 Provide a simple, legible, and direct pedestrian footway on all streets.
- O.02 Make vehicle access to buildings more compatible with pedestrian movements and the public domain.
- O.03 Prioritise safe pedestrian movements within the public domain.
- O.04 Ensure vehicle entry points are integrated into the building design and contribute to high quality architecture and streetscapes.
- O.05 Minimise the width of any vehicular footpath crossing.
- O.06 Ensure vehicle access to heritage items is not detrimental to the values, setting or context of that heritage place.

##### Controls

- C.01 No additional vehicle entry points will be permitted into the parking or service areas of development along those streets identified as significant pedestrian circulation routes in Figure 9.4.6.1.
- C.02 In all other areas, one vehicle access point only will generally be permitted, which is to include the access for service vehicles and parking for both residential and non-residential uses within mixed use developments.
- C.03 Where practicable, vehicle access must be from lanes and minor streets rather than primary street fronts or streets with major pedestrian activity.
- C.04 Vehicle slip lanes in public streets for private use are not permitted.
- C.05 Where practicable, adjoining buildings must share or amalgamate vehicular access points, basements and servicing facilities. Internal on-site signal equipment must be used to allow shared access. Wherever appropriate, new buildings must provide vehicle access points that can be shared at a later date.

PARRAMATTA CITY CENTRE

PUBLIC DOMAIN

- C.06 Vehicle access ramps must be perpendicular to the street frontage to minimise the width of vehicle entry and exit openings.
- C.07 Vehicle landings (for the length of one vehicle) must be flush with the public domain to maximise visual contact with oncoming pedestrians.
- C.08 The design of vehicle access doors to vehicle access points must be fitted behind the building facade and be of materials that integrate with the design of the building and that contribute positively to the public domain.
- C.09 Vehicle entries visible from the street when doors are open must have a high quality finish to walls and ceilings as well as a high standard of detailing. No service ducts or pipes are to be visible from the street.
- C.10 Porte-cocheres may be permitted in exceptional circumstances for hotels and major tourist venues, subject to high quality urban design, streetscape, heritage and pedestrian safety and amenity considerations.
- C.11 If permitted, a porte-cochere must be internal to the building with one combined vehicle entry and exit point, or one entry and one exit point on two different street fronts of the development. In exceptional circumstances, for buildings with one street frontage only, an indented porte-cochere with separate entry and exit points across the footpath may be permitted.
- C.12 A porte-cochere must be constructed level to the public domain.

PARRAMATTA CITY CENTRE

PUBLIC DOMAIN

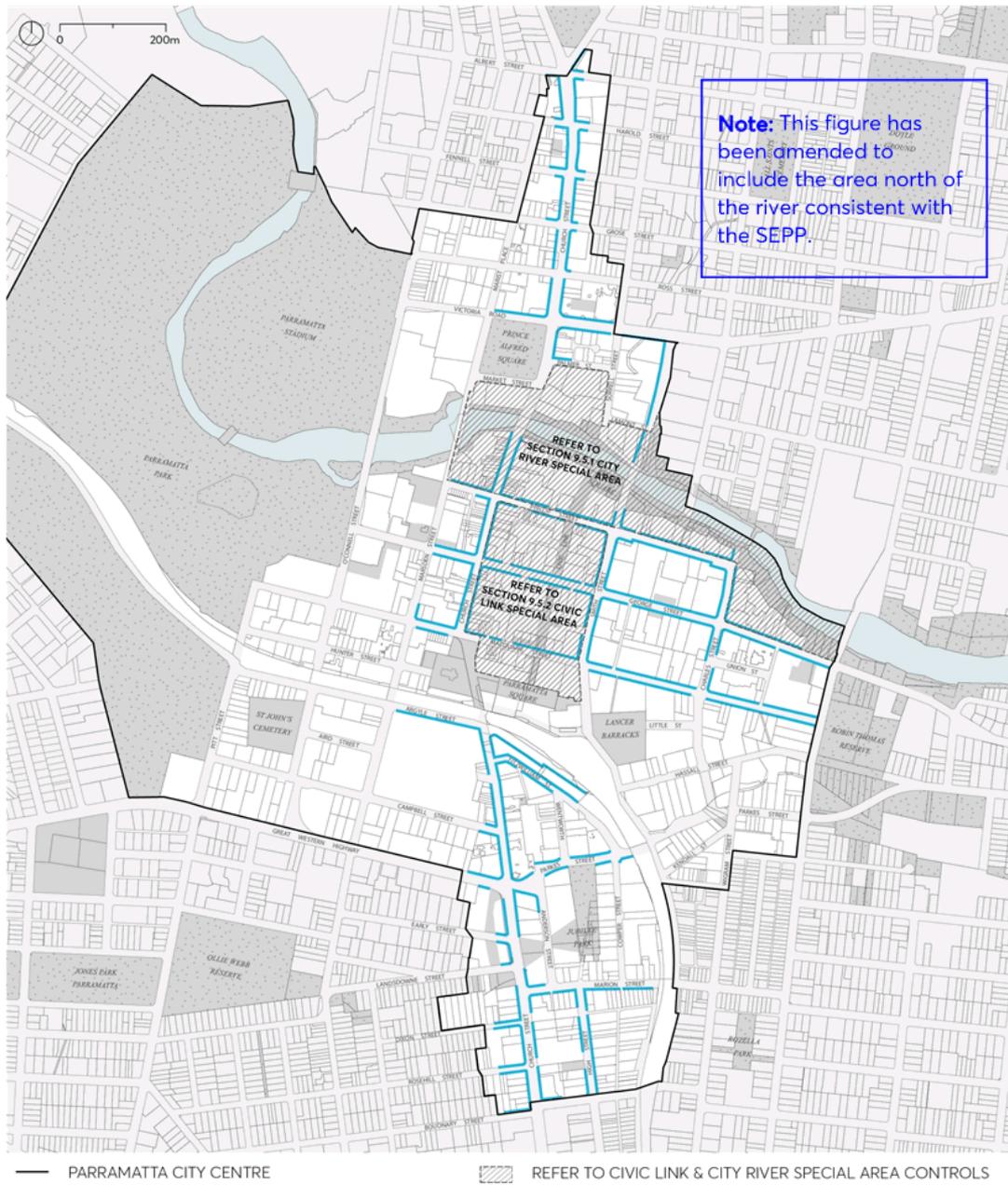


Figure 9.4.6.1 – No Additional Vehicle Entry Permitted

### 9.4.7 VIEWS

Important views contribute to way finding and a sense of place and identity for the city. Views are shaped and informed by their surrounds.

The physical setting of the Parramatta City Centre, generally framed by Parramatta Park, Parramatta River, and the heavy rail corridor makes for special views of the natural setting with significant heritage and cultural elements. It is important that significant views within, into and out of the city are maintained from as many points in the public domain as possible.

Design that acknowledges the value of important views can protect and enhance these views, thereby contributing to the character and quality of the public domain.

**Explanatory note:** These controls in Section 9.4.7 are proposed to apply to the City Centre area situated north of the river.

The controls in this section apply to sites within the City Centre that are affected by view corridors illustrated in Figure 9.4.7.1. ~~This includes sites within the deferred Area A identified on the Special Provisions Area Map in Parramatta LEP 2023.~~

#### Objectives

- O.01 Reinforce the sense of place and way finding in the City Centre.
- O.02 Maintain and enhance views from the City Centre to significant heritage, natural features and significant trees.
- O.03 Maintain and reinforce views along streets and to urban spaces.
- O.04 Maintain views of silhouettes of the tops of major buildings or structures as seen against the sky.
- O.05 Encourage views from Parramatta City Centre to Parramatta River and to Parramatta Park.

#### Controls

- C.01 Where a proposed development is within the corridor of the identified views in Figure 9.4.7.1 and Table 9.4.7.1, an analysis must demonstrate:
  - a) The impact of the proposed development.
  - b) How the view is maintained and reinforced by the proposal.
  - c) How the view informed site planning, architectural form, finish, materials and detailing of the proposal.

PARRAMATTA CITY CENTRE

PUBLIC DOMAIN

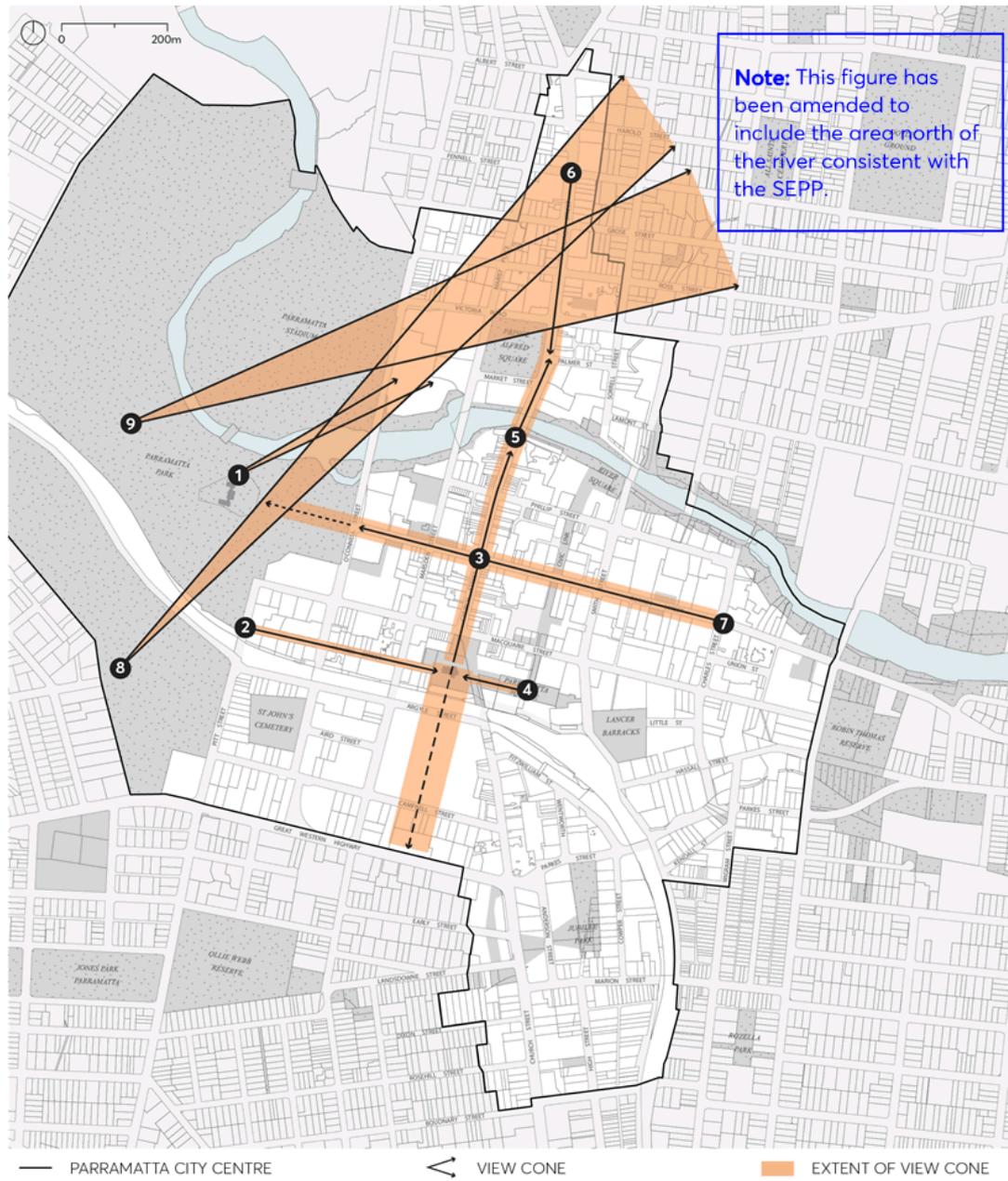


Figure 9.4.7.1 – Historic Views to be protected

Table 9.4.7.1 – Identified Historic Views to be protected

	<b>Identified View</b>	<b>Significance</b>
1.	Old Government House view northeast to the river, Old King's School building and site of former Government farm.	Key historic view demonstrating the relationship between the Governor, early Government farm and major school institution. Setting of both heritage items.
2.	Views east along Hunter Street to St John's Cathedral and spires, available back to Parramatta Regional Park.	Vistas along Hunter Street providing a framed view to St John's Cathedral, across the cathedral grounds towards the Town Hall, and to the site of the Governor's annual 'feast' with Aboriginal clans (instituted by Governor Macquarie) that took place at the rear (eastern end) of the Cathedral.
3.	Views southwards to and beyond St John's Cathedral and Centenary Square, and northwards along the procession of Church Street.	Historic main street approach to City Centre and St John's Cathedral with other heritage items in view, as well as the procession and views from St John's northwards, up Church Street.  Views from Church Street towards St John's Cathedral must allow the silhouette of the Cathedral spires to be seen against the sky.
4.	Views west along Parramatta Square to St John's Cathedral, past the Town Hall.	Backdrop and setting of church. Views to the Cathedral and spires.
5.	Views north and south along Church Street, including views of the Western Sydney Stadium and heritage buildings, St John's Church spires to the south and St Peter's church.	Historic main street and approach to city, framed by a number of heritage buildings and recurrent views to Parramatta Park.
6.	Approach to Parramatta along Church Street from Fennell Street, and sequential views southward.	Historic main street and approach. Relatively consistent scale and setback of streetscape.
7.	Views along George Street to Parramatta Park / George Street Gatehouse and trees.	Key historic street approach to the park and Old Government House. City edge of park, framing views to George Street Gatehouse, trees, and Old Government House (not now visible), views of streetscape, heritage items.
8.	View from Marys Hill across Parramatta's City Centre to distant hills.	Key historic viewing point from the highest part of the Parramatta Park with best views of the city in the river valley, glimpses to hills behind the city between buildings.
9.	View from The Crescent to the distant hills Key historic viewing point from the ridge of The Crescent.	Key historic viewing point from the ridge of The Crescent to glimpses of distant hills between buildings.

9.5 SPECIAL AREAS

**Note:** Figures in Section 9.5.1 City River require consequential changes. Also, a new section 9.5.11 Church Street North is proposed.

Special Areas are defined precincts with distinctive conditions that require specific controls relating to the characteristics of the area. Development within a Special Area must respond to the particular attributes and qualities of that place.

This Special Areas section should be read in conjunction with the other sections of the City Centre controls. Unless modified or specifically excluded in this section, all controls in Sections 9.1 - 9.4 and Sections 9.6 - 9.9 apply to development in Special Areas.

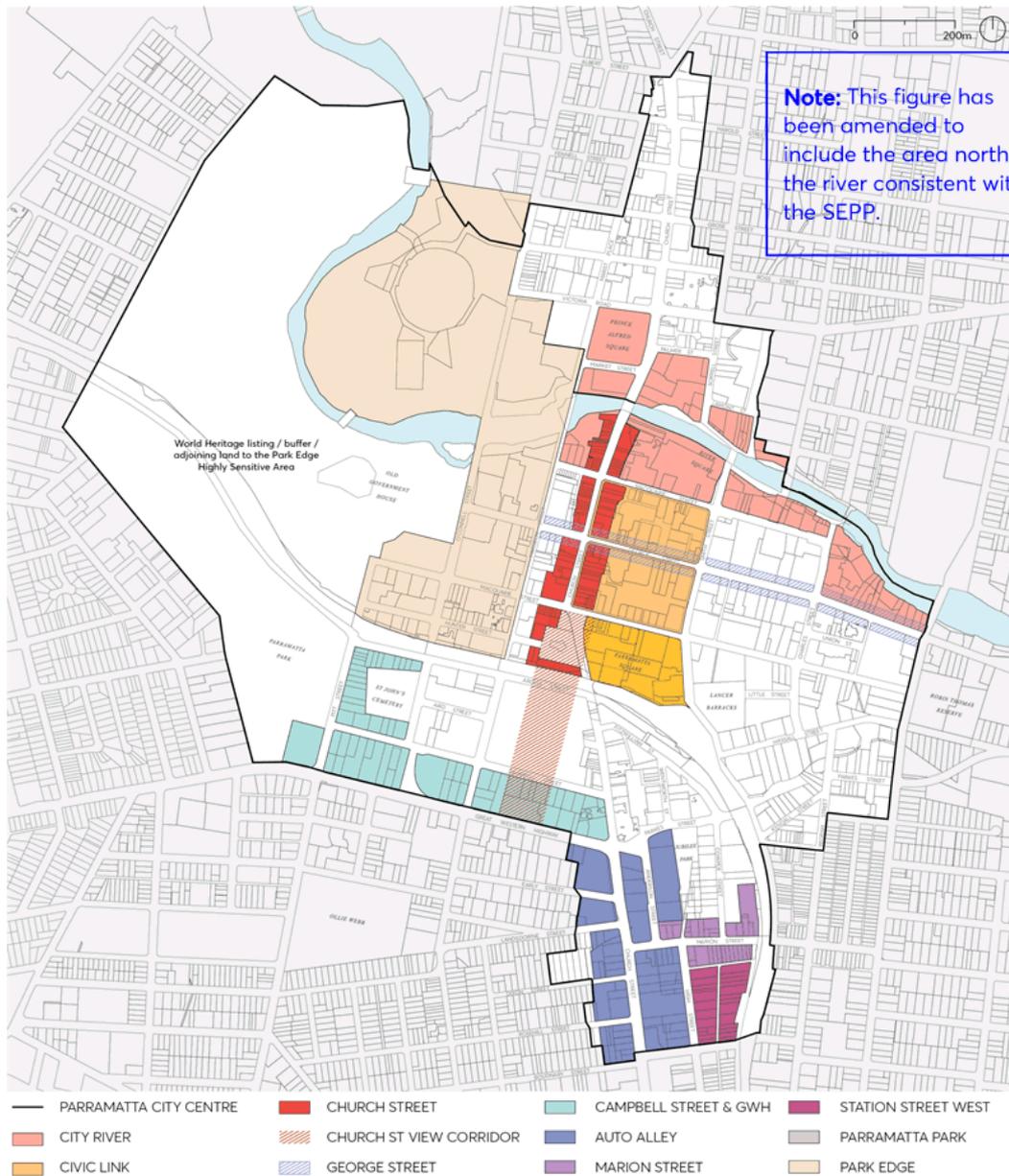


Figure 9.5.1 – Parramatta City Centre Special Areas

9.5.1 CITY RIVER

**Explanatory note:** Only Figures 9.5.1, 9.5.1.1 and 9.5.1.2 are required to be included in this section given consequential changes are required to them. The rest of Section 9.5.1 City River is not included because consequential changes are not proposed.

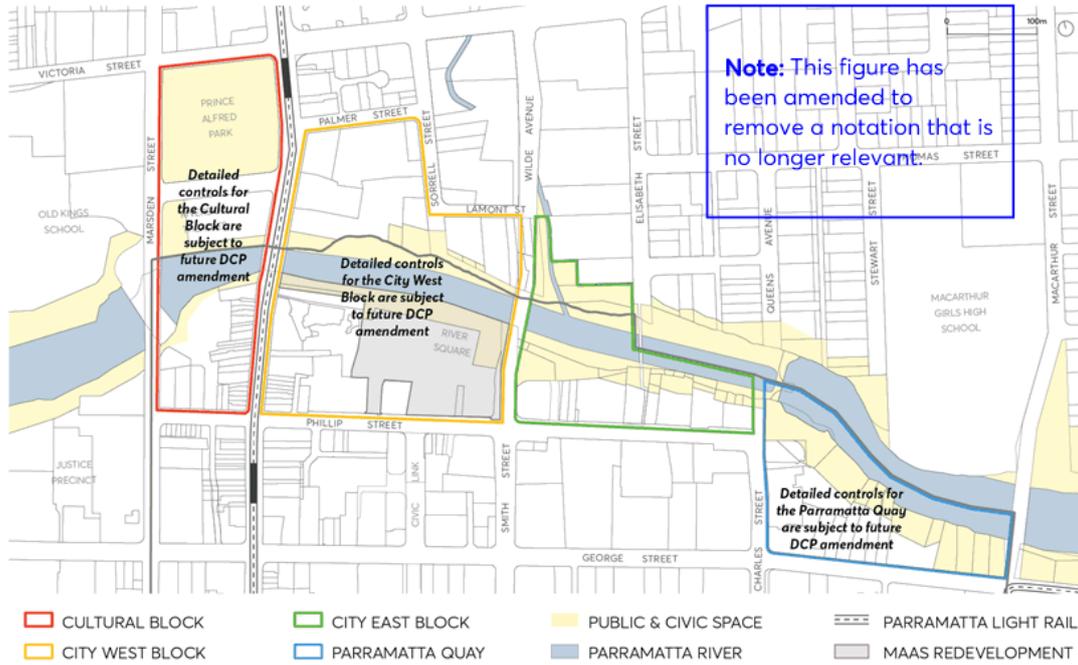


Figure 9.5.1.1 – City River Special Area

9.5.1.1 CITY EAST BLOCK

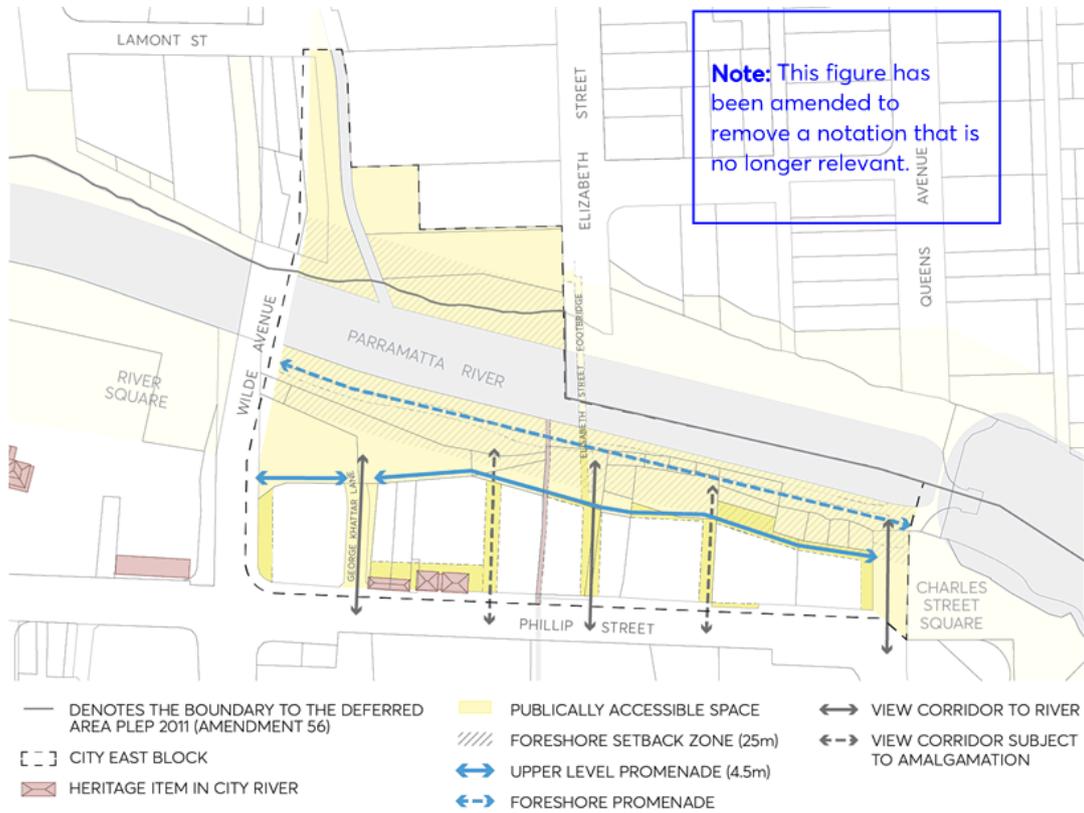


Figure 9.5.1.1 – City East Block Framework Plan

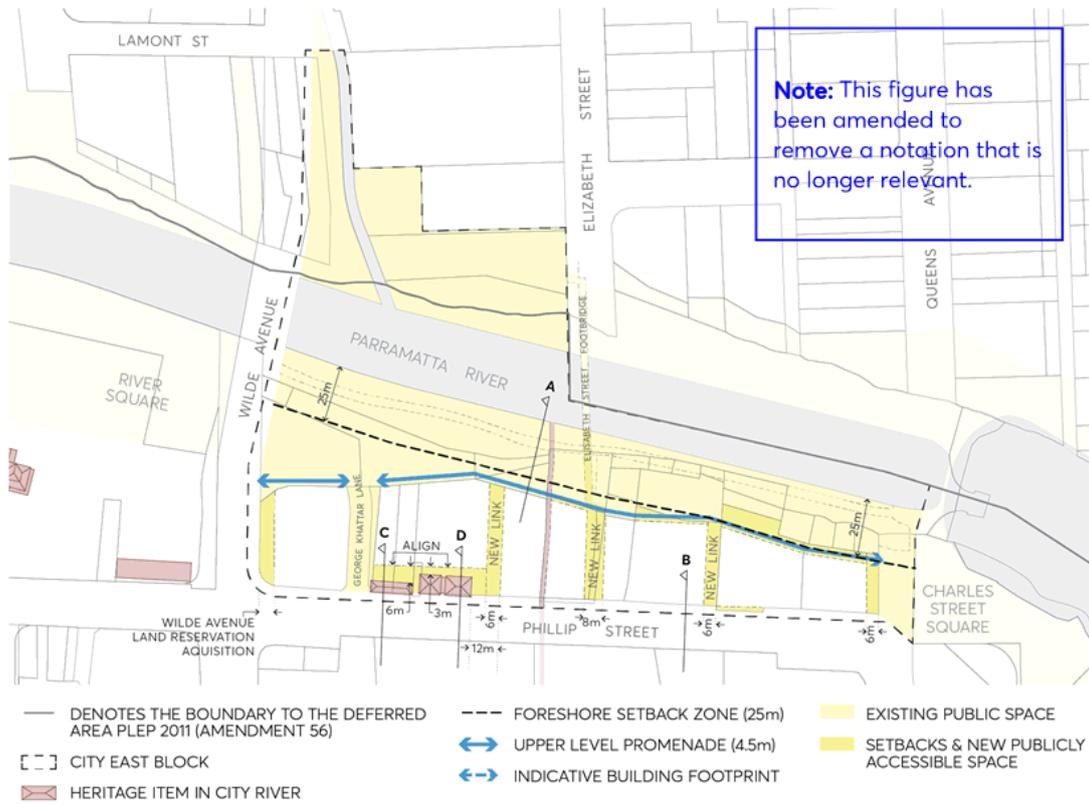


Figure 9.5.1.1.2 – City East Block Public Domain

- 9.5.2 CIVIC LINK
- 9.5.3 GEORGE STREET
- 9.5.4 CHURCH STREET
- 9.5.5 MARION STREET
- 9.5.6 CAMPBELL STREET & GREAT WESTERN HIGHWAY
- 9.5.7 AUTO ALLEY

**Explanatory note:** Sections 9.5.2 to 9.5.6 do not require any changes as these special areas are not located north of the river.

The Auto Alley Special Area has been identified as a long-term growth area for the City. The future form of Auto Alley is proposed to retain the existing large retail tenancies on the street for automotive uses, while also providing an opportunity for commercial redevelopment in the long term. The controls for this precinct ensure a more localised response to the specific character established by the historical usage of south Church Street and the remnant commercial occupancies.

The Auto Alley Special Area must also deliver future open space for the City Centre and improve pedestrian connectivity in the south of the city. Approximately 1 hectare of park and plaza must be delivered alongside the redevelopment of Auto Alley. Several new streets must be provided: a north-south street is provided at the western boundary of the precinct; two east-west streets extend Dixon Street and Rosehill Street from Church Street to High Street; and a north-south lane extends Anderson Street from Marion Street to Raymond Street.

Built form must also consider the potential future development and public domain expected in the adjacent Marion Street Special Area to the north, and in the Station Street Special Area to the east. Specifically, the mixed-use eastern portion of the precinct must be considered as a transition area, as reflected in the lower building heights and FSR requirements in the *Parramatta LEP 2023*.

The controls for Auto Alley (West) which is made up of the land zoned E3 Productivity Support are contained in Part 9B.

**Explanatory note:** The above amendment referencing the E3 zoned land is the only required amendment to section 9.5.7.

- 9.5.8 STATION STREET WEST
- 9.5.9 CREEK CORRIDORS
- 9.5.10 PARK EDGE HIGHLY SENSITIVE AREA
- 9.5.11 CHURCH STREET NORTH [SEE NEW SECTION ABOVE]

**Explanatory note:** Sections 9.5.8 to 9.5.10 do not require any changes as these sections do not apply to the Church Street North Precinct.

## 9.6 HERITAGE

**Explanatory note:** Section 9.6 will apply to the Church Street North Precinct where clause 7.22 Managing heritage impacts applies.

This section of the DCP should be read in conjunction with Part 7 – Heritage and Archaeology (including Section 7.8, which addresses Aboriginal cultural heritage, Section 7.10 – Heritage Conservation Areas) and Section 5.3.4 – Tree and Vegetation Preservation in Parramatta DCP 2023.

This section of the DCP outlines Council's integrated approach to protecting and celebrating heritage within a collective urban form that has a strong focus on the pedestrian experience. These controls apply to all land in the Parramatta City Centre, not just sites containing a heritage item or next to a heritage item, because heritage items in the City Centre form a collective network of heritage places that together enliven and enrich the city.

This section must also be read in conjunction with relevant heritage inventory sheets, the [Australia ICOMOS Burra Charter 2013](#), relevant heritage studies, and any heritage guidelines.

- 9.6.1 GUIDING PRINCIPLES
- 9.6.2 UNDERSTANDING THE PLACE
- 9.6.3 HERITAGE RELATIONSHIPS
- 9.6.4 DEMOLITION
- 9.6.5 AMALGAMATION OF LOTS
- 9.6.6 DEVELOPMENT TO BENEFIT A HERITAGE ITEM
- 9.6.7 INTERPRETATION

**Explanatory note:** No proposed amendment to Section 9.6.1 to 9.6.7.

## 9.7 FLOOD RISK MANAGEMENT

**Explanatory note:** Section 9.7 will apply to the Church Street North Precinct where clause 7.11 Floodplain risk management in *Parramatta LEP 2023* applies.

Parramatta City Centre sits in the floodplain of both the Upper and Lower Parramatta River Catchments, Clay Cliff Creek and other tributaries. The City is prone to mainstream (or river) flooding events and local overland flow flooding. All of this is 'flash flooding' with short warning times for building occupants and people in the streets and public spaces.

For many sites, conventional (horizontal) evacuation of a building during a flood event is suitable. For sites where this is not possible, taking refuge within buildings above the Probable Maximum Flood is required. This is termed 'Shelter in Place'. This Section explains how these alternatives are pursued for new and upgrading development.

This section provides the guidance for early consideration of integrated built form solutions that address flood risk, flood safety and good design.

The controls within this section apply to flood prone land in the Parramatta City Centre. This includes land identified as being within the 'Floodplain Risk Management Area' on the Floodplain Risk Management Map in *Parramatta Local Environmental Plan 2023* as well as the deferred Area A as identified on the Special Provisions Area Map in *Parramatta LEP 2023*.

This section should also be read in conjunction with:

- Section 5.1.1 – Flooding and where there is an inconsistency, this section prevails. Refer also to Section 9.3.5.2 – Flood Affected Sites.
- Council's [Floodplain Risk Management Policy and Plan](#) as required by the NSW Flood Policy and NSW Floodplain Development Manual.

**Note** – A word or expression used in this Section has the same meaning as it has in the NSW Government's [Floodplain Development Manual 2005](#) unless it is otherwise defined in this DCP.

### Objectives

- O.01 The flood environment, its risks and consequences are to be understood and responded to accordingly.
- O.02 Levels of flood risk and threats to personal safety and property present for particular developments are to be minimised or significantly reduced with appropriate responses to this environment.
- O.03 Council is to provide direction, guidance and regulation for the safe and sustainable development on all land affected by flooding.
- O.04 Buildings and the uses they contain are to be compatible with the identified flood risk.
- O.05 Early site planning and consideration of flood conditions is essential to achieve an integrated flood response that manages flood risk and provides optimum development design outcomes and interface with the public domain.
- O.06 Adequate, safe flood conveyance and management of floodwaters is to be achieved, while providing for the rehabilitation, conservation and embellishment of floodways and other flood affected lands where appropriate.

**Controls**

- C.01 Flood Hazard Modelling and hazard, risk and safety assessments for all development involving the construction of a new building or significant alterations to an existing building, and or intensification of a use is to address the PMF and floods greater than the 1% Annual Exceedance Probability (AEP) as part of the Development Application (DA), particularly where there is a potential risk to life.
- C.02 Where this information is available, Council requires an Applicant to make a Flood Information Enquiry. The information supplied to an applicant via a Flood Information Enquiry will form the basis of the DA flood assessment.
- C.03 In some cases, Council may require an applicant to prepare an additional flood study, for example for special local conditions, or if the proposed development is of a form or type that requires more site-specific flood modelling. Where Council requires an applicant to submit an additional flood study, the applicant must use parameters provided by Council to prepare the flood study.

- 9.7.1 ASSESSMENT AND MINIMISATION OF FLOOD HAZARDS, RISKS AND POTENTIAL FOR HARM
- 9.7.2 LAND USE AND BUILDING LEVELS
- 9.7.3 SENSITIVE AND CRITICAL USES
- 9.7.4 FLOOD WARNING AND EMERGENCY RESPONSE PLANNING
- 9.7.5 DEVELOPMENT IN AND NEAR FLOODWAYS, RIPARIAN ZONES AND NATURALISED CHANNELS
- 9.7.6 CONTROLS FOR FLOODWAYS
- 9.7.7 CONTROLS FOR PARRAMATTA RIVER BANK AND FORESHORES
- 9.7.8 CAR PARK BASEMENTS IN FLOOD PRONE AREAS

**Explanatory note:** No proposed amendment to Section 9.7.1 to 9.7.8.

## 9.8 ENVIRONMENTAL SUSTAINABILITY

**Explanatory note:** No proposed amendment to Section 9.8.

Sustainability and infrastructure studies undertaken for the Parramatta City Centre found that the predicted CBD growth under the development as usual scenario will result in:

- 3 x increase in energy and water demand, and
- 4 x increase in sewer loads.

This will increase greenhouse gas emissions, place increasing pressure on our energy, water and sewer infrastructure, and lock households and businesses in to higher than necessary utility costs.

The temperature increases already experienced in Parramatta, and the densification of the City Centre (less pervious surfaces, vegetation and trees, and increase in built form) mean that urban heat impacts will also increase as our city grows.

To limit the impact of this growth, it's important to design and build environmentally sustainable buildings that reduce energy and water use, greenhouse gas emissions and urban heat.

- 9.8.1 HIGH PERFORMING BUILDINGS
- 9.8.2 DUAL WATER SYSTEMS
- 9.8.3 ALL ELECTRIC BUILDINGS
- 9.8.4 ELECTRIC VEHICLE CHARGING INFRASTRUCTURE
- 9.8.5 URBAN COOLING
- 9.8.6 SOLAR LIGHT REFLECTIVITY (GLARE)
- 9.8.7 NATURAL REFRIGERANTS IN AIR CONDITIONING
- 9.8.8 BIRD FRIENDLY DESIGN
- 9.8.9 WIND MITIGATION

## 9.9 VEHICULAR ACCESS, PARKING AND SERVICING

### 9.9.1 VEHICLE DRIVEWAYS AND MANOEUVRING

**Explanatory note:** No proposed amendment to Section 9.9.1.

### 9.9.2 ON SITE CAR PARKING

On-site parking includes underground (basement) parking, surface (at-grade) parking and above ground parking. It also includes car parking stations.

Underground and semi-underground parking minimises visual impact of car parking as viewed from the public domain. Above ground parking may be appropriate for some sites, especially for sites constrained due to flood levels or archaeology. Above ground parking will only be accepted if it is of high design quality and meets the design controls specified in Section 9.3 – Built Form.

Car parking rates for developments within the Parramatta City Centre are contained in Division 4 of *Parramatta Local Environment Plan 2023*, ~~specifically in clause 7.17 if development is outside the deferred Area A, or Clause 7.19 if included within Deferred Area A.~~ These rates are maximums and are not to be exceeded.

This section should be read in conjunction with Part 6 Traffic and Transport of this DCP in relation to car share and green travel plan controls and Section 9.9.3 – Bicycle Parking and End of Journey Facilities.

Car parking facilities require specific design considerations in flood risk areas in addition to the universal considerations that minimise the visual impact of these structures. A safely designed car park restricts flood water entry while providing failsafe opportunities for emergency egress. This section should be read in conjunction with Section 9.7.8 – Car Park Basements in Flood Prone Areas regarding flood risk management particularly for basement car parking.

#### Objectives

- O.01 Facilitate an appropriate level of on-site parking for development within the Parramatta City Centre to cater for a mix of development types.
- O.02 Minimise the impact of on-site parking on the design quality of the building and the public domain.
- O.03 Provide adequate space for parking and manoeuvring of vehicles, including service vehicles.
- O.04 Recognise the current and existing demand for parking for bicycles and electric vehicles.
- O.05 Design car parking for safe pedestrian and bicycles movements.

#### Controls

- C.01 Basement car parking must be located within the site boundaries and must not encroach on the public domain.

- C.02 Where car parking is provided in basements and semi basements which involve excavation, development must incorporate the recommended site management procedures set out in the Parramatta Historical Archaeology Landscape Management Study.
- C.03 New access points to all parking (basement or above ground) are to be limited in accordance with Figure 9.4.6.1 (in Section 9.4.6 – Vehicle Footpath Crossings). New access points may be permitted from existing lanes or any new lanes proposed as part of the development.
- C.04 Design car parking which:
- Maximises the efficiency of car park design with predominantly orthogonal geometry and related to circulation and car space size.
  - Is well-lit and minimises reliance on artificial lighting and ventilation.
  - Is well-ventilated and uses natural rather than mechanical ventilation where possible.
  - Provides marked safe path so travel for pedestrians and cyclists with clear lines of sight and safe lighting.
  - Avoids hidden areas and enclosed areas. Where these are unavoidable use mirrors and similar devices to aid surveillance.
- C.05 Provide readily accessible parking spaces at the rates specified under the National Construction Code which are designed and appropriately signed for use by people with disabilities in accordance with AS 2890.6.
- C.06 Provide a separate parking space for 1 motorcycle for every 50 car spaces, or part thereof. The size of a motorcycle parking space is to be in accordance with AS 2890.1. Motorcycle parking does not contribute to the number of car parking spaces permitted.
- C.07 On-site parking must meet the relevant Australian Standards.
- C.08 For residential flat buildings or the residential component of a mixed use development, stack parking of up to 2 cars is permitted where spaces are attached to the same single dwelling unit.
- C.09 To facilitate adaptation of car parking to other uses in the long term, or to promote de-coupled car parking, consideration will be given to car parking remaining as part of the common property and not part of or attached to individual strata units.

### 9.9.3 BICYCLE PARKING AND END OF JOURNEY FACILITIES

**Explanatory note:** No proposed amendment to Section 9.9.3.

### 9.10 SITE SPECIFIC CONTROLS

This section contains development controls for specific sites in the City Centre as identified in Figure 9.10. [Site specific controls for land at 470 Church Street and 8-12 Victoria Road and 2A Villiers Street which is situated in the deferred area are contained in Section 9B.6.](#)

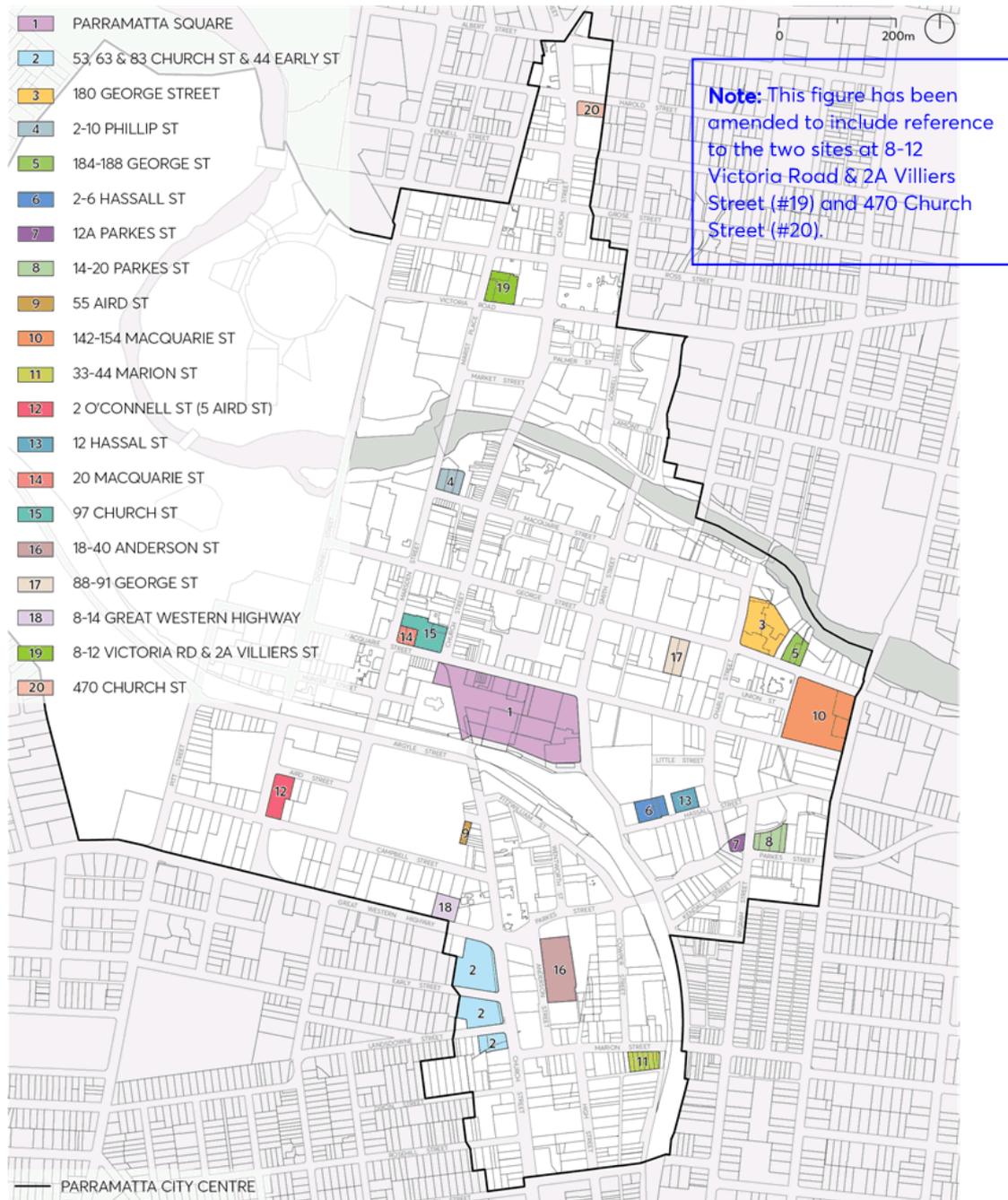


Figure 9.10 – Land parcels with Site Specific Controls

## SITE SPECIFIC CONTROLS

## PARRAMATTA SQUARE

- 9.10.1 PARRAMATTA SQUARE
- 9.10.2 57, 63 AND 83 CHURCH STREET AND 44 EARLY STREET
- 9.10.3 180 GEORGE STREET
- 9.10.4 2-10 PHILLIP STREET
- 9.10.5 184-188 GEORGE STREET
- 9.10.6 2-6 HASSALL STREET, PARRAMATTA
- 9.10.7 12A PARKES STREET
- 9.10.8 14-20 PARKES STREET, HARRIS PARK
- 9.10.9 55 AIRD STREET
- 9.10.10 142-154 MACQUARIE STREET, 118 HARRIS STREET AND 135 GEORGE STREET
- 9.10.11 33-34 MARION STREET
- 9.10.12 2 O'CONNELL STREET, PARRAMATTA
- 9.10.13 12 HASSALL STREET
- 9.10.14 20 MACQUARIE STREET
- 9.10.15 197 AND 207 CHURCH STREET AND 89 MARSDEN STREET
- 9.10.16 18-40 ANDERSON STREET
- 9.10.17 89-91 GEORGE STREET
- 9.10.18 8-14 GREAT WESTERN HIGHWAY
- 9.10.19 8-12 VICTORIA ROAD AND 2A VILLIERS STREET
- 9.10.20 470 CHURCH STREET, PARRAMATTA

**Explanatory Note:** Sections 9.10.1 to 9.10.18 are not proposed to be amended. Refer overleaf to the re-housed site specific controls for the sites at:

- 8-12 Victoria Road and 2A Villiers Street; and
- 470 Church Street.

### 9.10.21 8-12 VICTORIA ROAD AND 2A VILLIERS STREET

This Section applies to land at 8 – 12 Victoria Road and 2A Villiers Street, Parramatta, as shown in Figure 9.10.19.

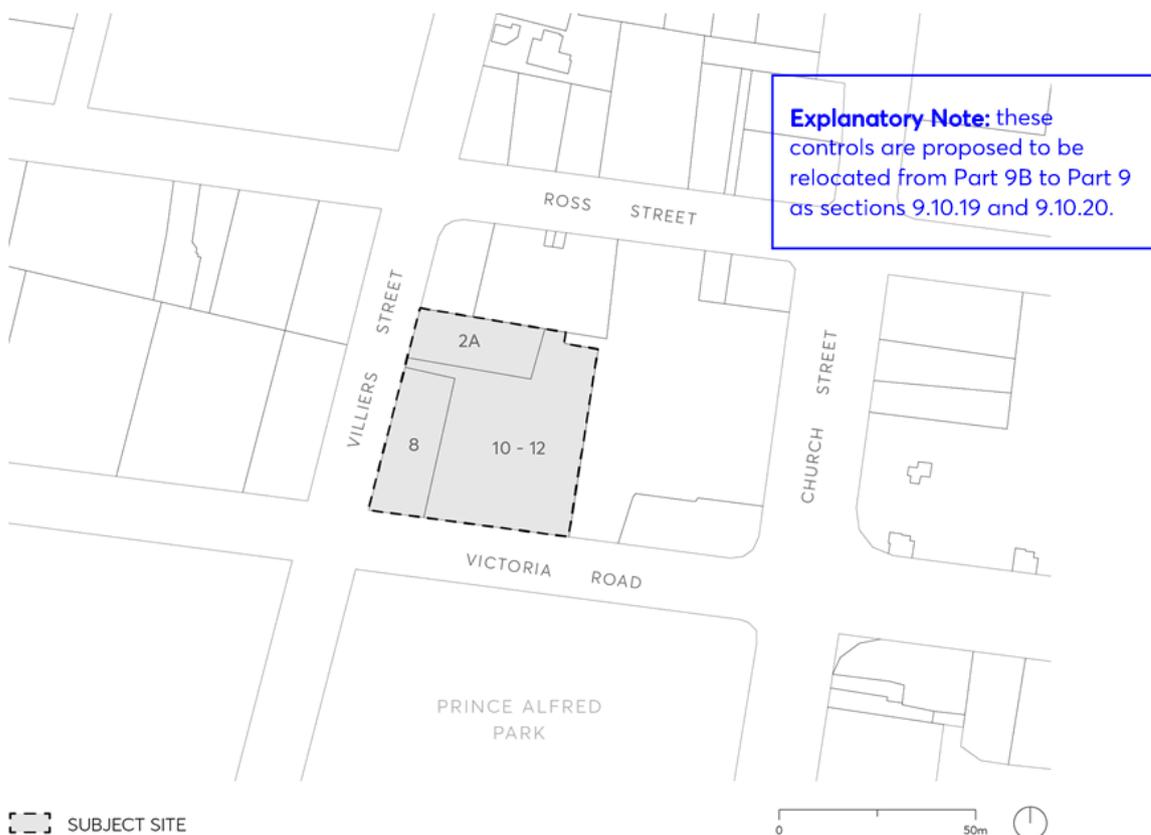


Figure 9.10.19 – Land Application map

#### 9.10.21.1 DESIRED FUTURE CHARACTER

The site at 8–12 Victoria Road and 2A Villiers Street, Parramatta is on the northern edge of the Parramatta City Centre—Deferred Area A, which is transitioning from low scale in the north west to high density mixed use development in the east and south. The context of the site includes a number of important heritage items – Prince Alfred Park to the south, Our Lady of Mercy College to the west and St Patrick’s Cathedral diagonally opposite to the south west. The proximity of the site to the Parramatta River and City Centre core supports an intensity of development while respecting the important heritage setting.

Future built form will be designed to achieve a harmonious relationship with neighbouring heritage buildings as well as to provide appropriate heights and setbacks to street frontages. Low building forms will occupy land fronting Victoria Road and a slim tower will be located in the north western corner of the site. As a result, the visual scale of development will be reduced on Victoria Road, providing a suitable frame and backdrop for Prince Alfred Park and minimising overshadowing of

this park. Building articulation and modulation of the Victoria Road facade will ensure that the building suitably addresses the road and Prince Alfred Park.

Active uses will be located on the ground floor of buildings fronting Victoria Road and Villiers Street to increase the vibrancy of the site and locality.

The property boundary on Villiers Street will incorporate a setback to allow under width road lanes in Villiers Street to be widened. A setback will be provided on the eastern boundary to allow the formation of a through site link between Victoria Road and Ross Street.

Development must comply with the objectives and controls set out below and any other relevant objectives and controls of this DCP.

### Site Objectives

This Section of this DCP documents the objectives that will determine the future form of development of the subject site. The objectives establish the key parameters that will ensure that future development on the site contributes to achieving the overall desired future character.

- O.01 To provide for development that supports the growth of a vibrant precinct on the northern edge of the Parramatta City Centre Deferred Area.
- O.02 To encourage high-quality built form outcomes and achieve design excellence.
- O.03 To minimise any adverse impacts on the amenity of adjoining heritage uses and in particular Prince Alfred Park.
- O.04 To improve pedestrian connectivity between Victoria Road and Ross Street.
- O.05 To provide for the establishment of non-residential uses on the Victoria Road and Villiers Street ground floor frontages of the site.
- O.06 To provide for improved traffic flows on Villiers Street.

#### 9.10.21.2 BUILDING FORM AND MASSING

### Objectives

- O.01 To respond sensitively to the scale, proportions and form of the nearby heritage items at Prince Alfred Park, St Patrick's Cathedral and Our Lady of Mercy College.
- O.02 To limit overshadowing impacts on Prince Alfred Park.
- O.03 To ensure that the Victoria Road facade is of a civic scale with strong vertical articulation and fine grain.
- O.04 To ensure that the Victoria Road frontage provides good pedestrian amenity by incorporating elements such as an open colonnade or continuous footpath awnings.
- O.05 To ensure that the built form at the Villiers Street corner complements the form and materials of St Patrick's Cathedral.

**Controls**

## Maximum building heights

- C.01 The distribution of building height across the site is to be in accordance with Figure 9.10.19.1, 9.10.19.2, 9.10.19.3.

## Street frontage heights

- C.02 Maximum street wall height of 14m facing Victoria Road and Villiers Street with a setback of 4m to the upper levels as shown in Figure 9.10.19.1, 9.10.19.2, 9.10.19.3.

## Building setbacks

- C.03 Minimum 3m on the eastern boundary to allow for the establishment of a through site link between Victoria Road and Ross Street, as shown in Figure 9.10.19.1.

## Building design

- C.04 Buildings are to be designed with regard to nearby heritage items and to ensure sensitive consideration of colour, materials, and building articulation.

## 9.10.21.3 TRAFFIC AND TRANSPORT

**Site Objectives**

- O.01 To minimise pedestrian and vehicle conflict by limiting vehicle crossings in the public domain.
- O.02 To provide space to widen Villiers Street to accommodate increased traffic and pedestrian volumes as a result of additional development on the site.

**Controls**

- C.01 All vehicular access must only be provided along Villiers Street and be located as far as possible from Victoria Road.
- C.02 A minimum 1m boundary setback is to be provided on Villiers Street, as shown in Figure 9.10.19.1.



Figure 9.10.19.1 – Built Form Design Controls – Heights and Setbacks

SITE SPECIFIC CONTROLS

8-12 VICTORIA ROAD AND 2A VILLIERS STREET

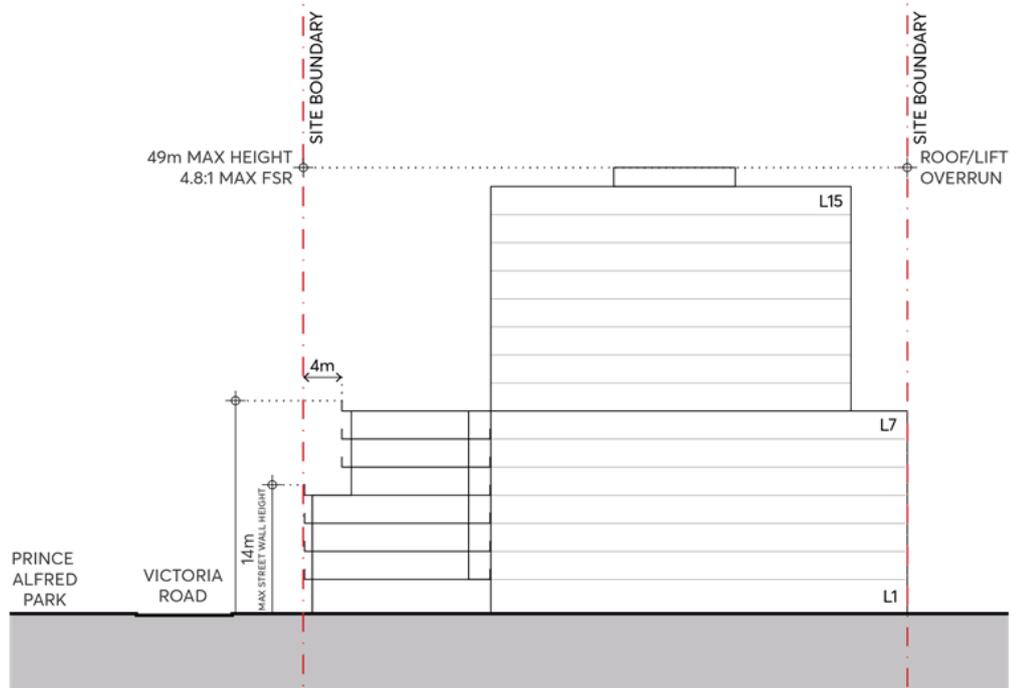


Figure 9.10.19.2 – North - South Section of Site Building Envelope

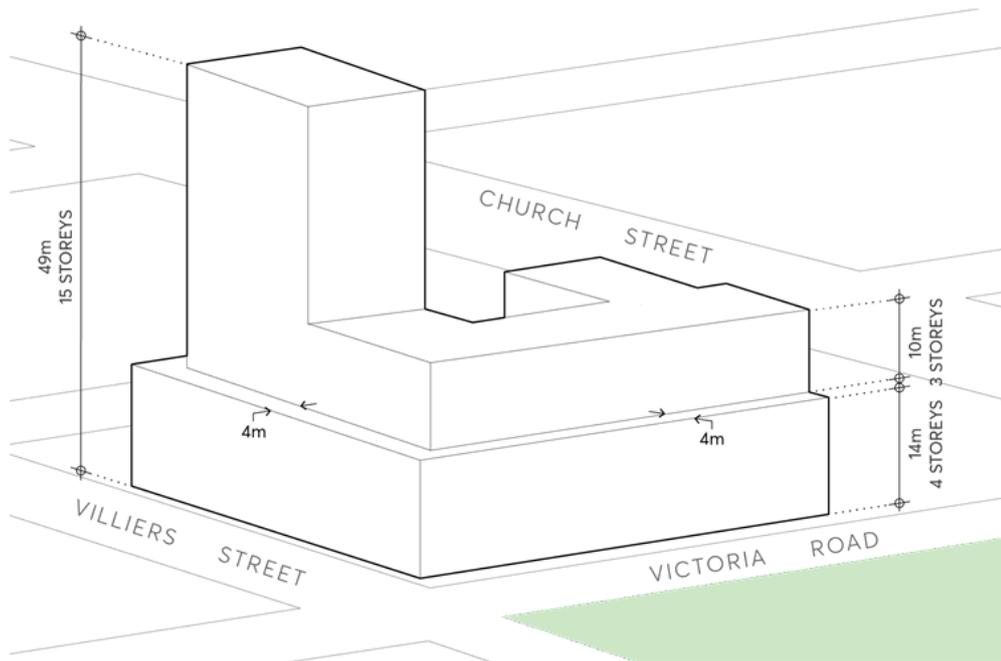


Figure 9.10.19.3 – Indicative Built Form

## 9.10.22 470 CHURCH STREET, PARRAMATTA

This Section applies to land at 470 Church Street, Parramatta legally known as Lot 1 DP 785930 within the Parramatta City Centre –Deferred-Area-A as illustrated in Figure 9.10.20 below.

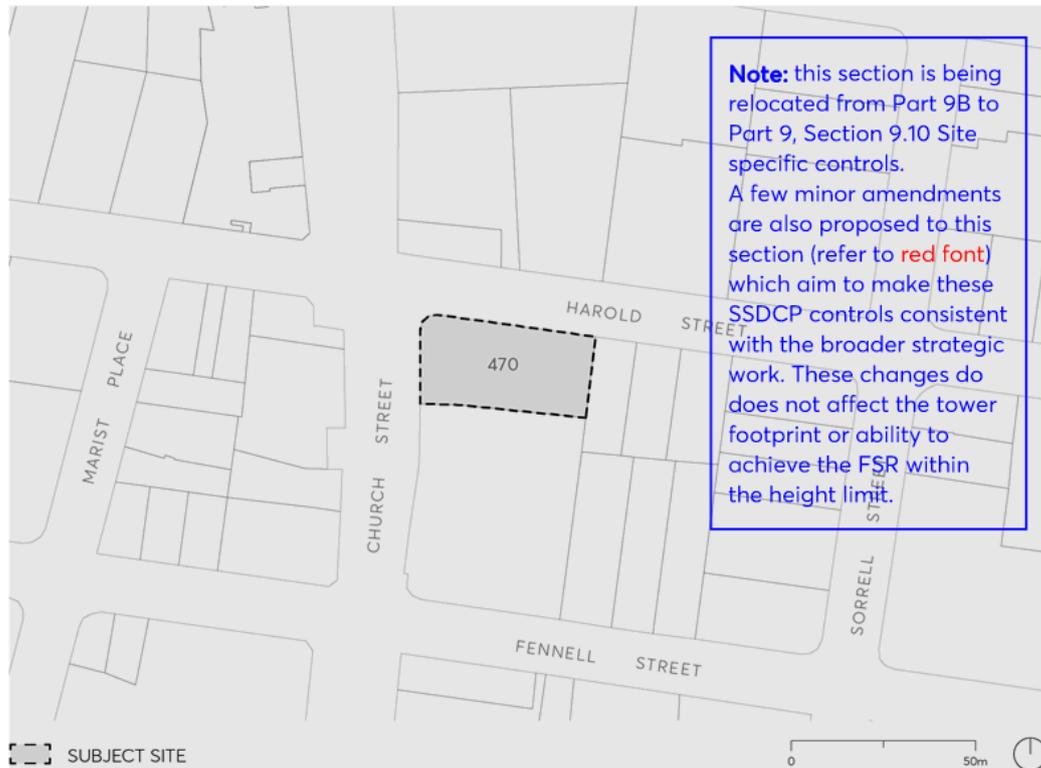


Figure 9.10.20 – Land application map

This Section establishes site specific principles, objectives and controls to be interpreted during preparation and assessment of Development Applications for the site = and is to be read in conjunction with other Parts of this DCP Part 9 including Section 9.5.11 Parramatta North Precinct Special Area of this DCP.

#### DESIRED FUTURE CHARACTER

Future mixed use development proposed at the site is consistent with the State Government policies to facilitate a renewed Parramatta City Centre. The site is located adjacent the Parramatta Light Rail route, that connects the Westmead Precinct (to the west of the site) and the centre of the Parramatta City Centre (to the south of the site).

The mixed use character of development complements the Parramatta City Centre and provides a positive design outcome. The proposed mix of land uses includes retail/commercial uses on the ground floor and level 1 and residential apartments above.

#### Design Principles

The following design principles are to be incorporated into the future design of the building:

Respond to the north facing frontage and generally east-west site with an appropriate built form that maximises solar access.

Create a podium and presentation to the street of design excellence which contributes to the design quality of space and streets in the City Centre-Deferred-Area.

Comprise a podium edge to the streets with recessed tower form. The podium is to be four storeys. The street wall should be designed to provide a well-modulated pedestrian experience at street level. A smaller, more detailed scale should be used in its articulation.

Ground floor façade should be rich in variation and detail. Vertical relief in the façade maximises the walking experience, with awnings included and integrated in the design so as to provide adequate pedestrian shelter.

Development is to comply with the objectives and controls set out below and any other relevant objectives and controls of this DCP-Section.

### Site objectives

- O.01 To provide a mix of uses that support the role of Parramatta City Centre and the Deferred Area.
- O.02 To revitalise Church Street and Harold Street.
- O.03 To encourage high-quality built form outcomes and achieve design excellence.
- O.04 To minimise adverse impacts on the amenity of adjoining uses.

### BUILT FORM, DESIGN AND MASSING

#### Objectives

To ensure that the built form:

- O.01 Responds positively to the site's location in relation to the City Centre, nearby Sorrell Street Heritage Conservation Area and the Deferred Area the streetscape.
- O.02 Has a positive and cohesive relationship with surrounding land and uses.
- O.03 Has adequate separation to minimise visual bulk and to ensure adequate amenity within the site and to neighbouring development.
- O.04 Achieves usable and pleasant street and podium environment in terms of daylight and solar access, scale and wind mitigation.

#### Controls

##### Street Frontage Heights

- C.01 ~~Maximum street wall height of~~ The street wall is to be built to a height of 14m (3-4 storeys) fronting Church and Harold Streets.

### Building Setbacks

C.02 The minimum building setbacks are to be in accordance with the table below:

	Minimum setback (m)
<b>Podium</b>	
Western boundary (Church Street) <del>and northern boundary (Harold Street)</del>	0m
Northern boundary (Harold Street)	3m
Eastern boundary	0m 4.5m
Southern boundary	0m (commercial) 9m 6m (residential levels 2-3)
<b>Tower (upper level)</b>	
Western boundary (Church Street)	6m
Eastern boundary	12m
Northern boundary (Harold Street)	3m 6m (to the property boundary, 3m to the podium)
Southern boundary	9m 6m (to the property boundary)

### Tower Floor Plate

C.03 The reduced tower setback of ~~3m to Harold Street~~ 6m to the southern boundary will accommodate a tower with a floorplate of approximately 650m<sup>2</sup>.

### Building Design

- C.04 The street wall/podium is to be a separate architectural element, that is distinct and different in character from the tower element.
- C.05 High-quality design and materials are to be used for the security shutters into the car park and loading areas.
- C.06 To ensure landscape courtyard on the podium is usable, take into account solar access and wind mitigation.

## LAND USES

### Objectives

- O.01 To provide for useable and functional commercial floor space that can support the desired use, achieve internal spaces appropriate to their function and support the Parramatta City Centre and the Deferred Area.

### Controls

- O.02 The ground floor street frontage is to be used for active commercial uses.
- O.03 Commercial/retail tenancies are to be of a sufficient size and layout to cater for their desired use and function.

SITE SPECIFIC CONTROLS

---

## TRAFFIC AND TRANSPORT

**Objectives**

- O.04 To ensure adequate parking is provided on site.
- O.05 To minimise pedestrian and vehicle conflict by locating vehicle access away from the Church Street intersection.
- O.06 To ensure parking design is integrated into the design of the building.

**Controls**

- C.01 Vehicle access is to be from Harold Street, at the eastern end of the site.
- C.02 Parking in the podium is discouraged. However, where it is provided it must be well integrated into the overall facade and not be visible from the public domain utilising screening or other appropriate design excellence solution.
- C.03 Car parking is to be provided in accordance with clause 7.18 in Parramatta LEP 2023 and bicycle parking is to be provided in accordance with the Parramatta City Centre Strategic Transport Study Section 9.9.3 Bicycle Parking and End of Journey Facilities.
- ~~C.04 Investigate options to integrate vehicular access with the adjacent site at 23-27 Harold Street through one access point.~~

PARRAMATTA CITY CENTRE - DEFERED AREA A

## PARRAMATTA CITY CENTRE – AUTO ALLEY (WEST) DEFERRED AREA A

### CONTENTS

9B	PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST).....	338
9B.1	BUILDING FORM .....	339
9B.1.2	MINIMUM BUILDING STREET FRONTAGE.....	340
9B.1.3	BUILDING TO STREET ALIGNMENT AND STREET SETBACKS .....	340
9B.1.4	STREET AND RIVER FRONTAGE HEIGHTS AND UPPER LEVEL SETBACKS .....	342
9B.1.5	BUILDING DEPTH AND BULK.....	345
9B.1.6	BULIDING SEPARATION .....	346
9B.1.7	BUILDING FORM AND WIND MITIGATION .....	348
9B.1.8	BUILDING EXTERIORS.....	349
9B.2	MIXED USE BUILDINGS.....	351
9B.3	PUBLIC DOMAIN AND PEDESTRIAN AMENITY .....	352
9B.3.1	SITE LINKS AND LANES.....	352
9B.3.2	ACTIVE FRONTAGES .....	353
9B.3.3	PEDESTRIAN OVERPASSES AND UNDERPASSES .....	355
9B.3.4	AWNINGS .....	355
9B.3.5	COURTYARDS AND SQUARES.....	358
9B.4	ACCESS AND PARKING .....	359
9B.4.1	VEHICLE FOOTPATH CROSSINGS.....	359
9B.4.2	PEDESTRIAN ACCESS AND MOBILITY .....	362
9B.4.3	VEHICULAR DRIVEWAYS AND MANOEUVRING AREAS.....	362
9B.4.4	ON-SITE PARKING .....	364
9B.4.5	ABOVE GROUND CAR PARKING.....	366
9B.4.6	LEASING OF EXISTING SURPLUS COMMERCIAL CAR PARKING SPACES.....	367
9B.5	ENVIRONMENTAL MANAGEMENT.....	369
9B.5.1	LANDSCAPE DESIGN.....	369
9B.5.2	PLANTING ON STRUCTURES.....	370
9B.5.3	GREEN ROOFS.....	370
9B.5.4	ENERGY AND WATER EFFICIENT DESIGN.....	372
9B.5.5	RECYCLED WATER.....	372
9B.6	SITE SPECIFIC CONTROLS [RELOCATED TO SECTION 9.10, PART 9].....	373
9B.6.1	8-12 VICTORIA ROAD AND 2A VILLIERS STREET.....	374
9B.6.2	470 CHURCH STREET, PARRAMATTA.....	379

## 9B PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

The controls in this ~~Part Section of this DCP~~ apply to land zoned E3 Productivity Support development within the Parramatta City Centre-Deferred Area A as identified on the Special Provisions Area Map in Parramatta LEP 2023 but exclude the Phillip Street block and the Park Edge Highly Sensitive Area as shown in Figure 9B.1.

The specific objectives and controls for this precinct detailed below are to be applied in conjunction with the general objectives and controls in Part 2, 3, 5, 6 and 7 of this DCP. Where there is any inconsistency with any other part of the DCP, the objectives and controls of this section will prevail.

Refer to Section 9 – Parramatta City Centre for the controls affecting the area shown grey in Figure 9B.1 below and Section 9.5.10 for the Park Edge Highly Sensitive Area controls.

The controls in this Section prevail here there is any inconsistency with Part 9 or other Section of the DCP except in the case of the site-specific controls in Section 9B.6, and in the case of the R2 Low Density Residential zoned land at 15 Albert Street.

The site known as Lot 5, DP795141 which constitutes part of the property known as 15 Albert Street, North Parramatta is zoned R2 Low Density Residential. The controls affecting this site are contained in Part 3 – Residential Development of this DCP.

### The broad objectives for the Parramatta City Centre – Deferred Area Auto Alley (West Area) are:

- O.01 ~~To support the primacy of the centre as an employment node with a strong commercial core occupied by high order quality commercial buildings in its proximity to the commercial core.~~
- O.02 To support the commercial core with surrounding mixed use development that reinforces and complements the centre's core employment role.
- O.03 To ensure high-quality design of buildings and public areas.
- O.04 ~~To activate the Parramatta River edge and the relationship of the river to the city.~~
- O.05 To provide for the conservation and interpretation of Parramatta's heritage.
- O.06 To improve the natural environment.

PARRAMATTA CITY CENTRE - DEFERED AREA A



Figure 9B.1 – Land Application Map – Auto Alley (West) Parramatta City Centre-Deferred Area

## 9B.1 BUILDING FORM

The provisions in this Section are intended to encourage high-quality design for new buildings in the City Centre-Deferred Area A (in part) identified in Figure 9B.1. New development should contribute to an attractive public domain and produce a desirable setting for its intended uses.

**Note:** Refer also to site specific controls in Section 9B.6 – Site Specific Controls which affect sites at 470 Church Street and 8-12 Victoria Road and 2A Villiers Street

### Objectives

The following general objectives apply to this Section:

- O.01 To establish appropriate scale, dimensions, form and separation of buildings.
- O.02 Achieve active street frontages with good physical and visual connections between buildings and the street.
- O.03 Define the public street so that it provides spaces that are legible, safe, comfortable, functional and attractive.
- O.04 Ensure building depth, bulk and separation allows for view sharing and protects amenity, daylight penetration and privacy between adjoining developments.
- O.05 Achieve an articulation and finish of building exteriors that contributes to a high-quality and sustainable urban environment.

O.06—~~Protect and provide visual connections to the Parramatta River and parkland.~~

### 9B.1.2 MINIMUM BUILDING STREET FRONTAGE

#### Objectives

- O.01 To ensure that visually, buildings have an appropriate overall horizontal proportion compared to their vertical proportions.
- O.02 To ensure that vehicular access is reasonably spaced and separated along roads and lanes.
- O.03 To provide appropriate dimensions for the design of car parking levels.

#### Controls

- C.01 Development parcels are required to have at least one street frontage of 20m or more ~~on land zoned E2 Commercial Centre, MU1 Mixed Use or E3 Productivity Support.~~
- C.02 Exceptions to the minimum building street frontage will be considered:
  - if Council is satisfied that due to the physical constraints of the site or adjoining sites it is not possible for the building to be erected with at least one street frontage of 20m or more, and
  - the development meets the objectives of this clause.

### 9B.1.3 BUILDING TO STREET ALIGNMENT AND STREET SETBACKS

Street setbacks and building alignments establish the front building line and reinforce the spatial definition of streets. ~~In all areas of the City Centre Deferred Area c~~Consistent building lines within streets and blocks are desirable and generally buildings should be built to the street alignment to enhance pedestrian amenity and activity at street level. Setbacks should also respond to public spaces, the river foreshore, enhance heritage settings and may also provide for landscape areas and growing areas for street trees.

#### Objectives

- O.01 To provide street edges which reinforce, improve or support the hierarchy and character of specific city streets and lanes.
- O.02 To ensure there are consistent street frontages with buildings having common alignments.
- O.03 To present appropriate design responses to nearby development that complement the streetscape.
- O.04 To create a clear transition between public and private space.
- O.05 To assist in achieving visual privacy to apartments from the street.
- O.06 To allow for street landscape character, where appropriate.

### Controls

- C.01 Comply with the street building alignment and front setbacks specified in Figures 9B.1.2.1 and 9B.1.2.
- C.02 Building alignments and setbacks should also respond to important elements of the nearby context including public spaces and heritage buildings, monuments and landscape elements, in order to complement the streetscape. In some places, this may require greater building setbacks than those specified in Figure 9B.1.2.1.
- C.03 Where the building alignment is set back from the street alignment, balconies are to be generally within the building envelope and may project up to 600mm into front building setbacks.
- C.04 Minor projections into front building lines and setbacks for sun shading devices, entry awnings and cornices are permissible. (See also Section 69B.1.8 – Building Exteriors).



Figure 9B.1.2.1 – Building Alignment and Front Setbacks (to streets), public domain and watercourses)

### 9B.1.4 STREET AND RIVER FRONTAGE HEIGHTS AND UPPER LEVEL SETBACKS

Street frontage heights refer to the height of the building that is built to the street alignment and therefore directly addresses the public street or lane, or the river. The street section figures contained in this Section of this DCP specify the required street and river frontage heights and the required upper level setbacks above.

The street frontage height is the vertical distance measured at the centre of the street frontage from the average of the street levels at each end of the frontage to the parapet level of the frontage. The parapet level is the horizontal plane in which at least two thirds of the length of the top of the façade is situated.

#### Objectives

- O.01 To strengthen the urban form of the City Centre Deferred Area with consistent street wall heights.
- O.02 To achieve comfortable street and riverfront environments for pedestrians in terms of daylight, scale, sense of enclosure and wind mitigation as well as a healthy environment for street trees.
- O.03 To enhance the distinctive character of streets within Parramatta City Centre Deferred Area.

#### Controls

- C.01 Buildings must comply with the relevant street and river frontage heights and upper level setbacks as shown in Figures 9B.1.12 and 9B.1.64. Podium heights must not exceed both the number of storeys and the height in metres.
- C.02 The street frontage height that applies to a shared lane is the same as that of the closest street frontage height the lane connects to. In instances where the lane connects to two or more streets, the higher street frontage height applies (to a maximum of 26 metres).

Corner sites may be built with no upper level setback to the secondary street edge for the first 45 metres within the same site/amalgamation. This helps to articulate corners, generate feasible floor plates as well as allow corner towers to engage directly with the street and footpath. Refer to Figure 9B.1.64.

The following take precedence in determining the primary and secondary street frontages:

Streets running E-W

Streets running N-S

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

BUILDING FORM

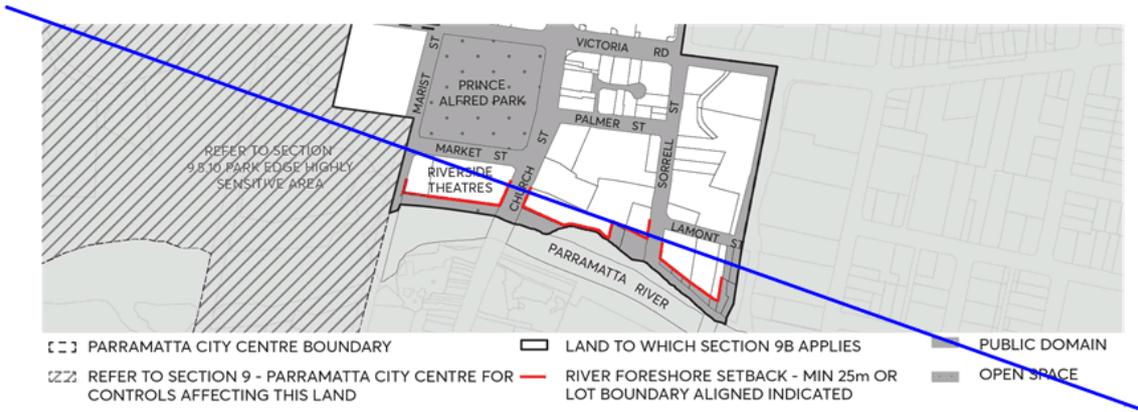


Figure 9B.12 – River Foreshore Setbacks in part of the Deferred Area



Figure 9B.11 – Street / River Frontage Heights – Parramatta City Centre Deferred Area Auto Alley (West)

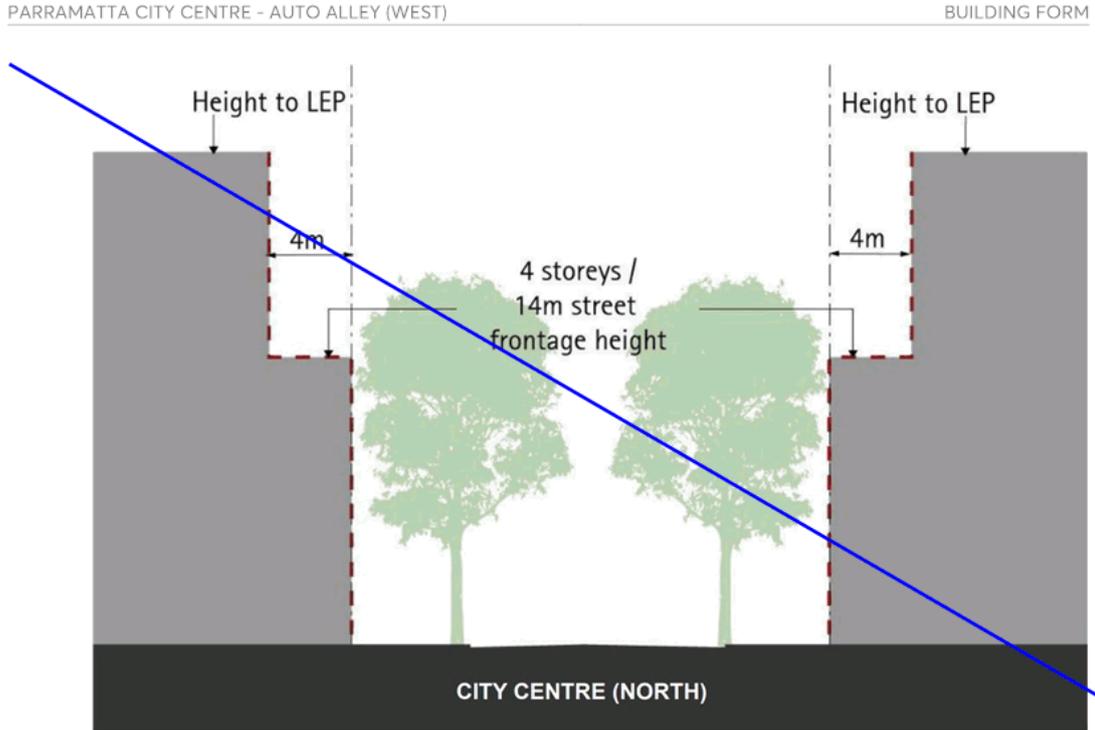


Figure 9B.1.4 – Street Frontage Heights and Upper Level Setbacks City Centre (North)

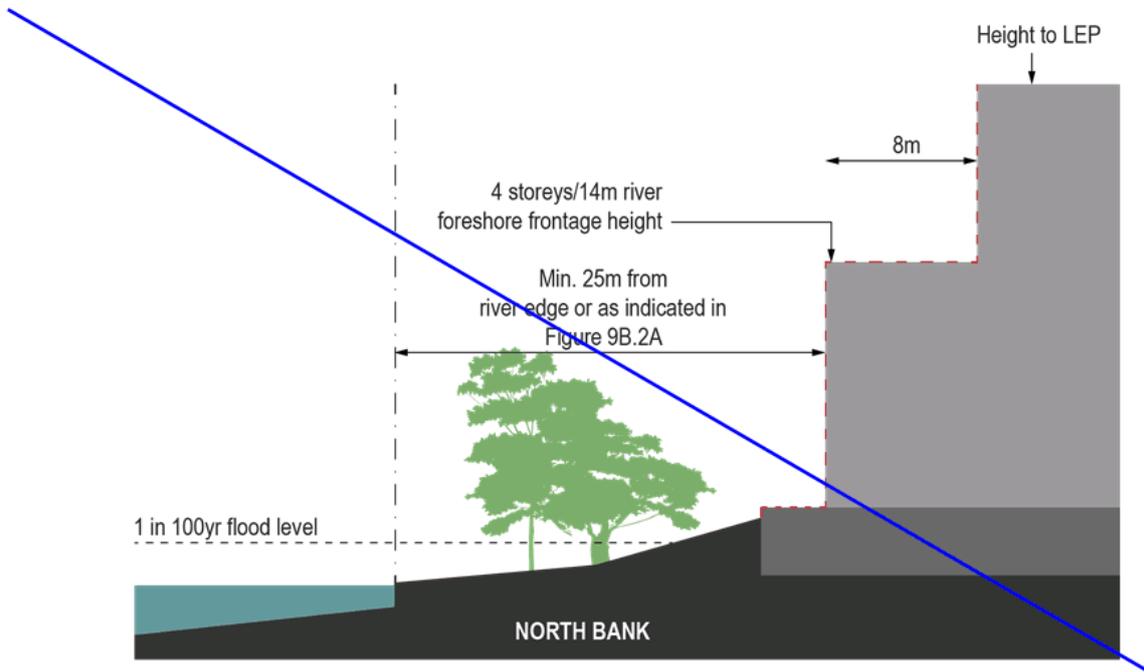


Figure 9B.1.5 – River Frontage Heights and Upper Level Setbacks, River Foreshore

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

BUILDING FORM

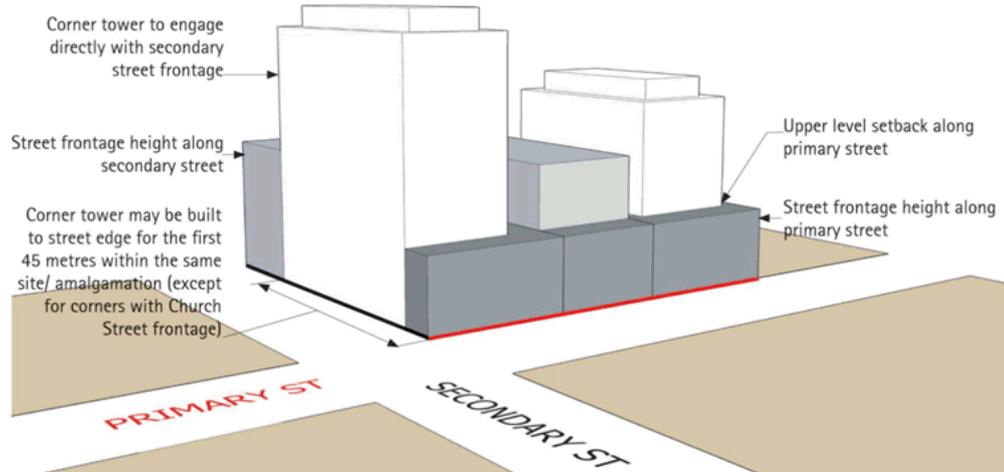


Figure 9B.1.64 – Indicative Corner Condition with different Street Frontage Heights

### 9B.1.5 BUILDING DEPTH AND BULK

Controlling building depth and bulk allows for good internal amenity, access to natural light and ventilation and mitigates potential adverse effects that tall and bulky buildings may have on the public domain.

Building depth is typically related to building use and the need for access to light and ventilation to building interiors and the comfort and amenity required for inhabitants. [Generally, commercial buildings have larger rooms and can be deeper than residential buildings. Mixed use buildings have larger commercial floor plates combined with smaller residential floor plates. The controls in this Section respond to these variables.](#)

#### Objectives

- O.01 To promote the design and development of sustainable buildings.
- O.02 To achieve living and working environments with good internal amenity and minimise the need for artificial heating, cooling, and lighting.
- O.03 To provide viable and useable commercial floor space.
- O.04 To achieve usable and pleasant streets and public domain at ground level by controlling the size of upper level of buildings.
- O.05 To achieve a city skyline sympathetic to the topography and context.
- O.06 To allow for view sharing and view corridors.
- O.07 To reduce the apparent bulk and scale of buildings by breaking up expanses of building wall with modulation of form.

**Controls**

- C.01 All points on an office floor should be no more than 12m from a source of daylight (e.g. window, atria, or light wells).
- C.02 ~~The preferred maximum floor plate area of residential or serviced apartment buildings is 1,000 square metres above a street frontage height of 26 metres. The floor plate area is to be measured to include balconies, external wall thicknesses, internal voids, and atria.~~

## 9B.1.6 BULIDING SEPARATION

**Objectives**

- O.01 To ensure an appropriate level of amenity for building occupants in terms of daylight, outlook, view sharing, ventilation, wind mitigation, and privacy.
- O.02 To achieve usable and pleasant streets, lanes, parks, and public spaces in terms of wind mitigation, daylight, and solar access.

**Controls**

- C.01 ~~The minimum building setbacks from the side and rear property boundaries are illustrated in Figures 9B.1.7 and 9B.1.8 or to shared lanes in Figure 9B.1.9.~~
- C.02 Where permissible, side and rear boundaries are to be built to zero metres at lower levels of buildings.
- C.03 Where a rear setback/courtyard is proposed at ground level, a minimum dimension of 6 metres must be provided. Ground level setbacks must have daylight and amenity. Deep soil zones/podium landscape should be co-located to the rear to create pockets of landscape/mature trees within the block.
- C.04 ~~Notwithstanding the controls in this Section, for residential development additional setbacks may be necessary to satisfy building separation, solar access and amenity requirements of State Environmental Planning Policy 65 – Design Quality of Residential Apartment Development.~~
- C.05 Notwithstanding side setback controls, the podium should be built to the side boundaries (0 metres setback) where fronting the street.
- C.06 If the specified setback distances cannot be achieved when an existing building is being refurbished or converted to another use, appropriate visual privacy levels are to be achieved through other means.
- C.07 The building separation distances between buildings on the same site are not to be less than those required between buildings on adjoining sites, unless it can be demonstrated that reducing the separation distances provides adequate privacy and solar access to the buildings concerned.

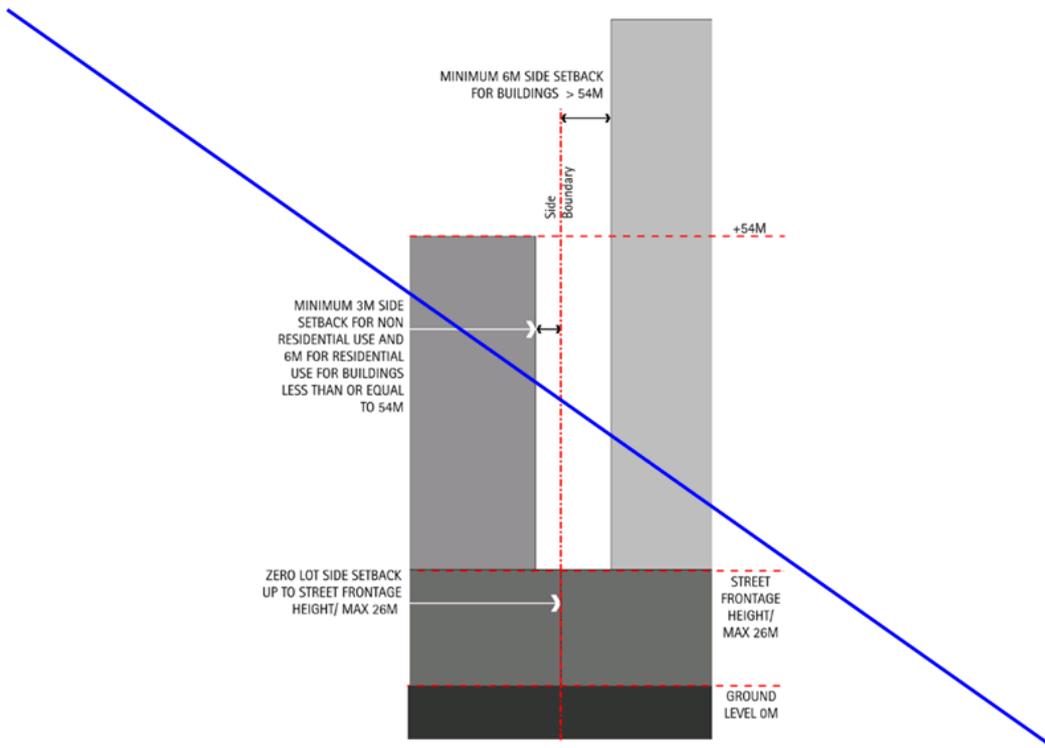


Figure 9B.1.7 – Side Setback

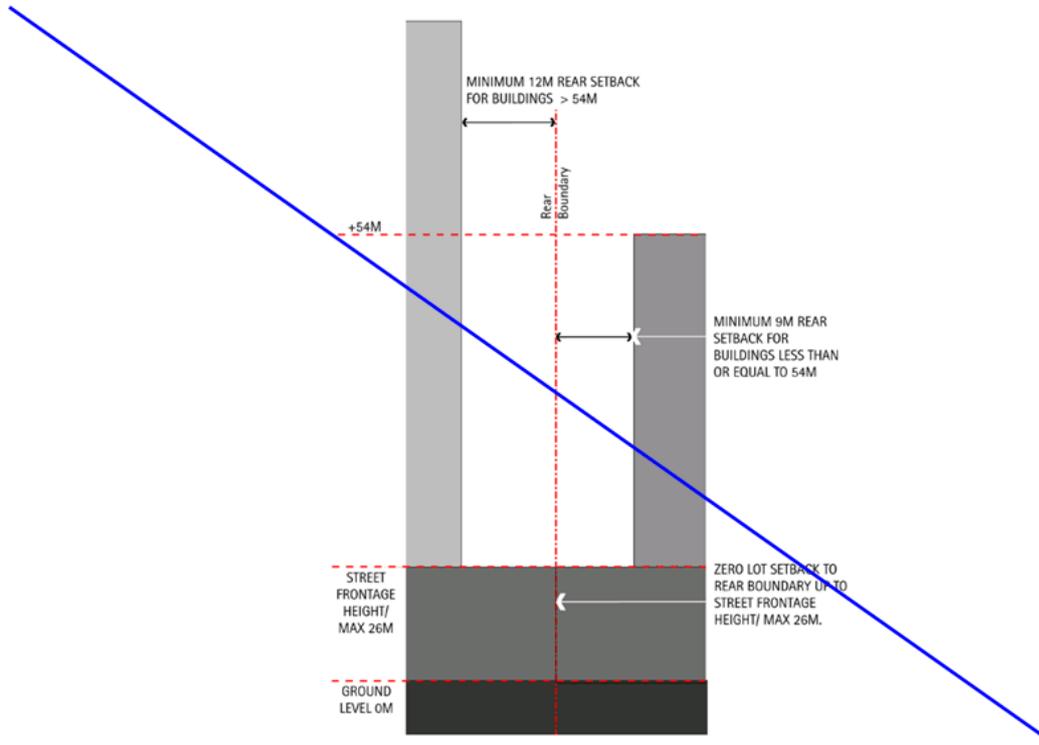
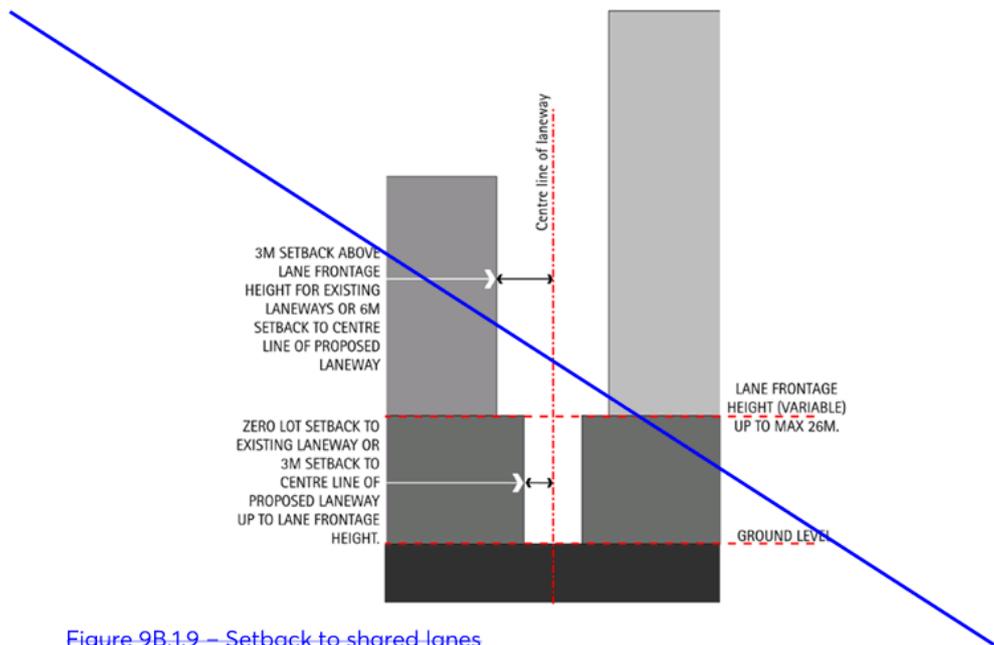


Figure 9B.1.8 – Rear Setback

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

BUILDING FORM



## 9B.1.7 BUILDING FORM AND WIND MITIGATION

### Objectives

- O.01 To ensure that building form enables the achievement of nominated wind standards to maintain safe and comfortable conditions in the City Centre Deferred Area Auto Alley (West) streets and lanes.

### Controls

- C.01 To ensure public safety and comfort the following maximum wind criteria are to be met by new buildings:
- 10 metres/second in retail streets
  - 13 metres/second along major pedestrian streets, parks and public places
  - 16 metres/second in all other streets
- C.02 Site design for tall buildings (towers) should:
- Set tower buildings back from lower structures built at the street frontage.
  - Protect pedestrians from strong wind downdrafts at the base of the tower.
  - Ensure that tower buildings are well spaced from each other to allow breezes to penetrate City Centre Deferred Area Auto Alley (West).
  - Consider the shape, location and height of buildings to satisfy wind criteria for public safety and comfort at ground level.

- Ensure useability of open terraces and balconies.

C.03—~~Wind Effects Report is to be submitted with the DA for all buildings greater than 32m in height.~~

C.04—~~For buildings over 50m in height, results of a wind tunnel test are to be included in the report.~~

### 9B.1.8 BUILDING EXTERIORS

Parramatta's cityscape and public domain is defined by its buildings, streets and public places. The maintenance and improvement of the public domain is dependent on a high-quality approach to the design of new development including the articulation and finish of building exteriors.

#### Objectives

To ensure that buildings ~~in Parramatta City Centre Deferred Area:~~

- O.01 Contribute positively to the streetscape and public domain by means of high-quality architecture and selection of appropriate materials and finishes.
- O.02 Provide richness of detail and architectural interest especially at visually prominent parts of buildings such as lower levels and roof tops.
- O.03 Present appropriate design responses to nearby development that complement the streetscape.
- O.04 Clearly define the adjoining streets, street corners and public spaces and avoid ambiguous external spaces with poor pedestrian amenity and security.
- O.05 Maintain a pedestrian scale in the articulation and detailing of the lower levels of the building.
- O.06—~~Contribute to a visually interesting skyline.~~
- O.07 Restrict the reflection of sunlight from buildings to surrounding areas and buildings.

#### Controls

- C.01 Adjoining buildings (particularly heritage buildings) are to be considered in the design of new buildings in terms of:
  - datum of main façade and roof elements,
  - appropriate materials and finishes selection, and
  - facade proportions including horizontal or vertical emphasis.
- C.02 Balconies and terraces should be provided, particularly where buildings overlook parks and on low rise parts of buildings. Gardens on the top of setback areas of buildings are encouraged.
- C.03 Articulate façades so that they address the street and add visual interest.
- C.04 External walls should be clad with high-quality and durable materials and finishes.
- C.05 Finishes with high maintenance costs, those susceptible to degradation or corrosion that result in unacceptable amenity impacts, such as reflective glass, are to be avoided.
- C.06 To assist articulation and visual interest, avoid large expanses of any single material.

- C.07 Limit opaque or blank walls for ground floor uses to 30% of the building street frontage.
- C.08 Maximise glazing for ground floor retail uses, but break glazing into sections to avoid large expanses of glass.
- C.09 A materials sample board and schedule is required to be submitted with applications for development over \$1 million or for that part of any development built to the street edge.
- C.10 Minor projections up to 450mm from building walls in accordance with those permitted by the Building Code of Australia may extend into the public space providing it does not fall within the definition of gross floor area and there is a public benefit, such as:
- expressed cornice lines that assist in enhancing the streetscape, and
  - projections such as entry canopies that add visual interest and amenity.
- C.11 The design of roof plant rooms and lift overruns is to be integrated into the overall architecture of the building.
- C.12 New buildings and facades should not result in glare that causes discomfort or threatens safety of pedestrians or drivers.
- C.13 Subject to the extent and nature of glazing and reflective materials used, a Reflectivity Report that analyses potential solar glare from the proposed development on pedestrians or motorists may be required.

## 9B.2 MIXED USE BUILDINGS

~~City Centre Deferred Area Auto Alley (West)~~ buildings provide for a variety of uses and activities that reinforce the character and function of the ~~City Centre Deferred Area Auto Alley (West)~~ and create activity and lively streets. In mixed use buildings, different uses are contained within the same building and are best located to a pattern and layout suitable to the mix of uses.

### Objectives

- O.01 To create active and lively streets with enhanced public safety by increasing activity in the public domain.
- O.02 To minimise potential conflicts and achieve compatibility between different uses.
- ~~O.03 To ensure that the design of mixed-use buildings addresses residential amenity and supports commercial and retail uses.~~
- O.04 To create legible and safe access and circulation in mixed use buildings.
- O.05 To ensure that buildings address the public domain and the street.

### Controls

- C.01 ~~Specialised~~ retail and business activity should be provided at ground level to support street activation ~~and residential uses, requiring privacy and noise mitigation, should be located above street level.~~
- C.02 Ground floor of all mixed-use buildings are to have a minimum floor to ceiling height of 3.6m in order to provide for flexibility of future use. Above ground level, minimum floor to ceiling heights are to be a minimum of 2.7 metres.
- C.03 ~~Separate commercial service requirements, such as loading docks, from residential access, servicing needs and primary outlook.~~ Service entries are to be provided from the rear where possible.
- ~~C.04 Locate clearly demarcated residential entries directly from the public street.~~
- ~~C.05 Clearly separate and distinguish commercial and residential entries and vertical circulation.~~
- C.06 Provide security access controls to all entrances into private areas, including car parks and internal courtyards.
- C.07 Front buildings onto major streets with active uses.
- C.08 Avoid the use of blank building walls at the ground level at street or lane frontages.
- C.09 Facilities for servicing the building, sub-stations, waste collection and the like are to be integrated as part of the building design to minimise the impact on active street frontages.

### 9B.3 PUBLIC DOMAIN AND PEDESTRIAN AMENITY

The public domain includes the publicly accessible shared spaces ~~of the Deferred Area in the City Centre~~, including streets, lanes, squares and parks ~~(refer to Figure 9B.3.1)~~. The public domain is also affected by the private domain - the design quality of adjoining buildings, overshadowing, the design and location of building entrances, setbacks and signage.

The pedestrian network is a key aspect of the public domain. The pedestrian amenity provisions in this Section are intended to achieve a high-quality of urban design, pedestrian comfort and safety in the public spaces of the ~~City Centre Deferred Area Auto Alley (West)~~. ~~Parramatta's streets, lanes, arcades and through site links should form an integrated and legible pedestrian network providing choice of routes at ground level for pedestrians. The design of individual developments will be required to contribute to and integrate with this network.~~

Council has adopted the [Parramatta Public Domain Guidelines](#) which are available on Council's web site. These guidelines need to be referred to for new developments in the ~~City Centre Deferred Area Auto Alley (West)~~ and require the preparation for approval of an Alignments Plan and a Public Domain Plan.

Council's tree mapping in its [Parramatta Public Domain Guidelines](#) has a Street Tree Plan, available on request, which should be consulted when preparing a public domain plan. Species selection for ~~City Centre Deferred Area Auto Alley (West)~~ developments should be appropriate for proposed building heights and ~~City Centre Deferred Area Auto Alley (West)~~ micro-climates to mitigate the urban heat island effect.

#### 9B.3.1 ~~SITE LINKS AND LANES~~

~~Site links provide access connections between the long sides of street blocks for pedestrian and vehicular access at street level. These links provide an important function in the form of lanes, shared zones, arcades and pedestrian ways.~~

**Note:** Refer also to site specific controls in Section 9B.6 – Site Specific Controls which affect sites at 470 Church Street and 8-12 Victoria Road and 2A Villiers Street.

#### Objectives

- ~~O.01 To improve access in the City Centre Deferred Area Auto Alley (West) by providing new lanes and site links and enhancing existing links as redevelopment occurs.~~
- ~~O.02 To contribute to the legibility of the pedestrian network.~~
- ~~O.03 To ensure that site links have active frontages.~~
- ~~O.04 To provide for pedestrian amenity and safety.~~
- ~~O.05 To encourage removal of vehicular entries from primary street frontages.~~
- ~~O.06 To retain and further develop lanes and small spaces as useful and interesting pedestrian connections as well as for service access.~~

O.07—~~To implement Council's Parramatta City Centre Lanes Policy.~~

### Controls

C.01—~~Through site links, arcades, shared ways and laneways are to be provided as shown in Figure 9B.1.3 Street / River Frontage Heights (denoted by an orange line).~~

C.02—~~The design and finish of new site links is to be provided in accordance with Council's Parramatta Public Domain Guidelines.~~

C.03—~~Site links for pedestrians and shared pedestrian and vehicular lanes are to:~~

- ~~have a minimum of 40% of active ground floor frontage;~~
- ~~be legible and direct throughways; and~~
- ~~provide public access at all business trading times when the link is through a development and at all times for lanes.~~

C.04—~~Pedestrian site links are to have a minimum width of 3 metres non-leasable space clear of all obstructions (including columns, stairs, and escalators).~~

C.05—~~Internal arcades will not be approved in preference to activation of an existing or required lane or site link.~~

C.06—~~Building address to lanes and site links shall create visual interest such as landscaping, awnings, paved finishes, and good lighting.~~

C.07—~~Shared lanes and vehicular lanes are to have a minimum width of 6m clear of all obstructions.~~

C.08—~~To provide interest in these spaces, public art installations are encouraged in lanes.~~

### 9B.3.2 ACTIVE FRONTAGES

Active frontages provide a visual connection between the public domain and the interiors of buildings. This can be achieved by the design and level of building entries from streets, lanes and other public spaces, window displays, façade modulation and glazing and location of uses such as ~~shops~~, cafes, restaurants, reception areas and customer service counters at visible frontages to the public domain.

Active frontage uses are defined as one, or a combination of the following at street level, ~~or at the river frontage~~:

- Entrance to ~~specialised~~ retail.
- ~~Shop front.~~
- Glazed entries to lobbies.
- Cafe or restaurant if accompanied by an entry from the street.
- Active office uses, such as reception, if visible from the street.
- Public building if accompanied by an entry.

### Objectives

- O.01 To promote pedestrian activity and safety in the public domain.
- O.02 To maximise active street and lane fronts in the [City Centre Deferred Area Auto Alley \(West\)](#).
- ~~O.03 To maximise active frontages to the river foreshore.~~
- O.04 To define areas where active frontages are required.

### Controls

#### Active Frontages ~~for non-residential development~~

- C.01 Active frontages are required throughout the [City Centre Deferred Area Auto Alley \(West\)](#) on [primary street frontages](#) for a minimum of 50% of each building front; ~~and on secondary street frontages and lanes for a minimum of 40% of each building front.~~
- C.02 Active ground floor uses are to be at the same level as the footpath and be accessible directly from the street. (Refer to Council's [Parramatta Public Domain Guidelines](#) and the requirement for an Alignments Plan).
- C.03 Provide multiple entrances for large developments [including an entrance on each street frontage](#).
- C.04 Security grilles detract from an active street front, but where they are essential, must be fitted only internally within the shopfront and set back from the line of enclosure. Such grilles are to be fully retractable and at least 50% transparent in their closed state.
- C.05 Extend active frontages above ground floor level with uses and building design, which provide transparency, and visual contact with the public domain.
- ~~C.06 Opportunities for active frontages to parks, public squares and the river foreshore are to be maximised.~~

#### ~~Active frontages with street address for residential development~~

- ~~C.07 Street address for residential development is to include entries, lobbies, and habitable rooms with clear glazing to the street not more than 1.2m above street level and excluding car parking areas.~~
- ~~C.08 Residential developments are to provide a clear street address and direct pedestrian access off the primary street front and allow for apartments to overlook all surrounding streets and lanes.~~
- ~~C.09 Provide multiple entrances for large developments including an entrance on each street frontage.~~
- ~~C.10 Provide direct 'front door' access from ground floor residential units.~~
- ~~C.11 Residential buildings are to provide not less than 65% of the lot width as street address.~~

**9B.3.3 — PEDESTRIAN OVERPASSES AND UNDERPASSES**

Parramatta's climate does not warrant pedestrian isolation from the street and any conflicts between pedestrians and vehicles are to be resolved at the street level.

Pedestrian overpasses are discouraged as they create access issues for the mobility impaired, degrade streetscape quality and block views and vistas along streets. New pedestrian underpasses will only be considered where they would directly connect to major transport nodes such as railway stations and substantially improve pedestrian safety and access.

**Objectives**

- O.01 — To promote ease of access for pedestrians in streets and public places.
- O.02 — To promote 'Safer by Design' and crime prevention principles.
- O.03 — To encourage pedestrian circulation at street level.
- O.04 — To protect views and vistas along streets.

**Controls**

- C.01 — New overpasses over streets will generally not be approved. In exceptional circumstances, new overpasses over service lanes may be considered by the consent authority subject to assessment of impacts on safety and crime prevention, streetscape amenity and activation of the public domain. In such circumstances, overpasses are to be fully glazed, not greater than 6 metres wide or more than one level high.
- C.02 — Underpasses may be considered by the consent authority for direct connection under adjacent streets to railway stations;
  - where they would substantially improve pedestrian safety and accessibility, and
  - where they incorporate active uses, particularly at entry and exit points.
- C.03 — Access to underpasses should be provided directly from a public footpath at the street alignment (rather than reducing the space of the footpath). This will ensure public access at all times and enhance the use and activities of the public domain.
- C.04 — All underpasses are to have a minimum width of 5 metres clear of all fixed obstructions and a minimum ceiling height of 4 metres.

**9B.3.4 — AWNINGS**

Awnings increase the useability and amenity of public footpaths by protecting pedestrians from sun and rain. They encourage pedestrian activity along streets and in conjunction with active edges such as retail frontages, support and enhance the vitality of the local area. Awnings, like building entries, provide a public presence and interface within the public domain and contribute to the identity of a development.

**Objectives**

- O.01— ~~To increase pedestrian amenity in areas of high pedestrian volume by providing protection from wet weather and sunlight with awnings.~~

**Controls**

- C.01— ~~Continuous street frontage awnings are to be provided for all new developments as indicated in Figure 9B.3.1.~~
- C.02— ~~New awnings must align with adjacent existing awnings and complement building facades.~~
- C.03— ~~Wrap awnings around corners where a building is sited on a street corner.~~
- C.04— ~~For streets, awning dimensions should generally be:~~
- ~~Minimum soffit height of 3.3 metres.~~
  - ~~Low profile, with slim vertical fascias or eaves (generally not to exceed 300mm height).~~
  - ~~Setback a minimum of 600mm from the face of the kerb.~~
  - ~~Minimum of 3.0 metres deep unless street trees are required.~~
- C.05— ~~Where street trees are required the entire length of the awning is to be set back from the kerb by 1.2 metres. Cut outs for trees and light poles in awnings are not acceptable.~~
- C.06— ~~For lanes:~~
- ~~Well designed awnings and entrance canopies that provide additional shelter at entrances, define particular spaces in lanes and relate in scale to individual ground floor uses addressing the lane are encouraged.~~
  - ~~Awnings and entrance canopies must be cantilevered; no posts are allowed to maintain sight lines and a 1.8m clear path of travel along the building edge.~~
  - ~~The style of awning recommended is the retractable folding arm type.~~

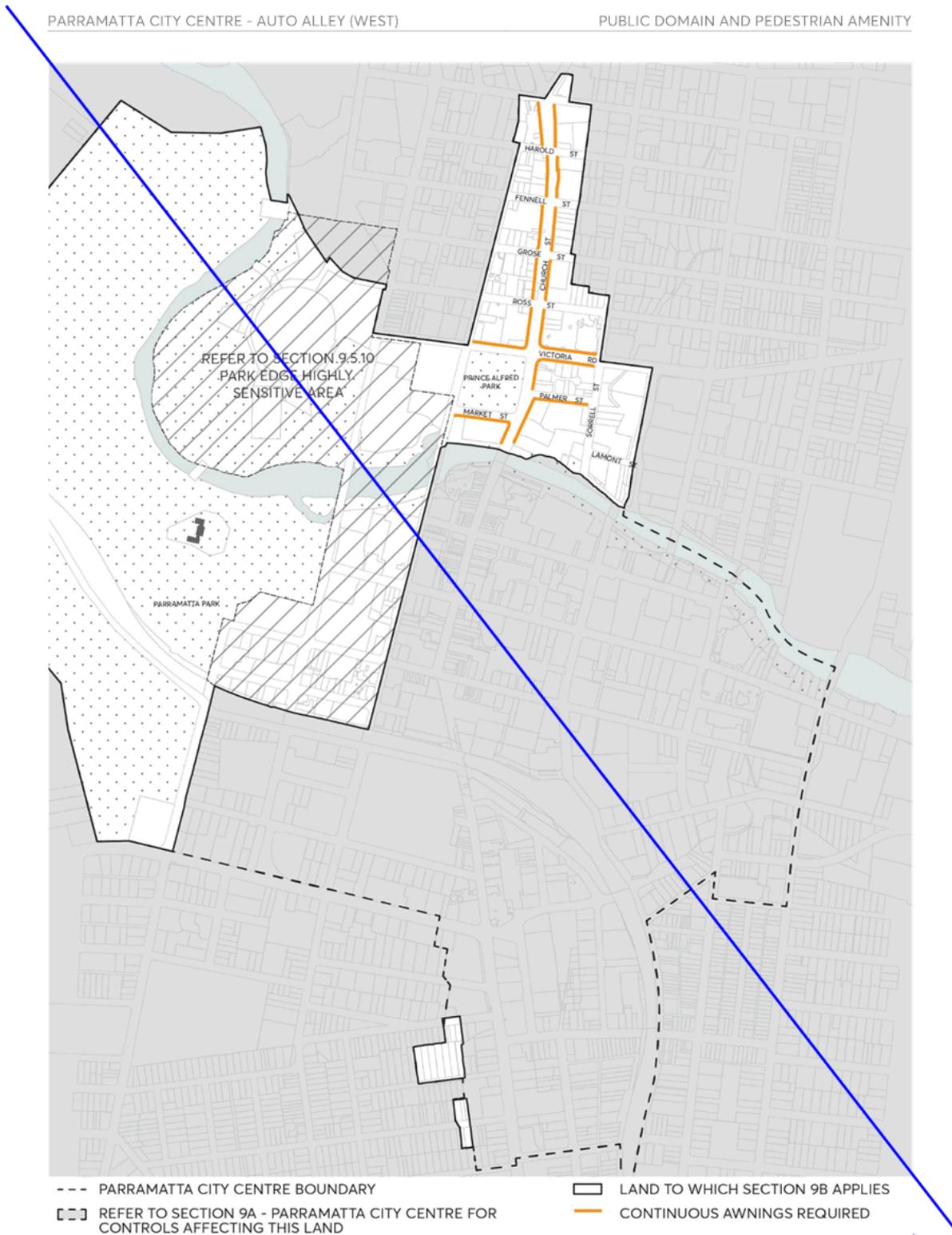


Figure 9B.3.1— Awnings

### 9B.3.5 COURTYARDS AND SQUARES

#### Objectives

O.01—To expand and enhance the public domain.

#### Controls

C.01—Integrate forecourts, squares and courtyards with through block links where appropriate.

C.02—Design forecourts, squares and courtyards to visually and physically extend the public domain.

C.03—Forecourts, squares and courtyards should be delightful outdoor rooms, and must be well considered with regard to aspect and height to width, and depth to width proportions.

C.04—It is preferred that courtyards and squares are the same level as the street to facilitate access and integration with the public domain.

C.05—Basement car parks should be contained predominantly within building footprints and allow for deep soil beneath forecourts and courtyards for large canopy tree planting.

#### Squares

C.06—Squares are to be spatially defined with at least three substantially or fully built edges, will not exceed a depth to width ratio of 3:1, and will be not less than 12m wide.

## 9B.4 ACCESS AND PARKING

### 9B.4.1 VEHICLE FOOTPATH CROSSINGS

The design and location of vehicle access to developments should minimise both conflicts between pedestrians and vehicles on footpaths, particularly along pedestrian priority places and visual intrusion and disruption of streetscape continuity.

#### Objectives

- O.01 To make vehicle access to buildings more compatible with pedestrian movements and the public domain.
- O.02 To ensure vehicle entry points are integrated into building design and contribute to high-quality architecture and streetscapes.

#### Controls

##### Location of Vehicle Access

- C.01 ~~No additional vehicle entry points will be permitted into the parking or service areas of development along those streets identified as significant pedestrian circulation routes in Figure 9B.4.1.~~
- C.01 ~~In all other areas,~~ One vehicle access point only (including the access for service vehicles and parking for non-residential uses within mixed use developments) will be generally permitted.
- C.02 Where practicable, vehicle access is to be from lanes and minor streets rather than primary street fronts or streets with major pedestrian activity.
- C.03 Where practicable, adjoining buildings are to share or amalgamate vehicle access points. Internal on-site signal equipment is to be used to allow shared access. Where appropriate, new buildings should provide vehicle access points so that they are capable of shared access at a later date.
- C.04 Vehicle access may not be required or may be denied to some heritage buildings.

##### Design of Vehicle Access

- C.05 Vehicle access ramps parallel to the street frontage will not be permitted.
- C.06 Doors to vehicle access points are to be fitted behind the building façade and to be of materials that integrate with the design of the building and contribute to a positive public domain.
- C.07 Vehicle entries are to have high-quality finishes to walls and ceilings as well as high standard detailing. No service ducts or pipes are to be visible from the street.

##### Porte Cocheres

- C.08 Porte cocheres disrupt pedestrian movement and do not contribute to active street frontage. They may only be permitted in exceptional circumstances for hotels and major tourist venues subject to high-quality urban design, streetscape, heritage and pedestrian amenity considerations.

- C.09 If justified, porte cocheres should preferably be internal to the building with one combined vehicle entry and exit point, or one entry and one exit point on two different street fronts of the development.
- C.10 In exceptional circumstances for buildings with one street frontage only, an indented porte cochere with separate entry and exit points across the footpath may be permitted, as long as:
- it is constructed entirely at the footpath level,
  - provides active street frontage uses in addition to any hotel entry or lobby at its perimeter,
  - is of high-quality design and finish, and
  - provides for safe and clear pedestrian movement along the street.

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

ACCESS AND PARKING

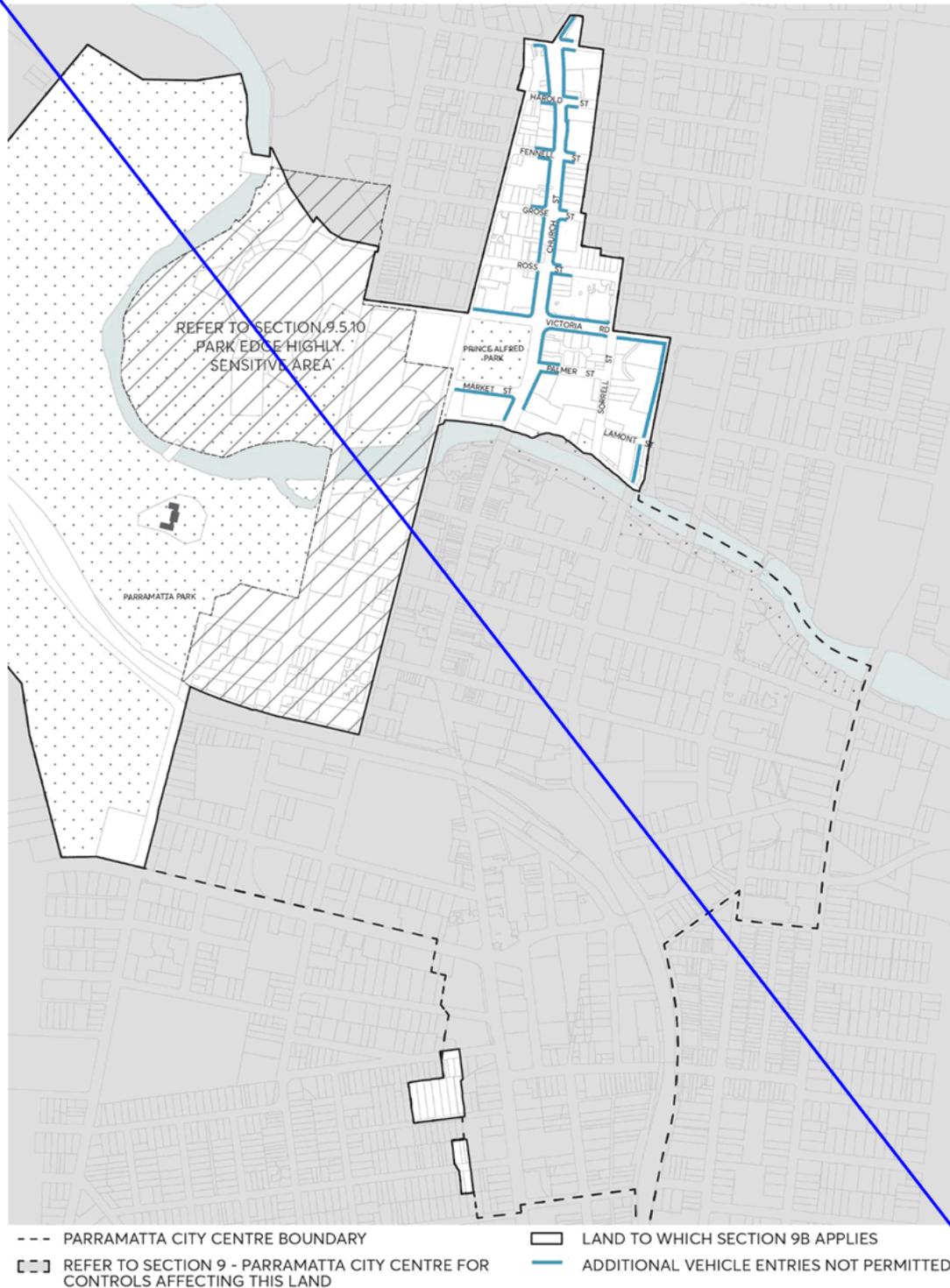


Figure 9B.4.1— Restrictions on Vehicle Entries

## 9B.4.2 PEDESTRIAN ACCESS AND MOBILITY

### Objectives

- O.01 To ensure that all people who live, work, or visit the city are able to access and use all spaces, services and facilities through the creation of a barrier free environment in all public spaces, premises and associated spaces.
- O.02 To provide a safe and easy access to buildings to enable better use and enjoyment by people regardless of age and physical condition, whilst also contributing to the vitality and vibrancy of the public domain.

### Controls

- C.01 Main building entry points should be clearly visible from primary street frontages and enhanced as appropriate with awnings, building signage or high-quality architectural features that improve clarity of building address and contribute to visitor and occupant amenity.
- C.02 Access to public areas of buildings and dwellings should be direct and without unnecessary barriers. Avoid obstructions, which cause difficulties including:
- uneven and slippery surfaces;
  - steep stairs and ramps;
  - narrow doorways, paths and corridors; and
  - devices such as door handles which require two hands to operate.
- C.03 The design of facilities (including car parking requirements) for disabled persons must comply with the relevant Australian Standard (AS 1428.1 and AS1438.2, or as amended) and the *Disability Discrimination Act 1992* (as amended).
- C.04 The development must provide at least one main pedestrian entrance with convenient barrier free access in all developments to at least the ground floor.
- C.05 The development must provide continuous paths of travel from all public roads and spaces as well as unimpeded internal access.
- C.06 Pedestrian access ways, entry paths and lobbies must use durable materials commensurate with the standard of the adjoining public domain (street) with appropriate slip resistant materials, tactile surfaces and contrasting colours.

## 9B.4.3 VEHICULAR DRIVEWAYS AND MANOEUVRING AREAS

### Objectives

- O.01 To minimise the impact of vehicle access points and driveway crossovers on streetscape amenity, pedestrian safety and the quality of the public domain by:
- designing vehicle access to required safety and traffic management standards,

- integrating vehicle access with site planning, streetscape requirements, traffic patterns, and
  - minimising potential conflict with pedestrians.
- O.02 To minimise the size and quantity of vehicle and service crossings to retain streetscape continuity and reinforce a high-quality public domain.

### Controls

- C.01 Driveways should be:
- Provided from lanes and secondary streets rather than the primary street, wherever practical.
  - Located taking into account any services within the road reserve, such as power poles, drainage inlet pits and existing or proposed street trees.
  - Located a minimum of 10 metres from the perpendicular of any intersection of any two roads.
  - If adjacent to a residential development, setback a minimum of 1.5m from the relevant side property boundary.
- C.02 Vehicle access is to be designed to:
- minimise the visual impact on the street, site layout and the building façade design, and
  - if located off a primary street frontage, integrated into the building design.
- C.03 All vehicles must be able to enter and leave the site in a forward direction without the need to make more than a three point turn.
- C.04 Separate and clearly differentiate pedestrian and vehicle access.
- C.05 Locate vehicle access a minimum of 3 metres from pedestrian entrances.
- C.06 Minimise the size and quantity and visual intrusion of vehicle access points.
- C.07 Vehicular access may not ramp along boundary alignments edging the public domain, streets, lanes parks, water frontages and the like.
- C.08 Design of driveway crossings must be in accordance with Council's standard Vehicle Entrance Designs, with any works within the footpath and road reserve subject to a Section 138 Roads Act approval.
- C.09 Driveway widths must comply with the relevant Australian Standards.
- C.10 Car space dimensions must comply with the relevant Australian Standards.
- C.11 Driveway grades, vehicular ramp width/grades and passing bays and sight distance for driveways must be in accordance with the relevant Australian Standard, (AS 2890.1).
- C.12 Vehicular ramps less than 20 metres long within developments and parking stations must have a maximum grade of 1 in 5 (20%). Ramp widths must be in accordance with AS 2890.
- C.13 Access ways to underground parking should not be located adjacent to doors of the habitable rooms of any residential development.

- C.14 For residential development, use semi-pervious materials for all uncovered parts of driveways/spaces to provide for some stormwater infiltration.
- C.15 Vehicular access, egress and manoeuvring is to be provided in accordance with the NSW Fire Brigades Code of Practice – Building Construction – NSWFB Vehicle Requirements.
- C.16 Generally, provision must be made for NSW Fire Brigade vehicles to enter and leave the site in a forward direction where:
- NSW Fire Brigade cannot park their vehicles within the road reserve due to the distance of hydrants from the building or restricted vehicular access to hydrants; or
  - the site has an access driveway longer than 15m.

#### 9B.4.4 ON-SITE PARKING

On-site parking includes underground (basement), surface (at-grade) and above ground parking, including parking stations. Underground and semi-underground parking minimises the visual impact of car parks and is an efficient use of the site. Above ground parking may be appropriate for some sites, especially for sites constrained because of flood levels or archaeological conditions. However, above ground car parking will only be accepted if it is of a high design quality and meets the design controls specified in this Section. Car parking rates for the Parramatta City Centre Deferred Area are contained in Clause 7.17 Car Parking of *Parramatta LEP 2023*. These rates are maximum rates and are not to be exceeded.

##### 9B.4.4.1 CAR PARKING RATES

#### Objectives

- O.01 To facilitate an appropriate level of on-site parking provision in the [Auto Alley \(West\) City Centre Deferred Area](#) to cater for a mix of development types.
- O.02 To minimise the visual impact of on-site parking.
- O.03 To provide adequate space for parking and manoeuvring of vehicles (including service vehicles and bicycles).
- O.04 To recognise the complementary use and benefit of public transport and non-motorised modes of transport such as bicycles and walking.

#### Controls

- C.01 Where car parking is provided in basements, and semi-basements, development which will involve excavation shall incorporate the recommended site management procedures set out in the Parramatta Historical Archaeological Landscape Management Study.
- C.02 Consolidate basement car parking areas under building footprints to maximise the area available for deep soil planting beneath forecourts and courtyards.
- C.03 Maximise the efficiency of car park design with predominantly orthogonal geometry and related to circulation and car space sizes.

- C.04 Design parking structures which minimise reliance on artificial lighting and car exhaust ventilation.
- C.05 Provide 1-2% readily accessible parking spaces, designed and appropriately signed for use by people with disabilities.
- C.06 Provide separate parking for motorcycles for an area equal to 1 car parking space, as a minimum, for every 50 car parking spaces provided, or part thereof. Motor cycle parking does not contribute to the number of parking spaces for the purpose of complying with the maximum number of parking spaces permitted.
- C.07 On-site parking must meet the relevant Australian Standard (AS 2890.1 2004 – Parking facilities, or as amended).
- C.08 Provide marked pedestrian pathways to car parking areas with clear lines of sight and safe lighting especially at night.

#### Bicycle Parking

- C.09 Make provision for secure bicycle parking in all public car parks and every building with onsite parking, in compliance with Part 6 – Traffic and Transport of this DCP.
- C.10 Bicycle parking in public car parks will achieve safe, easy, and convenient access from the building to public streets.
- C.11 For commercial and retail development providing employment for 20 persons or more, provide adequate change and shower facilities for cyclists. Facilities should be conveniently located close to bike storage areas.

#### Parking for residential flat buildings

- ~~C.12 On-site parking is to be accommodated underground, or otherwise integrated into the design of the building.~~
- ~~C.13 Stack parking of up to 2 cars is permitted where spaces are attached to the same strata title or lease arrangement comprising a single dwelling unit.~~

#### Parking for commercial developments and mixed use developments

- C.12 The impact of any at-grade car parking must be minimised by:
- locating parking on the side or rear of the lot away from the street frontage;
  - provision of fencing or landscaping to screen the view of cars from adjacent streets and buildings; and
  - allowing for safe and direct access to building entry points.
- C.13 Natural ventilation should be provided to underground parking areas where possible, with ventilation grilles and structures;
- integrated into the overall façade and landscape design of the development,
  - not located on the primary street façade, and
  - oriented away from windows of habitable rooms and private open spaces areas.

## 9B.4.5 ABOVE GROUND CAR PARKING

### Objectives

- O.01 To provide car parking in an efficient and cost-effective manner.
- O.02 Ensure the manner in which the car parking is provided maintains and improves the amenity, aesthetic quality and liveability of the public domain.
- O.03 Provide car parking in a manner that would make a reduction in the amount and rate of car parking provision possible as the city economy strengthens and alternative modes of transport are developed to serve the city.
- O.04 Design car parking to be energy efficient, well lit, safe, and attractive.

### Controls

- C.01 The preferred location of car parking in the [Auto Alley \(West\) Parramatta City Centre-Deferred Area](#) is in basements. Above ground car parking may be appropriate for some sites, especially where there are constraints such as flood levels and/or archaeological conditions. Above ground car parking will only be permitted where the car parking:
  - Is of high-quality design and will not have an adverse impact on the visual and acoustic amenity of neighbouring buildings and public domain.
  - Is located behind other active uses including residential, specialised retail and office when the frontage is to a primary street or public domain as indicated on Figure 9B.4.2. Where activation of above ground levels is required, the active use is to wrap around the corner of the building for a minimum of 15m. Refer to Figure 9B.4.3
  - Is screened from the public domain, including all streets and lanes through the use of screening devices, architectural elements and landscaping that is integrated into the design of the building. Cars are not to be visible from the public domain. Car parking luminaires are not to be visible from the public domain. Refer to Figure 9B.4.3.
  - Has an access that will not have an unacceptable impact on streetscape or the public domain in accordance with Figure 9B.4.1.
  - Does not extend higher than the frontage and podium heights permitted on adjoining streets and in the case of different heights the lesser of the two.
  - Is fully enclosed by a suitably designed wall or screen at ground level (on the frontages not required to be sleeved with active uses), with the exception of air supply vents, which should be a minimum of 2.3m above the ground at their lowest point, and designed to ensure the interior of the car park is not visible from the adjoining public domain.
  - Allows for the creation of mid-block connections and laneways as indicated on Figure 9B.4.2.
  - Is set back from the rear boundary of lots by a minimum of 6 metres to allow for natural 'make up air supply' to ensure efficient low energy operation.

- New access points to all parking (above and below ground) are to be limited in accordance Figure 9B.4.2. New access points will be permitted from existing lanes or new lanes, which may be created as part of the development.
  - If located on a roof top, is not open to the sky or visible from other buildings.
  - Has a minimum floor to ceiling height, clear of obstruction, of 2.7 metres above ground level and 3.3m on ground level.
- C.02 Car parking areas:
- are to be well lit,
  - are to avoid hidden and enclosed areas to allow for casual surveillance where practicable,
  - where hidden and enclosed areas such as staircases and lift lobbies cannot be avoided,
  - are to include mirrors or similar devices to aid surveillance,
  - are to be well ventilated, and
  - are to provide natural rather than mechanical ventilation where practicable.
- C.03 To facilitate adaptation of car parking to other uses in the long term, consideration will be given to car parking remaining as part of the common property and not part of, or attached to, individual strata units.

#### 9B.4.6 LEASING OF EXISTING SURPLUS COMMERCIAL CAR PARKING SPACES

##### Objectives

- O.01 To facilitate the efficient use of under-occupied car parking spaces within existing commercial buildings in the [City-Centre-Deferred-Area Auto Alley \(West\)](#).
- O.02 To appropriately regulate and manage the use of [City-Centre-Deferred-Area Auto Alley \(West\)](#) parking spaces in a manner that responds to the changing demand for car parking over time.
- O.03 To encourage greater use of under-utilised car parking so as to increase the availability of short term parking in other locations in the [City-Centre-Deferred-Area Auto Alley \(West\)](#)

##### Controls

Parking spaces within an existing commercial building or commercial component of a mixed use building (but not residential parking) may, subject to development consent, be leased as parking spaces to persons or businesses who do not occupy that building, as provided in Clause 7.17 of *Parramatta LEP 2023*.

**Note:** Commercial buildings may include activities such as specialised retail premises, business premises and office premises, restaurants, and cafes.

The following criteria must be satisfied:

- C.01 The number of surplus spaces in the building must be specified, justified and shown on a site plan submitted with the Development Application. The number of surplus spaces represents

the number of spaces above the maximum number required for the floorspace in the building based on the current car parking rates.

- C.02 There is demand for take up of this car parking by other commercial enterprises within the [City Centre-Deferred Area A-Auto Alley \(West\)](#).
- C.03 The car parking layout and circulation routes, both pedestrian and vehicular are safe and suitable.
- C.04 To promote the orderly and efficient use of surplus parking, spaces will only be permitted to be leased for long term parking (a minimum continuous period of one month).

Any consent granted under this Section will apply for 2 years from the time the consent is issued. After that period, a new Development Application will be required.

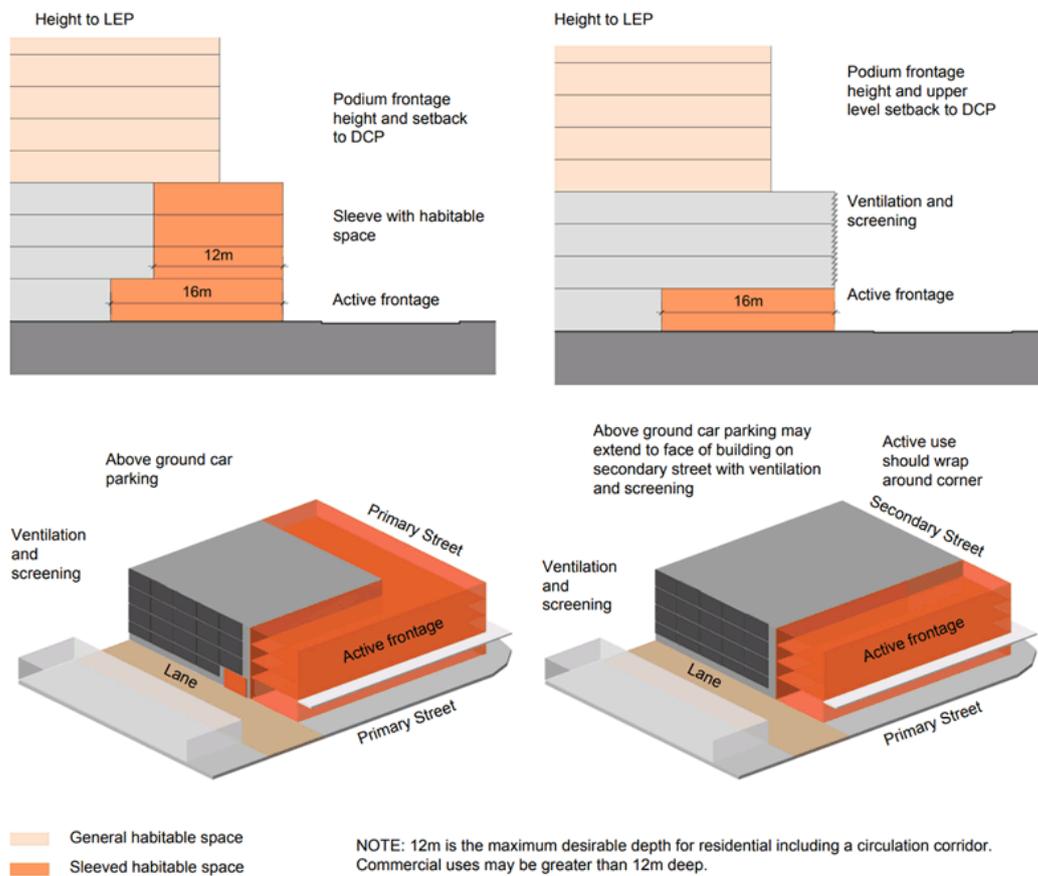


Figure 9B.4.2 – Frontage Treatments for Above Ground Car parking

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

ENVIRONMENTAL MANAGEMENT



Figure 9B.4.3 – Above Ground Carparking Frontage Treatments

## 9B.5 ENVIRONMENTAL MANAGEMENT

### 9B.5.1 LANDSCAPE DESIGN

#### Objectives

- O.01 To ensure landscaping is integrated into the design of development within [City Centre Deferred Area Auto Alley \(West\)](#).
- O.02 To encourage well designed landscaping that ameliorates heat bank effects in the [City Centre Deferred Area Auto Alley \(West\)](#).

#### Controls

- C.01 Commercial and retail developments are to incorporate planting in accessible outdoor spaces such as courtyards, forecourts, terraces and roofs.
- C.02 A landscape concept plan must be provided for all landscaped areas. The plan must outline how landscaped areas are to be maintained for the life of the development.
- C.03 Street trees are to be provided in the footpath in accordance with the street tree mapping in Council's [Parramatta Public Domain Guidelines](#).
- C.04 Landscaping of city buildings should consider the use of 'green walls' in appropriate locations.
- C.05 Basement car parks should be contained predominantly within building footprints to allow for deep soil beneath forecourts and courtyards for canopy tree planting.

### 9B.5.2 PLANTING ON STRUCTURES

Constraints on the location of car parking structures due to water table conditions may mean that landscaping might need to be provided over parking structures, on roof tops or on walls. The following controls apply in these conditions.

#### Objectives

- O.01 To contribute to the landscape quality and amenity of buildings within the [City Centre Deferred Area Auto Alley \(West\)](#)
- O.02 To encourage the establishment and healthy growth of landscaping in urban areas within the [City Centre Deferred Area Auto Alley \(West\)](#).

#### Controls

- C.01 Design for optimum conditions for plant growth by:
- providing soil depth, soil volume, and soil area appropriate to the size of the plants to be established,
  - providing appropriate soil conditions including irrigation (where possible using recycled water) and suitable drainage.
- C.02 Design planters to support the appropriate soil depth and plant selection by:
- ensuring planter proportions accommodate the largest volume of soil possible and soil depths to ensure tree growth, and
  - providing square or rectangular planting areas rather than narrow linear areas.
- C.03 Provide sufficient soil depth and area to allow for plant establishment and growth. The following minimum standards are recommended:

Table 9B.5.2.1 – Minimum soil depth for plant establishment

Plant type	Min soil depth	Min soil volume
Large trees (over 8m high)	1.3m	150m <sup>3</sup>
Medium trees (2m to 8m high)	1.0m	35m <sup>3</sup>
Small trees (up to 2m high)	800mm	9m <sup>3</sup>
Shrubs and ground cover	500mm	N/A

### 9B.5.3 GREEN ROOFS

A green roof or living roof is a roof of a building that is partially or completely covered with vegetation and a growing medium, planted over a waterproofing membrane. Container gardens on roofs, where plants are maintained in pots, are not considered to be green roofs.

**Objectives**

- O.01 To promote the use of green roofs to assist with reduction of energy use, improve stormwater management, enhance environmental biodiversity and reduce urban heat island effects.

**Controls**

- C.01 Buildings are encouraged to include a green roof component on the roof space.

#### 9B.5.4 ENERGY AND WATER EFFICIENT DESIGN

In addition to the objectives and principles in Section 5.4 – Environmental Performance the following objectives also apply to [the City Centre Deferred Area Auto Alley \(West\)](#).

- O.01 ~~Residential developments with 4 or more floors should be built with energy and water saving technologies equivalent to a 5 Green Star Office Design.~~
- O.02 Non-residential developments should be designed to meet a minimum rating of 5 Green Star Office Design.
- O.03 Any building refurbishment with a value greater than \$500,000 should result in a refurbished building with an estimate minimum 3.5 NABERS star rating.

#### 9B.5.5 RECYCLED WATER

New developments should be connected to a source of recycled or reuse water wherever possible. Recycled/reuse water means treating and using water, such as sewage, stormwater, industrial wastewater or greywater, for non-drinking purposes such as for industry, toilets, cooling towers and irrigation of gardens, lawns, parks, and crops.

##### Objectives

- O.01 To increase the resilience of the City to interruptions in supply and during droughts by providing an alternative water supply to City buildings in [the Deferred Area Auto Alley \(West\)](#).
- O.02 To defer the need to invest in new potable water supply infrastructure to supply future demand in the City.
- O.03 To support the recycled water targets of the State Government's 'Metropolitan Water Plan'.

##### Controls

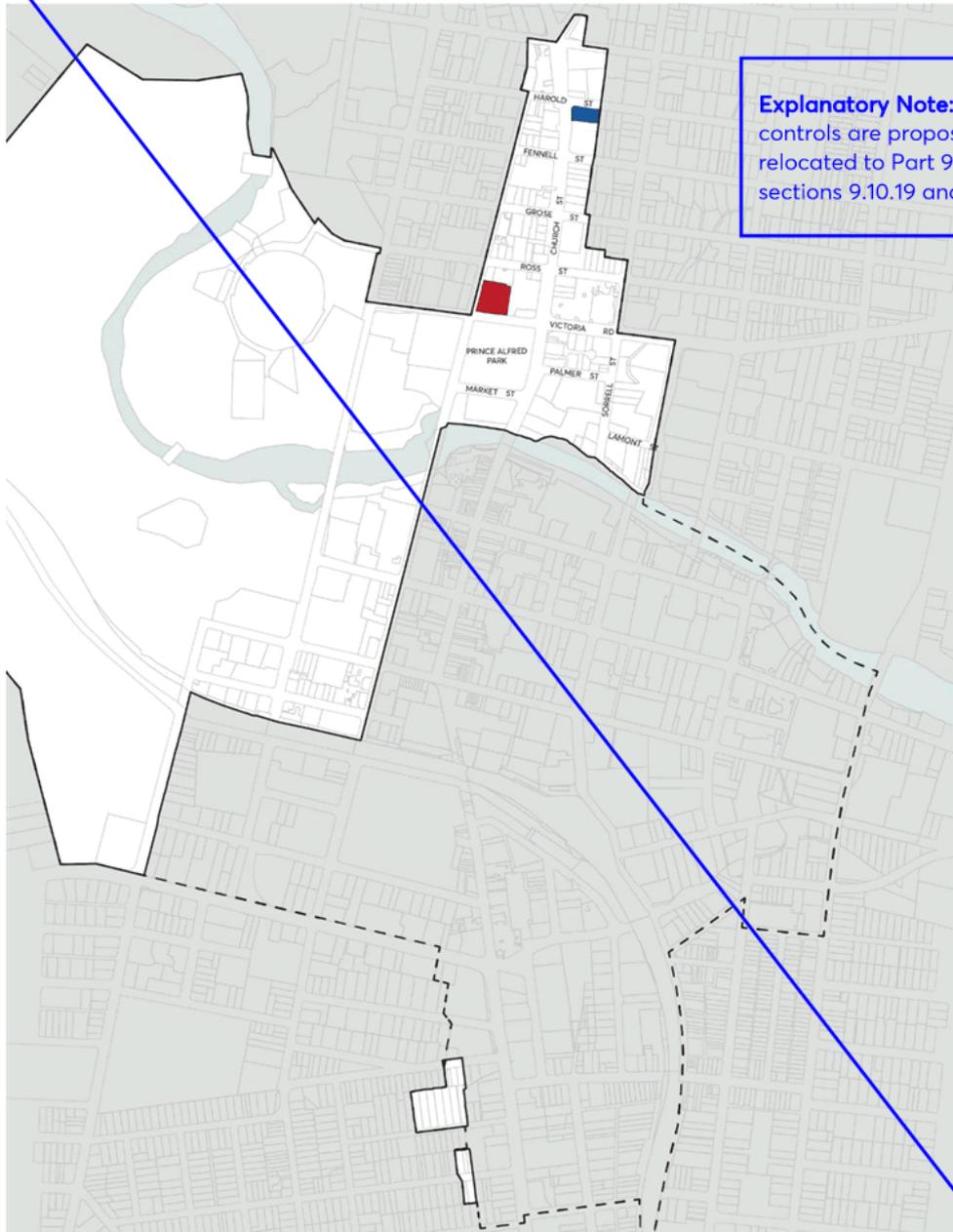
- C.01 Dual reticulation (dual pipe) systems should be installed in new commercial, industrial and mixed use buildings, with the dual reticulation system being of sufficient size to supply all non-potable water uses of the building.
- C.02 Use of building or precinct level water harvesting/treatment systems to reduce or eliminate non-potable water demand is encouraged.

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

SITE SPECIFIC CONTROLS [RELOCATED TO SECTION 9.10, PART 9]

9B.6 ~~SITE SPECIFIC CONTROLS~~ [RELOCATED TO SECTION 9.10, PART 9]

This Section includes objectives and controls for sites within the Parramatta City Centre – Deferred Area A as identified in Figure 9B.6.1. These supplementary controls reinforce the desired qualities and patterns of built form for these sites.



**Explanatory Note:** These controls are proposed to be relocated to Part 9 as new sections 9.10.19 and 9.10.20.

- PARRAMATTA CITY CENTRE BOUNDARY
- [ ] REFER TO SECTION 9 - PARRAMATTA CITY CENTRE FOR CONTROLS AFFECTING THIS LAND
- [ ] LAND TO WHICH SECTION 9B APPLIES
- [Red Box] 8-12 VICTORIA ROAD AND 2A VILLIERS STREET
- [Blue Box] 470 CHURCH STREET

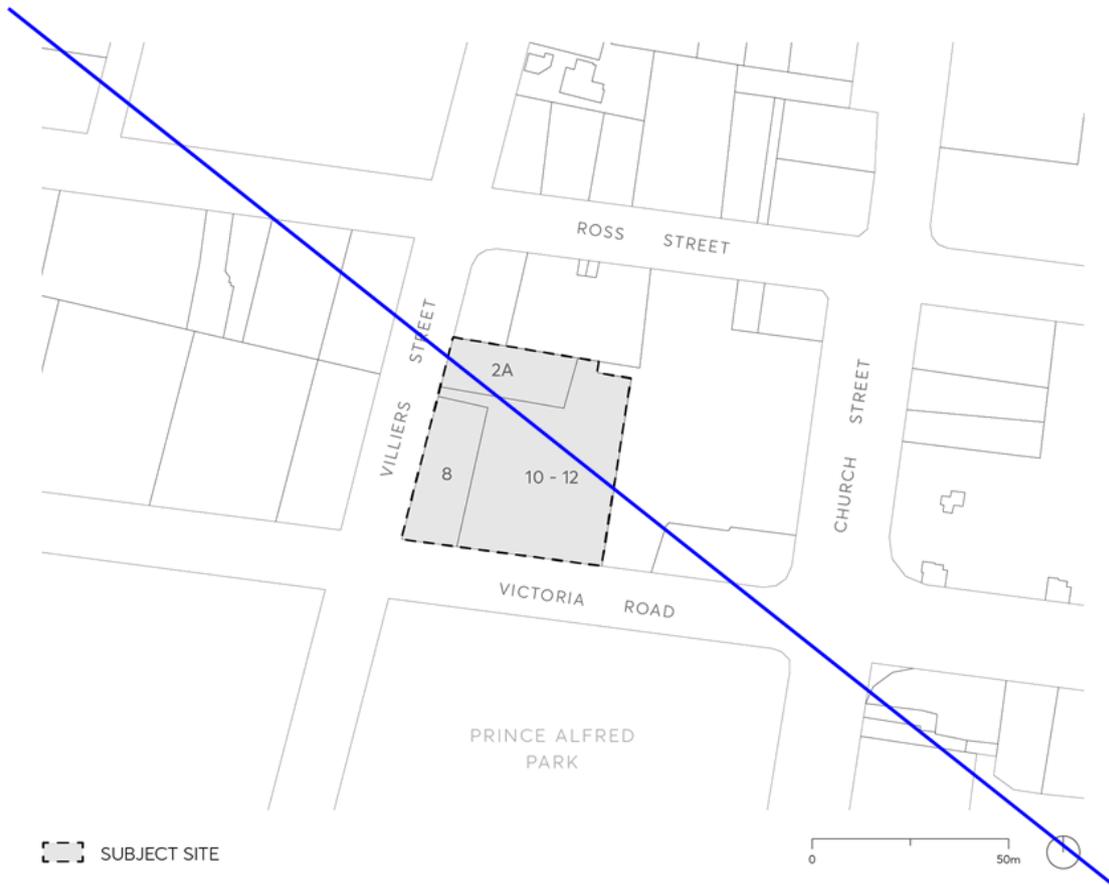
PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

SITE SPECIFIC CONTROLS [RELOCATED TO SECTION  
9.10, PART 9]

— Figure 9B.6.1 – Sites with site specific controls

**9B.6.1 — 8-12 VICTORIA ROAD AND 2A VILLIERS STREET**

This Section applies to land at 8–12 Victoria Road and 2A Villiers Street, Parramatta, as shown in Figure 9B.6.2.



☐ SUBJECT SITE

Figure 9B.6.2 – Land Application

**9B.6.1.1 — DESIRED FUTURE CHARACTER**

The site at 8–12 Victoria Road and 2A Villiers Street, Parramatta is on the northern edge of the Parramatta City Centre – Deferred Area A, which is transitioning from low scale in the north west to high density mixed use development in the east and south. The context of the site includes a number of important heritage items – Prince Alfred Park to the south, Our Lady of Mercy College to the west and St Patrick’s Cathedral diagonally opposite to the south west. The proximity of the site to the Parramatta River and City Centre core supports an intensity of development while respecting the important heritage setting.

Future built form will be designed to achieve a harmonious relationship with neighbouring heritage buildings as well as to provide appropriate heights and setbacks to street frontages. Low building forms will occupy land fronting Victoria Road and a slim tower will be located in the north western

corner of the site. As a result, the visual scale of development will be reduced on Victoria Road, providing a suitable frame and backdrop for Prince Alfred Park and minimising overshadowing of this park. Building articulation and modulation of the Victoria Road facade will ensure that the building suitably addresses the road and Prince Alfred Park.

Active uses will be located on the ground floor of buildings fronting Victoria Road and Villiers Street to increase the vibrancy of the site and locality.

The property boundary on Villiers Street will incorporate a setback to allow under width road lanes in Villiers Street to be widened. A setback will be provided on the eastern boundary to allow the formation of a through site link between Victoria Road and Ross Street.

Development must comply with the objectives and controls set out below and any other relevant objectives and controls of this DCP.

### Site Objectives

This Section of this DCP documents the objectives that will determine the future form of development of the subject site. The objectives establish the key parameters that will ensure that future development on the site contributes to achieving the overall desired future character.

- O.01—To provide for development that supports the growth of a vibrant precinct on the northern edge of the Parramatta City Centre Deferred Area.
- O.02—To encourage high-quality built form outcomes and achieve design excellence.
- O.03—To minimise any adverse impacts on the amenity of adjoining heritage uses and in particular Prince Alfred Park.
- O.04—To improve pedestrian connectivity between Victoria Road and Ross Street.
- O.05—To provide for the establishment of non-residential uses on the Victoria Road and Villiers Street ground floor frontages of the site.
- O.06—To provide for improved traffic flows on Villiers Street.

### 9B.6.1.2—BUILDING FORM AND MASSING

#### Objectives

- O.01—To respond sensitively to the scale, proportions and form of the nearby heritage items at Prince Alfred Park, St Patrick's Cathedral and Our Lady of Mercy College.
- O.02—To limit overshadowing impacts on Prince Alfred Park.
- O.03—To ensure that the Victoria Road facade is of a civic scale with strong vertical articulation and fine grain.
- O.04—To ensure that the Victoria Road frontage provides good pedestrian amenity by incorporating elements such as an open colonnade or continuous footpath awnings.

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST)

SITE SPECIFIC CONTROLS [RELOCATED TO SECTION  
9.10, PART 9]

O.05—To ensure that the built form at the Villiers Street corner complements the form and materials of St Patrick's Cathedral.

### Controls

#### Maximum building heights

C.01—The distribution of building height across the site is to be in accordance with Figure 9B.6.3, 9B.6.4 and 9B.6.5.

#### Street frontage heights

C.02—Maximum street wall height of 14m facing Victoria Road and Villiers Street with a setback of 4m to the upper levels as shown in Figure 9B.6.3, 9B.6.4 and 9B.6.5.

#### Building setbacks

C.03—Minimum 3m on the eastern boundary to allow for the establishment of a through site link between Victoria Road and Ross Street, as shown in Figure 9B.6.3.

#### Building design

C.04—Buildings are to be designed with regard to nearby heritage items and to ensure sensitive consideration of colour, materials, and building articulation.

### 9B.6.1.3—TRAFFIC AND TRANSPORT

### Site Objectives

- O.01—To minimise pedestrian and vehicle conflict by limiting vehicle crossings in the public domain.
- O.02—To provide space to widen Villiers Street to accommodate increased traffic and pedestrian volumes as a result of additional development on the site.

### Controls

- C.01—All vehicular access must only be provided along Villiers Street and be located as far as possible from Victoria Road.
- C.02—A minimum 1m boundary setback is to be provided on Villiers Street, as shown in Figure 9B.6.3.



Figure 9B.6.3 – Built Form Design Controls – Heights and Setbacks

PARRAMATTA CITY CENTRE - AUTO ALLEY (WEST) SITE SPECIFIC CONTROLS [RELOCATED TO SECTION 9.10, PART 9]

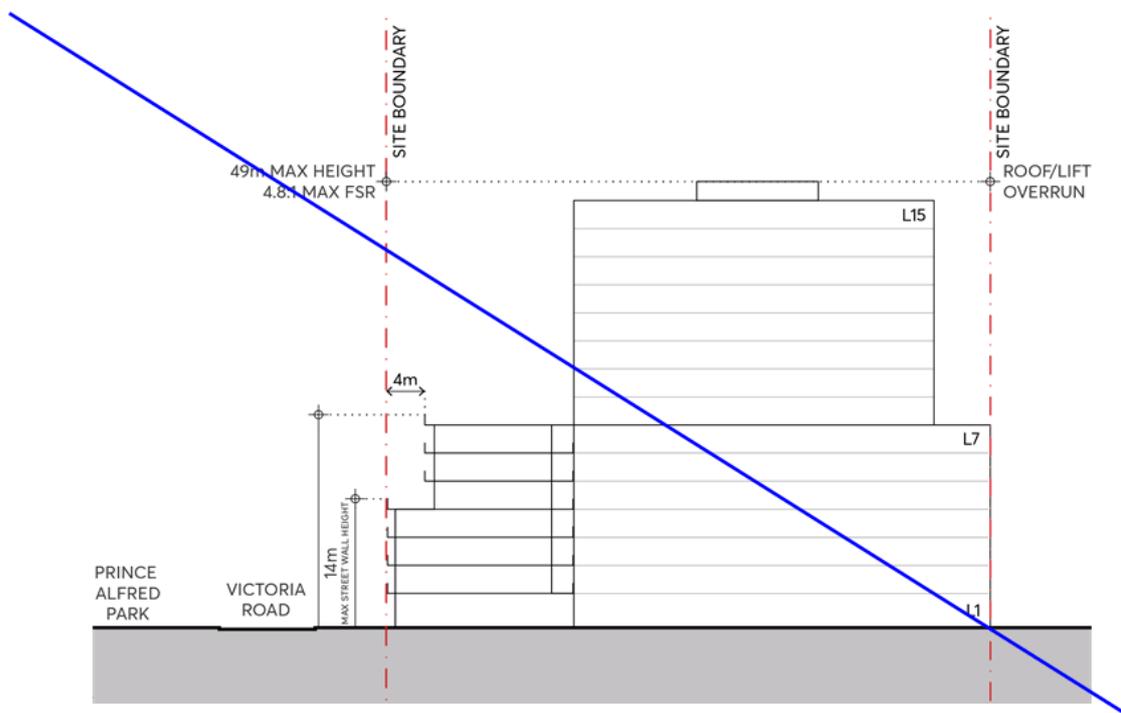


Figure 9B.6.4 – North – South Section of Site Building Envelope

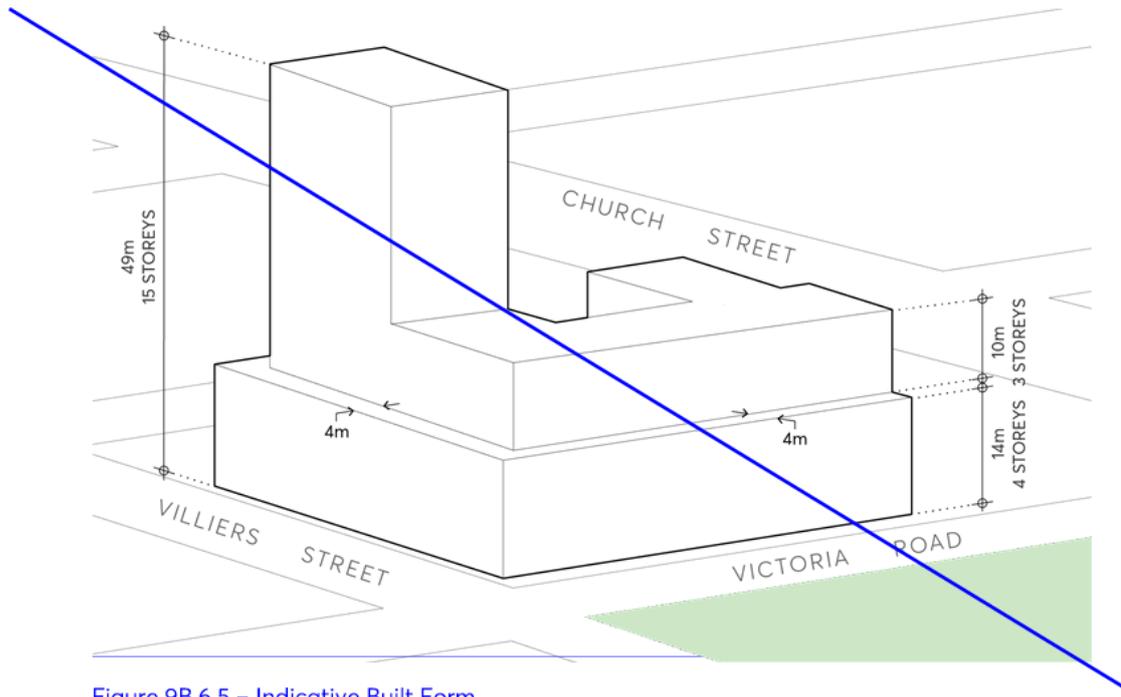


Figure 9B.6.5 – Indicative Built Form

9B.6.2 — 470 CHURCH STREET, PARRAMATTA

This Section applies to land at 470 Church Street, Parramatta legally known as Lot 1 DP 785930 within the Parramatta City Centre – Deferred Area A as illustrated in Figure 9B.6.6 below.

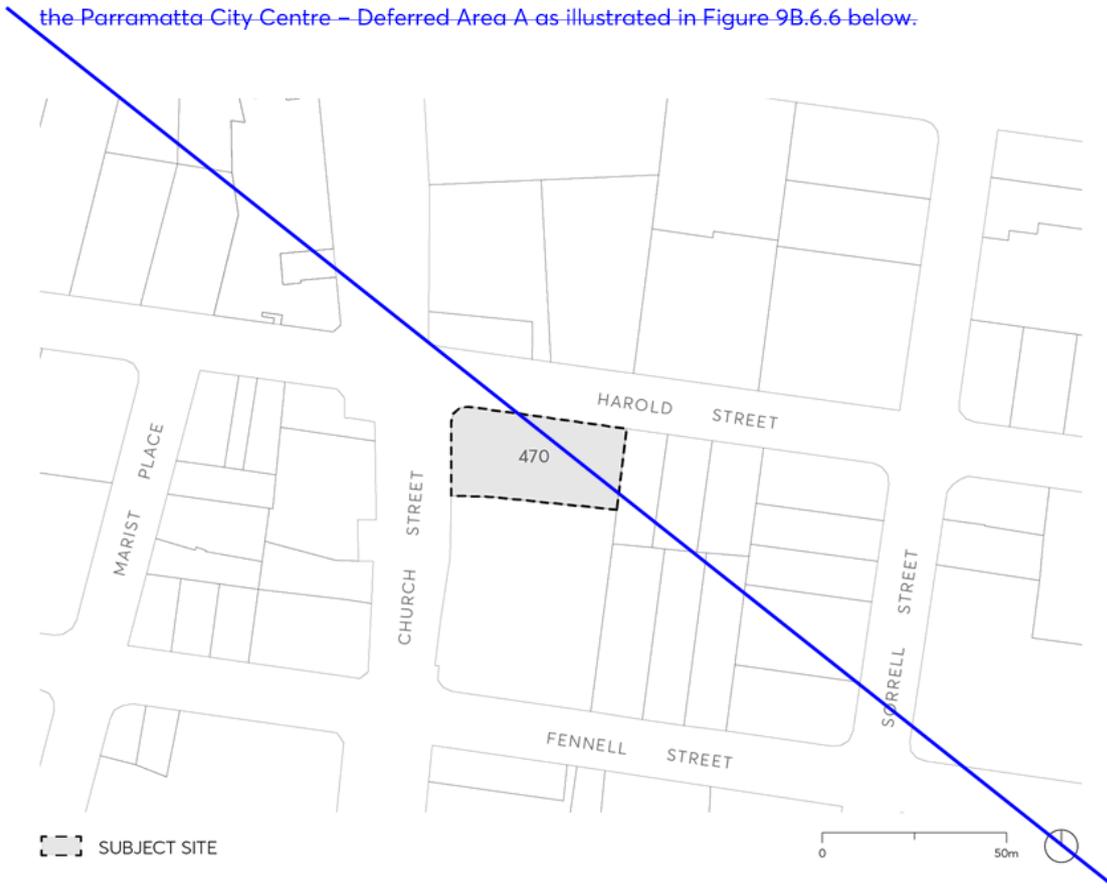


Figure 9B.6.6 — Land application

This Section is to be read in conjunction with other Parts of this DCP and the Parramatta LEP 2023. It establishes site specific principles, objectives and controls to be interpreted during preparation and assessment of Development Applications for the site.

9B.6.2.1 — DESIRED FUTURE CHARACTER

Future mixed use development proposed at the site is consistent with the State Government policies to facilitate a renewed Parramatta City Centre. The site is located adjacent the Parramatta Light Rail route, that connects the Westmead Precinct (to the west of the site) and the centre of the Parramatta City Centre (to the south of the site).

The mixed use character of development complements the Parramatta City Centre and provides a positive design outcome. The proposed mix of land uses includes retail/commercial uses on the ground floor and level 1 and residential apartments above.

**Design Principles**

The following design principles are to be incorporated into the future design of the building:

- P.01—Respond to the north-facing frontage and generally east-west site with an appropriate built form that maximises solar access.
- P.02—Create a podium and presentation to the street of design excellence which contributes to the design quality of space and streets in the City Centre Deferred Area.
- P.03—Comprise a podium edge to the streets with recessed tower form. The podium is to be four storeys.
- P.04—The street wall should be designed to provide a well-modulated pedestrian experience at street level. A smaller, more detailed scale should be used in its articulation.
- P.05—Ground floor façade should be rich in variation and detail. Vertical relief in the façade maximises the walking experience, with awnings included and integrated in the design so as to provide adequate pedestrian shelter.
- P.06—Development is to comply with the objectives and controls set out below and any other relevant objectives and controls of this DCP.

**Site objectives**

- O.01—To provide a mix of uses that support the role of Parramatta City Centre and the Deferred Area.
- O.02—To revitalise Church Street and Harold Street.
- O.03—To encourage high-quality built form outcomes and achieve design excellence.
- O.04—To minimise adverse impacts on the amenity of adjoining uses.

**9B.6.2.2—BUILT FORM, DESIGN AND MASSING****Objectives**

- O.01—To ensure that the built form:
  - Responds positively to the site's location in relation to the City Centre and the Deferred and the streetscape.
  - Has a positive and cohesive relationship with surrounding land and uses.
  - Has adequate separation to minimise visual bulk and to ensure adequate amenity within the site and to neighbouring development.
  - Achieves usable and pleasant street and podium environment in terms of daylight and solar access, scale and, wind mitigation.

**Controls****Street Frontage Heights**

- C.01—Maximum street wall height of 14m (3-4 storeys) fronting Church and Harold Streets.

**Building Setbacks**

C.02—The minimum building setbacks are to be in accordance with the table below:

	Minimum setback (m <sup>2</sup> )
<b>Podium</b>	
Western boundary (Church Street) and northern boundary (Harold Street)	0m
Eastern boundary	0m
Southern boundary	0m (commercial) 9m (residential levels 2-3)
<b>Tower (upper level)</b>	
Western boundary (Church Street)	6m
Eastern boundary	12m
Northern boundary (Harold Street)	3m
Southern boundary	9m

**Tower Floor Plate**

C.03—The reduced tower setback of 3m to Harold Street will accommodate a tower with a floorplate of approximately 650m<sup>2</sup>.

**Building Design**

C.04—The street wall/podium is to be a separate architectural element, that is distinct and different in character from the tower element.

C.05—High-quality design and materials are to be used for the security shutters into the car park and loading areas.

C.06—To ensure landscape courtyard in the podium is usable taking into account solar access and wind mitigation.

**9B.6.2.3—LAND USES****Objectives**

O.01—To provide for useable and functional commercial floor space that can support the desired use, achieve internal spaces appropriate to their function and support the Parramatta City Centre and the Deferred Area.

**Controls**

C.01—The ground floor street frontage is used for active commercial uses.

C.02—Commercial/retail tenancies are of a sufficient size and layout to cater for their desired use and function.

## 9B.6.2.4—TRAFFIC AND TRANSPORT

**Objectives**

- O.01—To ensure adequate parking is provided on site.
- O.02—To minimise pedestrian and vehicle conflict by locating vehicle access away from the Church Street intersection.
- O.03—To ensure parking design is integrated into the design of the building.

**Controls**

- C.01—Vehicle access is to be from Harold Street, at the eastern end of the site.
- C.02—Parking in the podium is discouraged. However, where it is provided it must be well integrated into the overall facade and not be visible from the public domain utilising screening or other appropriate design excellence solution.
- C.03—Car and bicycle parking is to be provided in accordance with the Parramatta City Centre Strategic Transport Study.
- C.04—Investigate options to integrate vehicular access with the adjacent site at 23-27 Harold Street through one access point.

---

**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

---

<b>ITEM NUMBER</b>	13.4
<b>SUBJECT</b>	Public Exhibition of Amendment to Planning Agreement: 264-268 Pennant Hills Road, Carlingford (AKA 1 Martins Lane, Carlingford)
<b>REFERENCE</b>	F2024/00282 - D09361117
<b>REPORT OF</b>	Team Leader Infrastructure Planning
<b>CSP THEME:</b>	FAIR

**WORKSHOP/BRIEFING DATE:** 15 April 2024

**PURPOSE:**

To seek Council endorsement to publicly exhibit an amendment (Draft Deed of Variation) to a Planning Agreement relating to land at 264-268 Pennant Hills Road Carlingford (now known as 1 Martins Lane, Carlingford).

**RECOMMENDATION**

- (a) That Council endorse the Draft Deed of Variation to the Planning Agreement relating to land at 264-268 Pennant Hills Road Carlingford (now known as 1 Martins Lane, Carlingford) as provided at **Attachment 1** for public exhibition purposes.
- (b) That Council delegate authority to the CEO to make any necessary administrative changes of a non-policy nature to the Draft Deed of Variation, and to prepare the required Explanatory Note to accompany the draft Deed prior to public exhibition.
- (c) That the draft Deed of Variation to the Planning Agreement and associated Explanatory Note be publicly exhibited for 28 days.
- (d) That, the outcomes of the public exhibition be reported to Council.

**BACKGROUND**

1. At its meeting of 27 May 2019, Council resolved to enter into a Planning Agreement with Baptistcare NSW & ACT relating to land at 264-268 Pennant Hills Road Carlingford (now known as 1 Martins Lane, Carlingford).
2. The Planning Agreement was made in conjunction with a Planning Proposal for the site that amended the land zoning from R2 Low Density Residential to R4 High Density Residential. The planning proposal also increased the maximum height control and FSR control from 9m and 0.5:1, to 14m and 1:1, respectively.
3. The Planning Agreement required the following deliverables:
  - (a) signalisation of the intersection of Baker Street and Pennant Hills Road, Carlingford.

- (b) upgrade and resurfacing to Martins Lane, including a new left turn bay to Pennant Hills Road.
  - (c) land dedication (as road) adjacent to the western side of Martins Lane, and the provision of public domain improvements including footpaths, landscaping, street lighting and the like.
  - (d) creation of new internal road network including dedication to Council (as road).
  - (e) creation of a 20m wide public access easement at the rear of the site within a high ecological constraint zone.
  - (f) provision of 162 affordable housing units to remain in the ownership of the Developer, but to be used as affordable housing until 2045 in accordance with separate agreement with NSW Department of Family and Community Services.
4. On 23 December 2020 Council issued development consent to Development Application No. DA/242/2020 for the consolidation of the existing lots, re-subdivision to create 2 lots (Site A and Site B), associated road and civil infrastructure and construction of an affordable housing development comprising 162 apartments with basement parking on Site A.
5. In January 2022, the applicant lodged a State Significant Development Application (SSD-33631237) for an aged care and seniors living development comprising independent living units, residential aged care facilities and a respite day care centre on Site B. This matter is still under assessment with the Department of Planning, Housing and Infrastructure.
6. In May 2023 an occupation certificate was issued for the works authorised by DA/242/2020, relating to Site A, that is, the 162 unit affordable housing development and associated works. Recent aerial images of the site at Figure 1 below show the new buildings adjacent to Pennant Hills Road and new internal road known as Wulaba Place. The vacant portion of the site forms 'Site B' which is subject to the SSD application.



Figure 1: Aerial image showing recent completion of works

7. On 20 November 2023 Council approved Subdivision Certificate No. SC/54/2023 to subdivide the land into 9 lots which includes proposed Lots 3, 5, 6, 7, 8 and 9 to be dedicated to Council as road as shown in Figure 2 below. Proposed Lots 1 and 2 will continue to be owned by the Developer and proposed Lot 4 will remain in the ownership of the developer until such time that is required by Transport for NSW as part of future road widening to Pennant Hills Road. This transfer of Lot 4 falls outside the scope of the Planning Agreement.
8. This Subdivision Plan has been lodged with NSW Land Registry Services (LRS) and is awaiting registration, noting that Lot 6 will not be dedicated to Council until a later date. This is discussed further below.

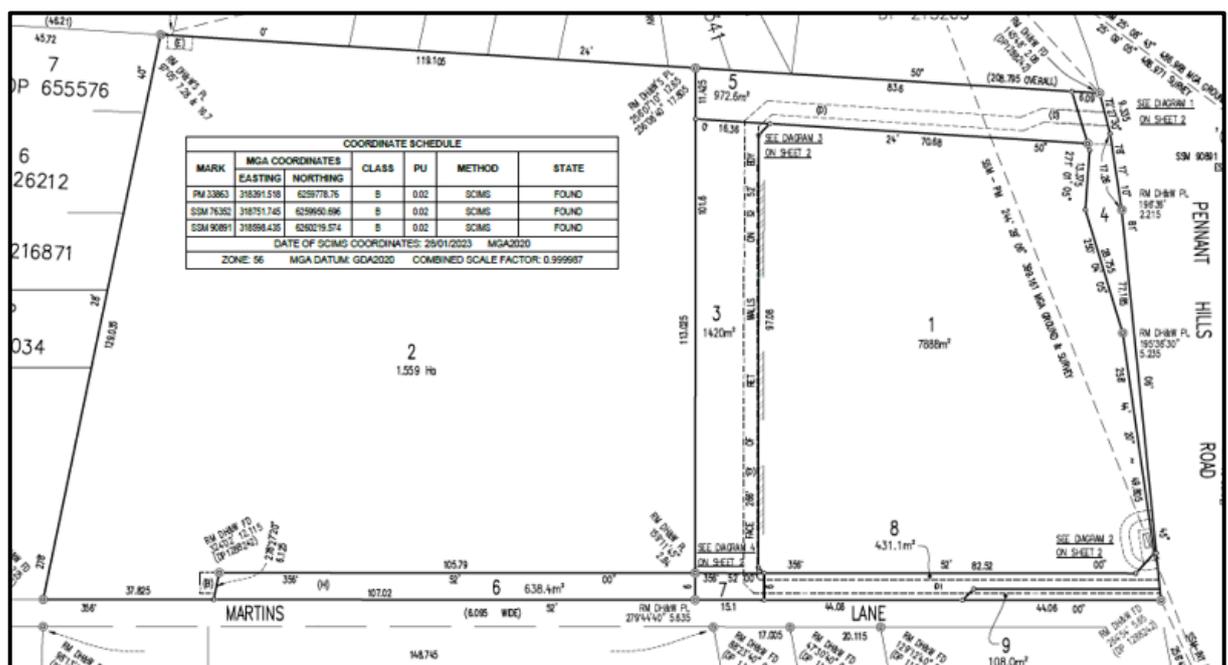


Figure 2: Proposed Plan of Subdivision approved by SC/54/2023

9. In conjunction with DA/242/2020, the majority of the Planning Agreement deliverables have been completed. The outstanding deliverables include:

- (a) land dedication of proposed Lots 3, 5, 7, 8 and 9 (as road). As noted above the enabling subdivision plan has been lodged with LRS and is awaiting final registration to enable transfer to Council. It is expected this will occur in the two (2) months.
  - (b) land dedication of proposed Lot 6 (as road) and completion of public domain works in this space, namely footpath and landscaping and any ancillary matters. This matter is sought to be deferred as part of the subject Deed of Variation to the Planning Agreement to align with the redevelopment of Site B. This is discussed further below under the heading '*Proposed Draft Deed of Variation*'.
  - (c) creation of the 20m wide public access easement in proposed Lot 2 (known as Site B). This item is not required to be delivered until prior to the issue of an occupation certificate for the development on Site B. There are no changes proposed to the timing of this deliverable as part of this Deed of Variation.
10. The landowner Baptistcare NSW and ACT is in the process of establishing a separate subsidiary for the purpose of owning and operating Baptistcare's community housing assets. As such, moving forward proposed Lots 1 and 4 (that contain the recently constructed affordable housing units) will be transferred to the new subsidiary of Baptistcare. The remaining parcels (Lots 2 and 6) will continue to remain in the ownership of Baptistcare NSW & ACT, noting that proposed Lot 6 will eventually be dedicated to Council and proposed Lot 4 will eventually be transferred by TfNSW.

## **PROPOSED DRAFT DEED OF VARIATION**

11. It is proposed to amend the Planning Agreement via a Deed of Variation to enable the following changes:
- (a) to modify Schedule 1 to change the timing of dedication of proposed Lot 6 and the completion of the public domain works within proposed Lot 6. The works will be required to be finalised within 18 months of issue of the first occupation certificate for development on Site B, noting that a further 6 months can be authorised at Council's discretion if required.
  - (b) to modify clause *12.2 Transfer of Land* to enable the transfer of the VPA obligation for proposed Lots 1 and 4 (being the ongoing obligation to use the land as affordable housing until 2045) to the new subsidiary of Baptistcare.
  - (c) other administrative drafting changes to enable/support the above changes.
12. In relation to Item (a), the current timing for this deliverable was in conjunction with the broader works along Martins Lane as a whole. This was required to be finalised within 18 months of the occupation certificate for the last building on Site A, which occurred in May 2023. The majority of this work has already been completed and the timing has not been breached as it has only been 12 months since an OC was issued for Site A.

13. However, given that Site B is yet to be constructed it is likely that any public domain works delivered within proposed Lot 6 (which currently forms part of Site B) will be damaged during the construction process on Site B.

Furthermore, the pedestrian safety in this area would likely be impacted during construction works on Site B. Therefore, it is proposed to delay the timing to enable the delivery to align with the completion of the first buildings on Site B.

This request to change timing was sought by the Developer and agreed in-principle by Council staff. The exact timing of construction works on Site B is not yet known as the SSD application is still under assessment. However, Baptistcare have advised that construction is currently forecast to commence in 2026 and be complete by 2029.

14. In relation to Item (b) above, the reason to vary Clause 12.2 is to enable the transfer of the VPA obligation to proposed Lots 1 and 4 to the new subsidiary of Baptistcare without requiring the existing Planning Agreement to be novated (in part) to the new subsidiary. As a result, the Planning Agreement will continue to remain on the title of proposed Lot 1 until 2045, and on proposed Lot 4 until it is transferred to TfNSW for road widening purposes. The change is administrative in nature and has no impact on the deliverable which has already been achieved.

## CONSULTATION & TIMING

### Stakeholder Consultation

15. The following stakeholder consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Stakeholder</b>	<b>Stakeholder Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
February - March 2024	Landowner/ Developer (Baptistcare NSW & ACT)	Baptistcare have worked with Council's Legal team to prepare the draft Deed of Variation. A draft Explanatory Note will be prepared as agreed by both parties prior to public exhibition.	The draft Deed of Variation is agreed by both parties	Group Manager Infrastructure Planning and Design

Councillor Consultation

16. The following Councillor consultation will be undertaken in relation to this report.

<b>Date</b>	<b>Councillor</b>	<b>Councillor Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
15 April 2024	All Councillors invited	Report finalised prior to briefing session	Report finalised prior to briefing session	Group Manager Infrastructure Planning and Design

**LEGAL IMPLICATIONS FOR COUNCIL**

17. As the Planning Agreement is a legal document, any variation to the agreement must be formally made through a Deed of Variation prepared and reviewed by both Council's and the other party's solicitors. This has occurred.
18. The Deed of Variation will then be required to be registered on the land title of the relevant property once executed by Council and the Developer.

**FINANCIAL IMPLICATIONS FOR COUNCIL**

19. If Council resolves to approve this report in accordance with the recommendation, there are no unbudgeted financial implications for Council's budget.
20. The costs associated with legal drafting, public exhibition and future registration to title of the draft Deed of Variation will be borne by the applicant in accordance with the relevant clauses of the Planning Agreement.

Anthony Newland  
**Group Manager Infrastructure Planning & Design**

Jennifer Concato  
**Executive Director City Planning and Design**

John Angilley  
**Executive Director Finance & Information**

Gail Connolly  
**Chief Executive Officer**

**ATTACHMENTS:**

1  Draft Deed of Variation for Public Exhibition Purposes 15 Pages

**REFERENCE MATERIAL**

Allens > < Linklaters

**DRAFT**

City of Parramatta Council  
BaptistCare NSW & ACT

## Deed of Variation of Planning Agreement

Deutsche Bank Place  
Corner Hunter and Phillip Streets  
Sydney NSW 2000 Australia  
T +61 2 9230 4000  
F +61 2 9230 5333  
[www.allens.com.au](http://www.allens.com.au)

© Allens Australia 2024

Allens is an independent partnership operating in alliance with Linklaters LLP.

Variation of Planning Agreement

Allens > < Linklaters

**Contents**

<b>1</b>	<b>Definitions and Interpretation</b>	<b>2</b>
	1.1 Definitions	2
	1.2 Interpretation	3
<b>2</b>	<b>Amendment of Planning Agreement</b>	<b>3</b>
<b>3</b>	<b>Operation</b>	<b>3</b>
<b>4</b>	<b>Variation</b>	<b>3</b>
<b>5</b>	<b>Registration on title</b>	<b>4</b>
	5.1 Registration of Agreement	4
<b>6</b>	<b>General</b>	<b>4</b>
	6.1 Incorporated provisions	4
	6.2 Entire agreement	4
	<b>Schedule 1 – Scope of Works and Land Dedication</b>	<b>5</b>
	<b>Annexure – Plan to form Annexure B to Planning Agreement</b>	<b>11</b>

Variation of Planning Agreement

Allens &lt; Linklaters

This Agreement is made on

2024

**Parties**

- 1 **City of Parramatta Council a body politic under subsection 220(1) of the Local Government Act 1993**, (ABN 49 907 174 773) located at 126 Church St, Parramatta NSW 2150 (**Council**).
- 2 **BaptistCare NSW & ACT** (ABN 90 000 049 525) located at Level 2, 22 Brookhollow Avenue, Norwest NSW 2153 (**Developer**).

**Recitals**

- A The Council and the Developer entered into the Planning Agreement executed by Council in accordance with a Council Resolution dated 27 May 2019.
- B Since entering into the Planning Agreement, the Developer:
- (a) has carried out development on the northern part of the Land pursuant to Development Consent No. DA/242/2020/D;
  - (b) is in the process of subdividing the Land to create nine lots in accordance with Development Consent No. DA/242/2020/D, which will enable the dedication of certain lots to Council as required by clause 6.2 of the Planning Agreement; and
  - (c) has lodged Development Application No. SSD-33631237 which is currently under assessment by the NSW Department of Planning, Housing and Infrastructure seeking development consent for development on the southern part of the Land.
- C Pursuant to clause 9 of the Planning Agreement and in accordance with subsection 203(5) of Regulation 2021, the Council and the Developer have agreed to amend the terms of the Planning Agreement as set out in this Agreement to:
- (a) separate the various components of Item 1 of Schedule 1 of the Planning Agreement into Items 1A and 1B, and vary the timing for delivery of Item 1B in Schedule 1 to this Agreement;
  - (b) clarify the location of contribution items under the Planning Agreement by reference to the proposed new lots to be created by the Plan of Subdivision; and
  - (c) permit the transfer or disposal of Proposed Lots 1 and 4 by the Developer to BCHL, being a related entity to the Developer.

It is agreed as follows.

**1 Definitions and Interpretation****1.1 Definitions**

The following definitions apply unless the context requires otherwise, including in the recitals.

**BCHL** means BaptistCare Community Housing Limited (ACN 667 330 065).

**Effective Date** means the date on which the last party has executed this Agreement in accordance with subsection 203(3) of Regulation 2021.

## Variation of Planning Agreement

Allens &amp; Linklaters

**Land** means Lot 100 DP 1288242, also known as 1 Martins Lane, Carlingford NSW (formerly Lot 1 DP 1033201 and Lot 2 DP 364225, known as 264-268 Pennant Hills Road, Carlingford NSW) or as otherwise described when the new Plan of Subdivision is registered with New South Wales Land Registry Services.

**Planning Agreement** means the Voluntary Planning Agreement entered into between Council and the Developer in relation to the Land, being registered dealing no. AP564640.

**Plan of Subdivision** means the Plan of Subdivision annexed to this Agreement.

**Proposed Lots 1 and 4** means the land titles described on the Plan of Subdivision as Lots 1 and 4 which will be created when the Plan of Subdivision is registered with New South Wales Land Registry Services.

**Regulation 2021** means the *Environmental Planning and Assessment Regulation 2021* (NSW).

**1.2 Interpretation**

In this Agreement, unless the contrary intention appears:

- (a) capitalised words used in this Agreement have the same meaning as in the Planning Agreement;
- (b) clause 2 (Interpretation) of the Planning Agreement applies to the interpretation and construction of this Agreement; and
- (c) the explanatory note prepared pursuant to section 205 of Regulation 2021 is not to be used to assist in construing this Agreement.

**2 Amendment of Planning Agreement**

This Agreement is an amendment to the Planning Agreement (dealing no. AP564640) within the meaning of section 203(5) of Regulation 2021.

**3 Operation**

This Agreement takes effect on and from the Effective Date.

**4 Variation**

On and from the Effective Date, the Planning Agreement is amended as follows:

- (a) Schedule 1 (Scope of Works and Land Dedication) of the Planning Agreement is replaced by Schedule 1 of this Agreement. For convenience, the manner in which Schedule 1 of this Agreement differs from Schedule 1 of the Planning Agreement is shown by using underline to identify new text introduced into Schedule 1 of the Planning Agreement by this Agreement;
- (b) the Annexure to this Agreement, being the Plan of Subdivision, is inserted into the Planning Agreement as Annexure B; and
- (c) clause 12.2 of the Planning Agreement is amended by inserting the following new subclauses (c) and (d):

**12.2 Transfer of Land**

...

- (c) Subject to the Developer providing to Council's satisfaction evidence that BCHL is a related entity of the Developer:
  - (i) clause 12.2(a) does not apply to the transfer or disposal by the Developer of Proposed Lots 1 and 4 to BCHL; and

## Variation of Planning Agreement

Allens &amp; Linklaters

- (ii) the Developer may transfer or dispose of Proposed Lots 1 and 4 to BCHL without notice to Council.
- (d) The parties acknowledge that pursuant to sections 7.6(3) and (4) of the Act, upon the transfer or disposal of Proposed Lots 1 and 4 to BCHL pursuant to clause 12.2(c), the obligations which relate to Proposed Lots 1 and 4 as set out in the Planning Agreement bearing the Dealing Number AP564640 and as described in Schedule 1 to this Agreement, will continue to apply as between Council and BCHL as the registered proprietor of Proposed Lots 1 and 4.

**5 Registration on title****5.1 Registration of Agreement**

The Developer agrees that it will, at its cost, procure the registration of this Agreement on the title to the Land in accordance with clause 8.2 of the Planning Agreement.

**6 General****6.1 Incorporated provisions**

Clauses 13 (No fetter) and 15 (General) of the Planning Agreement (but excluding clause 15.8 (Entire agreement)) are incorporated into and apply to this Agreement as though those clauses were set out in full in this Agreement.

**6.2 Entire agreement**

The contents of this Agreement and the Planning Agreement constitute the entire agreement between the parties and supersede any prior negotiations, representations, understandings or arrangements made between the parties regarding the subject matter of this agreement, whether orally or in writing.

Variation of Planning Agreement

**Schedule 1 – Scope of Works and Land Dedication**

The Works described in column 1 of the table below must be completed in accordance with clause 6.1 within the timeframe specified in column 2, and must be undertaken in accordance with the scope specified in column 3.

Item	Column 1 Item of Work	Column 2 Timing	Column 3 Scope of Works	Location (shown on plan in Annexure B)
1A	Public domain improvement works along the western side of Martins Lane <u>north of the East West Road (now known as Wulaba Place)</u>	<p>To be completed:</p> <ul style="list-style-type: none"> <li>- no more than 18 months after the issue of an Occupation Certificate for the last building on the area marked 'Site A' on the Plan; or</li> <li>- prior to the issue of the first Construction Certificate for a building on the area marked 'Site B' on the Plan; or</li> <li>- the date that is 36 months after the issue of the first Occupation Certificate for any building on the area marked 'Site A' on the Plan, whichever occurs first.</li> </ul> <p>Upon completion of the works in Column 3 to the Council's satisfaction, the part of the land indicatively shaded in beige on the Plan (<u>north of the East West Road only, being Lots 7 and 8 shown in Annexure B</u>) will be dedicated to Council within 28 days, the estimated land value of which (<u>together with the land indicatively shaded in beige on the Plan south of the East West Road</u>) is \$2,037,000.</p>	<ul style="list-style-type: none"> <li>• Demolition of existing paths and road pavement as required to complete public domain upgrades.</li> <li>• Tree protection works.</li> <li>• Public domain upgrades including infrastructure, street lighting, landscaped verges, and footpaths</li> </ul>	<u>Lots 7 and 8</u>
1B	Public domain improvement works along the western side of Martins Lane south of the <u>East West Road (now known as Wulaba Place)</u>	<p>To be completed within 18 months after the issue of an Occupation Certificate for the first building on the area marked 'Site B' on the Plan.</p> <p><u>This period may be extended by 6 months with Council's consent. Any application for an extension is to be made to Council at least 6 months prior to the expiry period.</u></p>	<ul style="list-style-type: none"> <li>• <u>Demolition of existing paths and road pavement as required to complete public domain upgrades.</u></li> <li>• <u>Tree protection works (in connection with construction of</u></li> </ul>	<u>Lot 6</u>

Variation of Planning Agreement

Item	Column 1 Item of Work	Column 2 Timing	Column 3 Scope of Works	<u>Location</u> (shown on plan in Annexure B)
		<p><u>Upon completion of the works for Item 1B in Column 3 to the Council's satisfaction, the part of the land indicatively shaded in beige on the Plan (south of Wulaba Place, being Lot 6) will be dedicated to Council within 28 days.</u></p>	<p><u>new kerb and gutter and road pavement).</u></p> <ul style="list-style-type: none"> <li>• <u>Public domain upgrades including infrastructure and street lighting.</u></li> <li>• <u>Tree protection works (during footpath construction works).</u></li> <li>• <u>The footpath construction works (including landscaping mulch).</u></li> </ul>	
2A	<p>Martins Lane upgrade (northern section as indicatively shaded in orange on the Plan)</p>	<p>To be completed prior to the issue of an Occupation Certificate for any building on the Land to be used for the purposes of residential accommodation.</p>	<ul style="list-style-type: none"> <li>• Demolition of existing road pavement.</li> <li>• Full width road surface upgrade along the frontage of the land.</li> <li>• New street lighting, subject to agreement by the relevant energy utility provider.</li> <li>• New Colorbond fencing along the eastern side of Martins Lane to replace existing dilapidated fencing to properties, subject to agreement by owners.</li> </ul>	<p><u>Existing road reserve on Martins Lane</u></p>

Variation of Planning Agreement

Item	Column 1 Item of Work	Column 2 Timing	Column 3 Scope of Works	Location (shown on plan in Annexure B)
2B	Martins Lane upgrade (southern section as indicatively shaded in yellow on the Plan)	<p>To be completed:</p> <ul style="list-style-type: none"> <li>- no more than 18 months after the issue of an Occupation Certificate for the last building on the area marked 'Site A' on the Plan; or</li> <li>- prior to the issue of the first Construction Certificate for a building on the area marked 'Site B' on the Plan; or</li> <li>- the date that is 36 months after the issue of the first Occupation Certificate for any building on the area marked 'Site A' on the Plan, whichever occurs first.</li> </ul>	<ul style="list-style-type: none"> <li>• Demolition of existing road pavement.</li> <li>• Full width road surface upgrade along the frontage of the land.</li> <li>• New street lighting, subject to agreement by the relevant energy utility provider.</li> <li>• New Colorbond fencing along the eastern side of Martins Lane to replace existing dilapidated fencing to properties, subject to agreement by owners.</li> </ul>	<p><u>Existing road reserve on Martins Lane</u></p>
3	Signalisation of the intersection of Pennant Hills Road and Baker Street	<ul style="list-style-type: none"> <li>• The Developer's design of the signalisation works is to be completed to the satisfaction of RMS, and the Works Authorisation Deed executed, prior to the issue of a Construction Certificate for any building on the Land to be used for the purposes of residential accommodation.</li> <li>• Works to be completed and signals operational prior to the issue of an Occupation Certificate for any building on the Land to be used for the purposes of residential accommodation.</li> </ul>	<ul style="list-style-type: none"> <li>• Works include:                             <ul style="list-style-type: none"> <li>○ Installation of new traffic signals including milling and re-sheeting existing road surfaces in the vicinity of the intersection.</li> <li>○ New line-marking.</li> <li>○ New signage.</li> <li>○ New pedestrian crossings</li> </ul> </li> </ul>	<p><u>Existing road reserve on Pennant Hills Rd</u></p>

Variation of Planning Agreement

Item	Column 1 Item of Work	Column 2 Timing	Column 3 Scope of Works	<u>Location</u> (shown on plan in Annexure B)
4	Left turn lane	<ul style="list-style-type: none"> <li>The Developer's design of the left turn lane is to be completed, to the satisfaction of RMS prior to the issue of a Construction Certificate for any building on the Land to be used for the purposes of residential accommodation.</li> <li>Works to be completed prior to the issue of an Occupation Certificate for any building on the Land to be used for the purposes of residential accommodation.</li> </ul> <p>Upon completion of the works in Column 3, the land indicatively shaded in teal on the Plan will be dedicated to Council within 28 days.</p>	Provision of a left turn lane from the northern end of Martins Lane into Pennant Hills Road, in the location indicatively identified on the Plan in teal.	<u>Lot 9</u>
5	Provision of a new north-south road to link with the new east-west road (Item 6)	<p>To be completed:</p> <ul style="list-style-type: none"> <li>- no more than 18 months after the issue of an Occupation Certificate for the last building on the area marked 'Site A' on the Plan; or</li> <li>- prior to the issue of the first Construction Certificate for a building on the area marked 'Site B' on the Plan; or</li> <li>- the date that is 36 months after the issue of the first Occupation Certificate for any building the area marked 'Site A' on the Plan, whichever occurs first.</li> </ul> <p>Upon completion of the works in Column 3 to the Council's satisfaction, the land indicatively shaded in blue on the Plan will be dedicated to Council within 28 days, the estimated land value of which is \$1,464,300.</p> <p>The easement for public access required by clause 6.3(d), and indicatively shaded in pink hatching on the Plan, shall be registered at the time that the land shaded in blue is dedicated to Council.</p>	Provision of new road pavement, including infrastructure, street lighting, line marking, landscaped verges, and combined footpath/cyclepath.	<u>Lot 5 and part of Lot 4 for easement creation</u>

## Variation of Planning Agreement

Item	Column 1 Item of Work	Column 2 Timing	Column 3 Scope of Works	Location (shown on plan in Annexure B)
6	Provision of a new east-west road through the site linking the north-south road (Item 5) to Martins Lane	To be completed prior to the issue of an Occupation Certificate for any building on the Land to be used for the purposes of residential accommodation.  Upon completion of the works in Column 3 to the Council's satisfaction, the land indicatively shaded in green on the Plan will be dedicated to Council within 28 days, the estimated land value of which is \$2,126,100.	Provision of new road pavement, including infrastructure, street lighting, line marking, landscaped verges, and footpaths.	<u>Lot 3</u>
7	Public access and maintenance of the high ecological constraint area and associated Blue Gum High Forest vegetation at the southern portion of the site	An easement for public access with a width of 20m must be registered prior to the issue of an Occupation Certificate for the Development on the area marked 'Site B' on the Plan.	<ul style="list-style-type: none"> <li>Maintenance of the area identified as High Ecological Impact Zone (20m wide) to a standard to be agreed between Council and BaptistCare.</li> <li>Registration of an easement in accordance with the Easement Terms.</li> <li>The easement may exclude some areas within the High Ecological Impact Zone which are designated to be sensitive or areas where public access may result in adverse environmental impacts.</li> </ul>	<u>Lot 2</u>
8	Affordable housing	To be completed prior to the issue of the last Occupation Certificate for the Development of the area marked 'Site A' on the Plan.	Provision of 162 affordable housing dwellings to be managed by BaptistCare NSW & ACT at least until 1 January 2045, in	<u>Lot 1 and Lot 4</u>

Variation of Planning Agreement

Item	Column 1 Item of Work	Column 2 Timing	Column 3 Scope of Works	<b>Location</b> (shown on plan in Annexure B)
			accordance with the agreement between BaptistCare NSW & ACT and NSW Department of Family and Community Services	

Variation of Planning Agreement

Allens < Linklaters

**Executed** in Sydney.

**Executed** by **City of Parramatta Council** (ABN 49 907 174 773) under seal in accordance with a resolution of the Council on [\*]:

General Manager (Signature)	Mayor (Signature)
-----------------------------	-------------------

Name of General Manager (Print Name)	Name of Mayor (Print Name)
--------------------------------------	----------------------------

**Executed** by **BaptistCare NSW & ACT** (ABN 90 000 049 525) by its directors pursuant to s127 of the *Corporations Act 2001*:

Director Signature	Director/Secretary Signature
--------------------	------------------------------

Print Name	Print Name
------------	------------

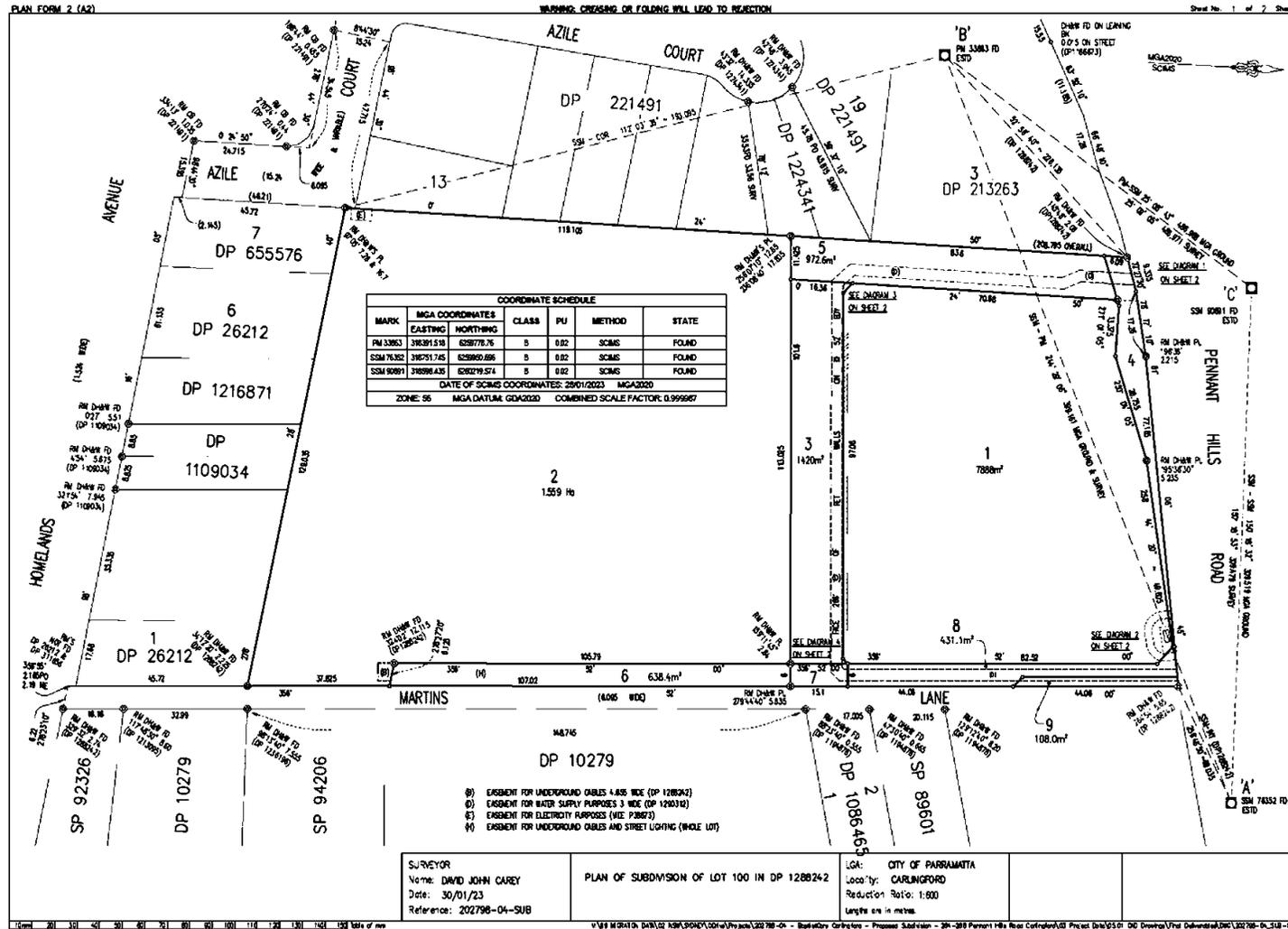
Variation of Planning Agreement

Allens & Linklaters

**Annexure – Plan to form Annexure B to Planning Agreement**

Variation of Planning Agreement

Allens < Linklaters

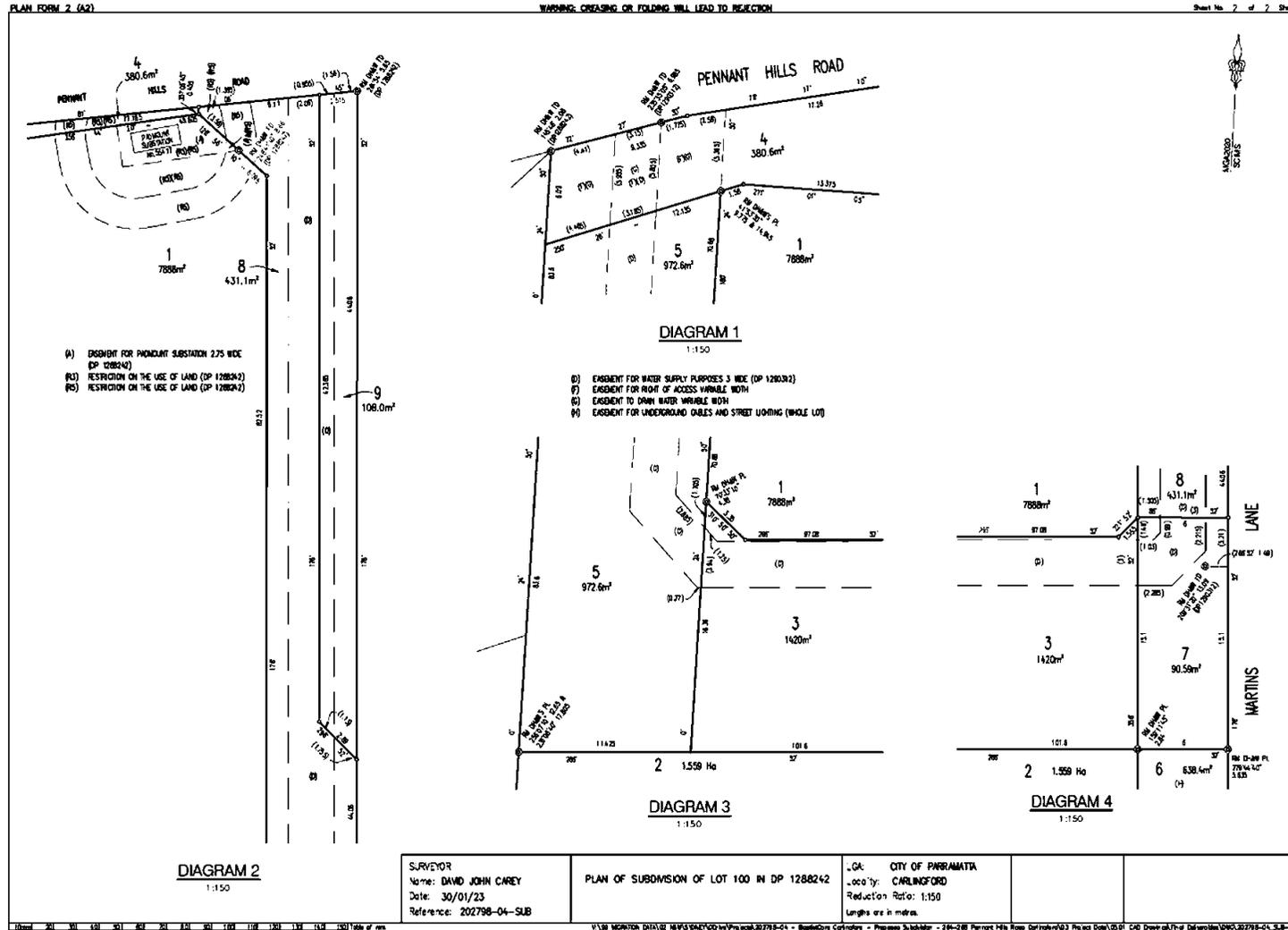


RFPs 809004630v5 120757474 27.3.2024

page 13

Variation of Planning Agreement

Allens < Linklaters



**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

---

<b>ITEM NUMBER</b>	13.5
<b>SUBJECT</b>	Public Exhibition of Draft Affordable Rental Housing Policy 2024
<b>REFERENCE</b>	F2024/00282 - D09401636
<b>REPORT OF</b>	Project Team Leader

**CSP THEME:** Fair

**WORKSHOP/BRIEFING DATE:** PRC - 6 December 2022, PRC - 14 March 2024, Councillor Workshop – 18 March 2024

**PURPOSE:**

To seek Council's endorsement to place the draft Affordable Rental Housing Policy 2024 (Policy 298) on public exhibition.

**RECOMMENDATION**

- (a) That the draft Affordable Rental Housing Policy 2024 (Attachment 1) be placed on public exhibition for a period of 28 days.
- (b) That Council delegate authority to the Chief Executive Officer to make any necessary administrative changes of a non-policy nature to the draft Affordable Rental Housing Policy for public exhibition to give effect to Council's resolution.
- (c) That the outcomes of the public exhibition be reported to Council.
- (d) That Council commits to a need-based Affordable Rental Housing target of 12,600 dwellings across the LGA by 2041 (as an interim approach), until the mid-term review and inclusion of the confirmed target in the Affordable Housing Action Plan 2023-2025.

**BACKGROUND**

1. Council's current Affordable Rental Housing Policy (Policy 298) (Attachment 2) was adopted by Council on 18 March 2019, and is due for review.
2. At a Policy Review Committee meeting in December 2022, Councillors discussed *updating the 2019 Affordable Rental Housing Policy*, as well as the need for a more strategic document to guide Council's work on Affordable Housing. This led to the creation of the *Affordable Housing Action Plan 2023-2025* which was adopted by Council in August 2023.
3. The *Affordable Housing Action Plan 2023-2025* includes actions requiring an update to Council's *Affordable Rental Housing Policy*, to reflect changes to the policy context and, in particular, to:

- a. include a new methodology for Council's stance on determining Planning Agreements contributions relating to Affordable Rental Housing for sites that are subject to developer-led Planning Proposals;
  - b. require that any Affordable Rental Housing provided through Planning Agreements is dedicated to Council (rather than owned by another party and operating for a limited timeframe).
4. The *Affordable Housing Action Plan 2023-2025* and the revised draft *Affordable Rental Housing Policy* serve different but complementary purposes. The *Affordable Housing Action Plan 2023-2025* is a strategic document that sets out Council's vision, policy positions, and advocacy priorities. The *Affordable Rental Housing Policy* addresses operational matters that relate to Council's management of its Affordable Rental Housing properties and acquisition of additional Affordable Rental Housing.
  5. Council currently owns 8 Affordable Rental Housing dwellings (all located within Parramatta CBD) and has 49 additional dwellings in the pipeline that have been negotiated through the Planning Agreement process.

## OVERVIEW OF DRAFT POLICY

6. The objective of the Policy is to effectively manage Council's Affordable Rental Housing properties and increase Council's contribution to Affordable Rental Housing.
7. The revised Policy builds upon its predecessor, the *2019 Affordable Rental Housing Policy*. The key revisions in the 2024 draft Policy are:
  - a. Updates to the framework for Council's acquisition and management of its Affordable Rental Housing portfolio, to make improvements based on learnings since 2019 and to ensure compliance with other Council policies and legislative requirements;
  - b. Guidance on Council acquiring and constructing Affordable Rental Housing, subject to certain conditions;
  - c. A new methodology for determining the Affordable Rental Housing contribution in Planning Agreements, to strengthen transparency and clarity; and
  - d. Updates to the criteria used to prioritise tenants residing in Council's Affordable Rental Housing properties, with priority given to key workers on low incomes.

See Attachment 3 for an overview of the proposed changes.

8. The revised Policy covers the following areas:
  - a. Acquiring or constructing Affordable Rental Housing;
  - b. Methodology for determining the contribution of Affordable Rental Housing in planning agreements;
  - c. Accessibility and design of Affordable Rental Housing;
  - d. Financial management of Affordable Rental Housing;
  - e. Tenant eligibility and prioritisation;
  - f. Setting rental prices; and

- g. End of asset life.
9. The Policy prioritises key workers as tenants in Council's Affordable Rental Housing properties, including (but not limited to) health workers, personal care workers, childcare workers, commercial cleaners, hospitality, and cultural workers. This aligns with Council's wider strategies and vision for the City of Parramatta and recognises that rental affordability continues to be a barrier for key workers to reside in the LGA, particularly for those on lower incomes.

## **INTERIM TARGET**

10. The *2019 Affordable Rental Housing Policy* set a target for Affordable Rental Housing in the LGA, noting that 9,600 affordable rental housing dwellings would be required by 2036. The draft *2024 Affordable Rental Housing Policy* does not set a revised target because the revised Policy is operational in nature. Instead, confirmation of the target will take place as part of the mid-term review of the *Affordable Housing Action Plan 2023-2025*, in consultation with Councillors. This approach will avoid duplication and maintain the distinct purpose of both documents.
11. Pending the mid-term review of the *Affordable Housing Action Plan 2023-2025*, it is recommended that Council set a needs-based, interim, LGA-wide target of 12,600 Affordable Rental Housing Dwellings by 2041.
12. This figure is based on .id Housing Monitor data that indicated that 7.3% of households in the LGA are currently in need of affordable rental housing. The predicted population of Parramatta LGA in 2041 is 172,740 households; therefore, assuming that the need for affordable rental housing remains stable, 7.3% of the predicted 2041 population is 12,610 households. The target is therefore set at 12,600 households.
13. This figure and associated methodology will be confirmed during the mid-term (end of 2024) review of the *Affordable Housing Action Plan 2023-2025*.

## **PUBLIC EXHIBITION**

14. In accordance with Council's Community Engagement Strategy 2022-2024, the draft Policy will be placed on public exhibition for a period of 28 days. This report is seeking Council's approval to place the draft Affordable Rental Housing Policy on public exhibition.
15. Once submissions have closed, a further report will be presented to Council incorporating any public comment, where Council may consider adoption of the final Policy

## **CONSULTATION & TIMING**

### Stakeholder Consultation

16. This report seeks Council's endorsement for the draft Affordable Rental Housing Policy (Attachment 1) to be placed on public exhibition for a period of 28 days.

17. The following Councillor consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Stakeholder</b>	<b>Stakeholder Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
NIL				

### Councillor Consultation

18. The following Councillor consultation has been undertaken in relation to this matter:

<b>Date</b>	<b>Councillor</b>	<b>Councillor Comment</b>	<b>Council Officer Response</b>	<b>Responsibility</b>
6 December 2022	Policy Review Committee	Concerns were raised about achieving the affordable housing target set in the Affordable Rental Housing Policy 2019. Suggestions to address this included: <ul style="list-style-type: none"> <li>- Update approach to seeking affordable housing through VPAs</li> <li>- Develop strategy to support the delivery of affordable housing</li> <li>- Consider using Council-owned land in partnership with the state government</li> <li>- Ensure affordable housing is affordable in perpetuity</li> </ul>	Suggestions informed the development of the Affordable Housing Action Plan and were considered in the review and update of the Affordable Rental Housing Policy.	City Planning & Design - City Strategic Planning
14 March 2024	Policy Review Committee	PRC supported the version of the draft Policy that was circulated. Discussion focused less on the Policy and more on affordable housing targets and Councillor visibility of VPA processes.	Councillor workshop to address targets and visibility of VPA processes held on 18 March.	City Planning & Design - City Strategic Planning
18 March 2024	Councillor Workshop	Discussion focused on affordable housing targets and Councillor visibility of VPA processes. Councillors requested a copy of the updated draft Policy, with tracked changes following PRC and Councillor workshop.	Council officers provided Councillors with a copy of the updated draft Policy, with tracked changes following PRC	City Planning & Design - City Strategic Planning

19 March 2024	Councillor Lorraine Wearne	Provided feedback on the draft Policy and made suggestions to improve clarity of wording.	and Councillor workshop.  Council officers incorporated feedback into the draft Policy to improve clarity of wording.	City Planning & Design - City Strategic Planning
---------------	----------------------------	---	---	--

## LEGAL IMPLICATIONS FOR COUNCIL

19. The draft Policy was reviewed by Council's Legal Services Unit, and the Policy recommended for public exhibition does not present any legal concerns.

## FINANCIAL IMPLICATIONS FOR COUNCIL

20. f Council resolves to approve this report in accordance with the recommendations, there are no unbudgeted financial implications for Council associated with the exhibition of this draft Policy. The cost of the public exhibition will be funded from the City Planning and Design budget..

	FY 23/24	FY 24/25	FY 25/26	FY 26/27
<b>Revenue</b>				
Internal Revenue				
External Revenue				
<b>Total Revenue</b>	N/A	N/A	N/A	N/A
<b>Funding Source</b>				
<b>Operating Result</b>				
External Costs				
Internal Costs				
Depreciation				
Other				
<b>Total Operating Result</b>	N/A	N/A	N/A	N/A
<b>Funding Source</b>				
<b>CAPEX</b>				
CAPEX				
External				
Internal				
Other				
<b>Total CAPEX</b>	N/A	N/A	N/A	N/A

21. Whilst not a new risk, Council is reminded that the dedication of Affordable Rental Housing units within a strata title property means that, as an owner, Council will

be financially liable for costs resulting from potential building defects and poor construction quality. This includes, but is not limited to, financial liability for potential repair costs, legal expenses, and potential decreases in property value due to building defects. The risk is mitigated by a program implemented by the State Government which has seen the Building Commission take responsibility for regulating the building and construction industry under a Building Commissioner who has been provided additional powers and has established auditing processes and a construction business rating system.

Robert Cologna  
**Group Manager, Strategic Land Use Planning**

Jennifer Concato  
**Executive Director City Planning and Design**

John Angilley  
**Executive Director Finance & Information**

Gail Connolly  
**Chief Executive Officer**

**ATTACHMENTS:**

- |   |  |             |
|---|--|-------------|
| <a href="#">1</a>  | Attachment 1_Draft Affordable Rental Housing Policy 2024 including Schedule 1                              | 12<br>Pages |
| <a href="#">2</a>  | Attachment 2 Affordable Rental Housing Policy 2019   | 8<br>Pages  |
| <a href="#">3</a>  | Attachment 3 - Draft Affordable Rental Housing Policy 2024_Summary of proposed changes from 2019 Policy_v2 |             |

**REFERENCE MATERIAL**



**Affordable Rental Housing Policy**

**Contents**

1. Scope ..... 1

2. Purpose ..... 1

3. Policy ..... 2

4. Delegation ..... 8

5. Procedure ..... 8

6. Definitions ..... 9

Schedule 1: Criteria for Determining Affordable Housing Contribution ..... 10

**1. Scope**

- 1.1 This Policy applies to all Affordable Rental Housing owned, or under consideration to be acquired or constructed, by City of Parramatta Council (**Council**).
- 1.2 This Policy applies to all Council Officials responsible for managing and/or making any decisions regarding Council's Affordable Rental Housing portfolio, including funding or other resources held for this purpose.
- 1.3 This Policy further applies to all planning agreements to be made or issued by Council pursuant to section 7.4 of the *Environment Planning and Assessment Act 1979* (NSW) (**EP&A Act**).

**2. Purpose**

- 2.1 This Policy sets out Council's approach for effectively managing its Affordable Rental Housing portfolio, in accordance with Council's prevailing policies and strategies applicable to managing its property assets.
- 2.2 This Policy establishes a framework for Council to increase its contribution to Affordable Rental Housing stock in the City of Parramatta local government area (**LGA**), including through acquisition and through statutory mechanisms, such as planning agreements under the EP&A Act.

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4



### 3. Policy

- 3.1 Council is committed to increasing its portfolio of Affordable Rental Housing in the LGA, including through land acquisition, construction, or property acquisition where Council resources permit it to do so.

#### Acquisition of Affordable Rental Housing

- 3.2 Council may acquire land for the purpose of Affordable Rental Housing utilising funds quarantined (under clause 3.14 of this Policy) or identified (under clause 3.16 of this Policy), provided that the acquisition is made in accordance with the criteria set out in Council's prevailing policies on property acquisition. In addition, the land should be suitable for Affordable Rental Housing.
- 3.3 Council may construct Affordable Rental Housing on Council-owned land utilising funds quarantined (under section 3.14 of this Policy) or identified (under section 3.16 of this Policy) provided that such construction is made in accordance with the criteria set out in Council's prevailing policies on property acquisition. In addition, construction should take place on land that is suitable for Affordable Rental Housing.
- 3.4 Council may acquire completed dwellings and categorise them as Affordable Rental Housing utilising funds quarantined (under clause 3.14 of this Policy) or identified (under clause 3.16), provided that the acquisition is made in accordance with the criteria set out in Council's prevailing policies on property acquisition. In addition, the land should be suitable for Affordable Rental Housing

#### Planning agreements

- 3.5 Council is committed to ensuring that planning agreements entered into with developers under section 7.4 of the EP&A Act will enable Council to secure Affordable Rental Housing, under the planning framework in New South Wales.
- 3.6 Pursuant to Council's Voluntary Planning Agreements Policy, Affordable Rental Housing may comprise one element of a planning agreement.
- 3.7 When considering the inclusion of Affordable Rental Housing as a component of a planning agreement, Council will ensure that up to 5 per cent of all dwellings are dedicated to Council as Affordable Rental Housing.

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4

Page 2 of 10



- 3.8 The following considerations will apply to Council's inclusion of Affordable Rental Housing as a contribution in a planning agreement:
- 3.8.1 Dedication of Affordable Rental Housing is only applicable in developments comprised of a minimum of 20 dwellings.
- 3.8.2 Dedication of Affordable Rental Housing is only applicable in areas subject to uplift or rezoning.
- 3.8.3 Affordable Rental Housing should be dedicated at no cost to Council and be provided in perpetuity.
- 3.8.4 The dedication of Affordable Rental Housing to Council will not necessarily replace a contribution to community infrastructure in a planning agreement. Council may pursue inclusion of both Affordable Rental Housing and community infrastructure in a planning agreement, based on the context of each location and the characteristics of each development.
- 3.8.5 The decision by a developer to engage a scheme, such as the in-fill housing bonus set out in the State Environmental Planning Policy (Housing) 2021 (NSW) (**SEPP**), will not displace obligations to Council that form part of the planning agreement process, such as the dedication of Affordable Rental Housing.
- 3.9 Council will employ Schedule 1 Criteria for Determining Affordable Housing Contribution to specify the contribution towards Affordable Rental Housing that is applicable to the land that applies to the planning agreement. Council will give consideration given to the following factors when determining the applicable percentage (between 0 and 5%) of all dwellings that should be dedicated to Council as Affordable Rental Housing:
- 3.9.1 Critical need for infrastructure: Where there is a critical need for community or public infrastructure in the location that can be addressed through a planning agreement, Council may waive the Affordable Rental Housing contribution.
- 3.9.2 Yield of the site: For sites with higher yield as the result of uplift, a higher percentage of dwellings dedicated as Affordable Rental Housing will apply.

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4



- 3.9.3 Change in land use: Where there is a significant change in land use, such as a change from industrial to residential zoning, a higher percentage of dwellings dedicated as Affordable Rental Housing will apply.
- 3.9.4 Change in site profitability: Where there is a significant change in site profitability, a higher percentage of dwellings dedicated as Affordable Rental Housing will apply.
- 3.9.5 Proximity to public transport infrastructure: For sites that are located within 800 metres of a train station, metro station, T-Way bus station, or light rail station, a higher percentage of dwellings dedicated as Affordable Rental Housing will apply.
- 3.9.6 Size of site: For sites 10 hectares or above, a higher percentage of dwellings dedicated as Affordable Rental Housing will apply.
- 3.9.7 Displacement of existing housing options: Where the development will displace diverse housing types, particularly lower cost housing options, a higher percentage of dwellings dedicated as Affordable Rental Housing will apply.
- 3.9.8 Availability of open space and community infrastructure in the development location: Where the existing provision of open space and community infrastructure is comparatively adequate in the area, as determined in accordance with Council's Community Infrastructure Strategy, a higher percentage of dwellings dedicated as Affordable Rental Housing will apply.
- 3.10 Council may consider requiring the lodgement of a security and any other mechanisms to ensure due delivery of the Affordable Rental Housing contribution.

#### Accessibility and Design

- 3.11 Dwellings must comply with the following access and design outcomes:
- 3.11.1 Dwellings should reflect the need for diversity in dwelling size. Where multiple dwellings are dedicated, Council will seek a mix of one and two-bedroom dwellings, in a ratio of 2:1 (e.g. two one-bedrooms and one two-bedroom dwelling). Where possible, Council will also advocate for the dedication of larger dwellings.

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4



- 3.11.2 Dwellings are subject to the same design requirements and controls as all other dwellings within a development site. This includes design outcomes and characteristics such as size, solar access, cross-ventilation and adaptable design.
- 3.11.3 Where multiple dwellings are dedicated, this should include a proportion of accessible and adaptable housing that is consistent with the Parramatta Development Control Plan 2023 (DCP).
- 3.11.4 All adaptable housing must meet Class C adaptability under Australian Standard 4299 – Adaptable Housing, consistent with Council's DCP and Disability Inclusion Action Plan.
- 3.11.5 The allocation of car spaces for Affordable Rental Housing dwellings is to be consistent with the car parking requirements in the relevant planning controls.
- 3.12 Units to be dedicated to Council must have received a Final Occupation Certificate. It is expected that finishing will include all fixtures and fittings to enable occupation, including but not limited to:
- Air conditioning (split system)
  - Hot Water Unit
  - Floor coverings
  - Window dressings
  - Dishwasher
  - Kitchen appliances
- 3.13 A waiver of the access and design requirements under this Policy may be negotiated with Council on an exceptional basis, prior to dedication.

#### Funding for Affordable Rental Housing

- 3.14 Pursuant to section 7.32 of the EP&A Act, Council will hold monetary contributions received via planning agreements or contributions schemes to be used for the purpose of Affordable Rental Housing.

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4



- 3.15 Income received by Council as a result of renting its Affordable Rental Housing dwellings must be utilised for expenses associated with Council's Affordable Rental Housing portfolio, including but not limited to:
- (a) costs associated with the maintenance or capital renewal of Council's Affordable Rental Housing portfolio; and
  - (b) costs associated with management of Affordable Rental Housing portfolio, including via a Community Housing Provider.
- 3.16 Accumulated net surplus may be utilised for investments associated with Council's Affordable Rental Housing portfolio, including but not limited to:
- (a) acquisition of land or property to be utilised for Affordable Rental Housing;
  - (b) construction of Affordable Rental Housing; or
  - (c) actions on Council land that will lead to the development of Affordable Rental Housing to be owned by Council.

#### Tenant Eligibility for Affordable Rental Housing

- 3.17 Council will consider the following eligibility criteria when assessing potential tenants for its Affordable Rental Housing units:
- 3.17.1 The applicant household must qualify as a very low, low, or moderate income household, as defined in section 1.4 of the EP&A Act.
- 3.17.2 At least one member of the applicant household must demonstrate evidence of a connection to the LGA. Typically, this requirement will be met by providing evidence of either:
- (a) employment within the LGA; and/or
  - (b) current residence within the LGA.
- 3.17.3 Other evidence of a connection to the LGA may also be considered, such as evidence that a member of the applicant household:
- (a) is engaged in study or volunteer work in the LGA;
  - (b) has family living in the LGA;
  - (c) has children attending school in the LGA; or

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4



(d) is engaged in other activities that demonstrate a connection to the LGA.

3.17.4 At least one member of the applicant household should provide proof of Australian citizenship or permanent residency in Australia.

3.17.5 The applicant household must not own property that could provide a solution to their housing requirements.

3.17.6 Waiver of specific eligibility requirements may be requested on an exceptional basis, such as in cases of other types of hardship.

3.18 Where the number of eligible applicants exceeds available Affordable Rental Housing units, priority for assigning tenancies will be as follows:

3.18.1 Priority will be given to applicants working in key worker roles of strategic importance to the LGA, particularly those on low incomes. The definition of key worker roles of strategic importance has been informed by research and Council's strategic priorities. These roles include, but are not limited to:

- (a) aged and disability carers;
- (b) ambulance officers and paramedics;
- (c) child carers;
- (d) commercial cleaners;
- (e) Cultural Workers;
- (f) educational aides;
- (g) fire and emergency services workers;
- (h) hospitality workers;
- (i) laundry workers;
- (j) midwives, nurses (registered, enrolled and mothercraft), and nursing support and personal care workers;
- (k) social workers;
- (l) teachers; and
- (m) welfare support workers.

3.18.2 Priority will be given to applicants who have been living or working in the LGA for at least two years prior to their application.

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4

Page 7 of 10



#### Rental prices for Affordable Rental Housing

- 3.19 Council will monitor affordability of its Affordable Rental Housing properties to ensure properties remain affordable.
- 3.20 Council will set the rental prices for each Affordable Rental Housing dwelling at a 20 per cent discount of the market rental value, and no more than 30 per cent of the prospective tenant's income.
- 3.20.1 Market rental value will be assigned to each Affordable Rental Housing unit on an annual basis, based on an assessment of similar dwellings in the same area, as informed by the NSW Government Rent and Sales Report.

#### End of Asset Life

- 3.21 Where Council divests Affordable Rental Housing dwellings, Council's broader policies on property divestment will apply, and proceeds will be utilised for costs associated with Affordable Rental Housing.

#### **4. Delegation**

- 4.1 There are Administrative and/or Legislative Delegations applicable to this Policy, which are provided for in Council's Delegations Manual.

#### **5. Procedure**

- 5.1 This Policy must be read in conjunction with Council's prevailing policies on acquiring, managing, or divesting property, which set out the core administrative and operational requirements applicable to the management of Council's property assets.
- 5.2 This Policy must be read in conjunction with Council's Voluntary Planning Agreements Policy, which sets out the operational requirements applicable to negotiating planning agreements.
- 5.3 Council will prepare an annual report on the status of funds associated with Affordable Rental Housing, including contributions, expenditures, and other transactions, for tracking and auditing purposes.

<b>Affordable Rental Housing Policy</b>		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4

Page 8 of 10



- 5.4 Council will comply with its responsibilities as the landlord for its Affordable Rental Housing properties, as set out by the *Residential Tenancies Act 2010* (NSW).
- 5.5 Council will appoint a Community Housing Provider to undertake all operational aspects of Council's Affordable Rental Housing portfolio.
- 5.5.1 Operational duties to be undertaken by the Community Housing Provider on Council's behalf may include:
- (a) considering applications from prospective tenants and renewal applications from existing tenants, using the eligibility criteria set out in clauses 3.17 and 3.18 of this Policy;
  - (b) calculating rental rate pursuant to this Policy, taking into consideration market value and tenant income, including an annual audit of existing tenant income against the eligibility criteria;
  - (c) proposing a market rental value for each dwelling, for endorsement by Council;
  - (d) collecting rent;
  - (e) managing rent arrears;
  - (f) conducting periodic property inspections;
  - (g) managing disputes between resident tenants within Council's property;
  - (h) managing end-of-lease processes;
  - (i) responding to property repairs and maintenance; and
  - (j) monthly reports.
- 5.5.2 Where responsibilities have been delegated by Council to the Community Housing Provider, the Community Housing Provider is obliged to uphold the applicable landlord responsibilities under the *Residential Tenancies Act 2010* (NSW).

## 6. Definitions

Affordable Rental Housing	For the purposes of this Policy, refers to residential properties owned by Council, to be leased to tenants at a discounted rate in accordance with the criteria in this Policy.
Community Housing Provider	Refers to the organisation engaged by Council to undertake property management duties on its behalf, for its Affordable Rental Housing portfolio.

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4



Council Official	Councillors, employees, and delegates of Council (including members of committees that are delegates of Council).
Cultural Worker	For the purposes of this Policy, refers to an individual whose labour is required to facilitate the production of goods and services in arts, cultural and creative industries. This includes people employed in cultural institutions and organisations, people who organise cultural events and programmes, and workers whose labour extends cultural and creative practices, such as writers, artists, and musicians.

<b>REFERENCES</b>	<i>Environmental Planning and Assessment Act 1979 (NSW)</i> NSW Government Rent and Sales Report <i>Residential Tenancies Act 2010 (NSW)</i> <i>State Environmental Planning Policy (Housing) 2021 (NSW)</i>
<b>ASSOCIATED POLICIES and STRATEGIES</b>	Affordable Housing Action Plan Asset Management Policy Community Infrastructure Strategy Disability Inclusion Action Plan Land Dedication Policy Managing Conflicts of Interest with Council Related Developments Policy Parramatta Development Control Plan 2023 Procurement Policy Property Investment Policy Property Lease and Licence Policy Voluntary Planning Agreements Policy
<b>ATTACHMENTS</b>	Schedule 1: Criteria for Determining Affordable Housing Contribution

Affordable Rental Housing Policy		
Owner: Manager City Strategic Planning	Area: Strategy	POL No: 298
Date of Commencement:	Approval Authority: Council	Date Approved:
Amendment: 3	Date of Next Review:	Review: 4

Schedule 1: Criteria for Determining Affordable Housing Contribution

THRESHOLD QUESTIONS		
Question	Answer: YES	Answer: NO
Is the development comprised of less than 20 dwellings?	Sites that are made up of less than 20 dwellings are not subject to the Affordable Rental Housing component of planning agreements	Sites of 20 or more dwellings are subject to the Affordable Rental Housing component of planning agreements and the weighting criteria below applies
Is there a critical need for community or public infrastructure that can be addressed through a Planning Agreement?	If there is a critical need for community or public infrastructure in the location that can be addressed through a Planning Agreement, Council will waive the request for Affordable Rental Housing dedication and the weighting criteria will not apply.	Weighting criteria below applies

	Council seeks lower proportion of AH	Council seeks higher proportion of AH	Weighting Criteria	Weighting Points
<b>Yield of the site</b>	Smaller site yield, based on net GFA e.g. Site zoned 4:1 where 800sqm is developable for residential dwellings = 3,200sqm GFA yield (i.e. the calculation does not include land designated for non-residential purposes, such as roads and open space)	Larger site yield, based on net GFA e.g. Site zoned 8:1 where 2000sqm is developable for residential dwellings = 16,000sqm GFA yield (i.e. the calculation does not include land designated for non-residential purposes, such as roads and open space)	0 = 1,700 and under net GFA yield 1 = 1,701 to 3,500 net GFA yield 2 = 3,501 to 5,300 net GFA yield 3 = 5,301 to 6,200 net GFA yield 4 = 6,201 to 9,000 net GFA yield 5 = Above 9,000 net GFA yield	0 - 5
<b>Change in land use</b>	No change in land use (i.e. through rezoning)	Significant change in land use (e.g. industrial to residential, or change in density)	0 = No change in land use 2 = minor change in land use 4 = significant change in land use	0 - 4
<b>Change in site profitability</b>	No change in site profitability due to uplift	Significant change in site profitability due to uplift	0 = No change in site profitability 2 = minor change in site profitability 3 = significant change in site profitability	0 - 3
<b>Proximity to adequate public transport infrastructure</b>	More than 800m from a train, metro or T-Way station	Less than 800m from a train, metro or T-Way station	0 = More than 800m from a train, metro, light rail, or T-Way station 1 = Between 400m and 800m from a train, metro, light rail, or T-Way station 2 = Less than 400m from a train, metro, light rail, or T-Way station	0 - 2

<b>Size of site</b>	Site less than 10ha	Site more than 10ha	0 = 20 or more dwellings and on a site that is less than 10 ha 1 = 20 or more dwellings and on a site that is 10ha or larger	0 - 1
<b>Displacement of existing housing options</b>	Development does not displace existing affordable and/or diverse housing types (this refers to relatively low cost apartments, medium density, or dwellings that have other diverse, accessible, or affordable characteristics)	Development displaces existing affordable and/or diverse housing types	0 = Development does not displace existing affordable and/or diverse housing types (e.g. lower price bracket) 1 = Development displaces 10 or less existing affordable and/or diverse housing dwellings 2 = Development displaces more than 10 existing affordable and/or diverse housing dwellings	0 - 2
<b>Community infrastructure provision (gaps)</b>	Comparatively high community infrastructure gaps, based on the Community Infrastructure Strategy.	Comparatively low community infrastructure gaps, based on the Community Infrastructure Strategy.	0 = Less than 20% of the benchmark for community facilities based on current population 1 = Between 20% and 40% of the benchmark for community facilities based on current population 2 = More than 40% of the benchmark for community facilities based on current population	0 - 2
<b>Community infrastructure provision (gaps)</b>	Comparatively high open space gaps, based on the Community Infrastructure Strategy.	Comparatively low open space gaps, based on the Community Infrastructure Strategy.	0 = Less than 20% of the benchmark for open space provision based on current population 1 = More than 20% of the benchmark for open space provision based on current population	0 - 1

<b>TOTAL SCORE (out of a possible 20 points)</b>	[1-20]
--	--------

<b>Guide for % of dwellings that Council will seek dedicated as affordable rental housing</b>	
<b>Points</b>	<b>%</b>
19-20	5
17-18	4.5
15-16	4
13-14	3.5
11-12	3
9-10	2.5
7-8	2
5-6	1.5
3-4	1
1-2	0.5
0	0



# CITY OF PARRAMATTA

## Affordable Rental Housing Policy 2019

### Contents

1. Background
2. Scope
3. Purpose
4. Policy
5. Procedure
6. Definitions

### 1. Background

Housing affordability is a critical issue in City of Parramatta local government area (the City) and across Greater Sydney. In City of Parramatta, 24%, or one in four households in the private rental market are currently in rental housing stress. Between 2011 and 2016, the proportion of households who rent in the private market in City of Parramatta rose from 28% to 34%.

The Centre for Affordable Housing rates Parramatta as having a high affordable housing need.<sup>1</sup> Until recently, Parramatta was considered a relatively affordable part of Sydney. This has changed significantly. The City's cost advantage for the period 2010 – 2014 (as compared to median Sydney dwelling prices) fell from 8% to only 2%.<sup>2</sup> The continued rise in property prices and average rental rates in the context of relatively low wage growth in subsequent years means that affordability in the City, particularly for key workers, has declined further.

#### 1.1 Affordable Housing Policy 2009

City of Parramatta Council's initial Affordable Housing Policy 2009 sought to address housing affordability in the then Parramatta City Council local government area. This Affordable Rental Housing Policy 2019 (the Policy) supersedes the Affordable Housing Policy 2009.

#### 1.2 Affordable rental housing

This Policy aims to increase the provision of affordable rental housing in accordance with the following definition of this housing type:

**Affordable rental housing is rental housing that is provided to households on very low to moderate incomes and charged at a rental rate that does not exceed 30% of weekly income – so that the household does not experience housing stress and can meet other basic living costs such as food, clothing, transport, medical care and education.**

<sup>1</sup> <http://www.housing.nsw.gov.au/centre-for-affordable-housing/for-planners-of-affordable-housing/where-do-we-need-affordable-housing>

<sup>2</sup> .id Profile, August 2015, 'Parramatta Key Workers: Final Report'

Affordable Rental Housing Policy TRIM D06639941		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years



## CITY OF PARRAMATTA

It is important to specify the difference between several related terms in order to clarify what this Policy is concerned with. A list of key definitions is provided in Section 6.0 of this Policy.

This Policy focuses on **affordable rental housing** as local government has the capacity to provide this type of affordable housing. This focus also reflects evidence that rental stress is of more concern than mortgage stress because 70% of all housing stress occurs in the private rental sector, and because a far higher proportion of lower income earners occupy the private rental market as opposed to the mortgage market.

### 1.3 Why does Council need to encourage affordable rental housing?

The Greater Sydney region is experiencing a housing affordability crisis, and City of Parramatta is impacted by this. Council needs to act on this issue over time because of the level of housing stress currently experienced across the City, and the continued loss of key workers experienced by the City, at least in part, as a result of housing stress.

## 2. Scope

This Policy specifies how City of Parramatta Council will contribute to supporting the delivery of new affordable rental housing through the planning system.

### 2.1 What types of affordable housing does this Policy apply to?

This Policy relates to types of affordable rental housing that can provide a demonstrable reduction in housing stress in the LGA. For this reason, the Policy does not apply to all types of affordable housing that can be delivered under the Affordable Rental Housing State Environment Planning Policy (ARH SEPP 2009).<sup>3</sup> This is because not all housing types included under the ARH SEPP 2009 carry the same requirements to subsidise their rent. Table 2 specifies which housing types are included in this Policy and which types are not.

<sup>3</sup> The ARH SEPP 2009 includes the following housing types: In-fill affordable housing; Secondary dwellings; Boarding houses; Supportive accommodation; Residential flat buildings—social housing providers, public authorities and joint ventures; Residential development—Land and Housing Corporation; and Group Homes.

Affordable Rental Housing Policy TRIM D06639941		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years



# CITY OF PARRAMATTA

**Table 2. Affordable Housing Types**

Affordable housing types included in Policy Target	Affordable housing types not included in Policy Target
<ul style="list-style-type: none"> <li>Affordable Rental Housing managed by non-profit providers</li> </ul>	<ul style="list-style-type: none"> <li>Boarding houses<sup>4</sup> delivered under the ARH SEPP 2009</li> </ul>
<ul style="list-style-type: none"> <li>In-fill Affordable Rental Housing delivered under the ARH SEPP 2009</li> </ul>	<ul style="list-style-type: none"> <li>Secondary dwellings (e.g. granny flats) delivered under the ARH SEPP 2009</li> </ul>
<ul style="list-style-type: none"> <li>Affordable Rental Housing delivered under Government-subsidised schemes</li> </ul>	<ul style="list-style-type: none"> <li>Supportive accommodation delivered under ARH SEPP 2009</li> </ul>
<ul style="list-style-type: none"> <li>Affordable Rental Housing acquired by Council through a voluntary planning agreement (VPA)</li> </ul>	<ul style="list-style-type: none"> <li>Residential flat buildings or developments undertaken by other public authorities delivered under the ARH SEPP 2009</li> </ul>
<ul style="list-style-type: none"> <li>Affordable Rental Housing acquired by Council through inclusionary zoning</li> </ul>	<ul style="list-style-type: none"> <li>Group homes delivered under the ARH SEPP 2009</li> </ul>

## 2.2 Where does this Policy apply?

The purpose and principles of this Policy apply to the entire City of Parramatta local government area. Rental housing affordability is an issue that spans all areas of the City and is not confined to any specific location, although it is acknowledged that some suburbs experience higher rates of housing stress than others.

Any affordable rental housing contribution on uplift value will only apply to sites within City of Parramatta local government area that are outside the Parramatta CBD. The Parramatta CBD-specific infrastructure funding approach does not include affordable rental housing. Affordable rental housing has not been included because of the already significant scale of infrastructure required to support the Parramatta CBD.

## 3. Purpose

### 3.1 Policy Objective

The objective of this Policy is to reduce the level of rental housing stress experienced by residents across City of Parramatta so that they can thrive socially and economically. This will be achieved by increasing the provision of affordable rental housing. More affordable rental housing will allow more residents to live closer to work, or close to good public transport links that make the journey to work cheaper, faster and easier.

<sup>4</sup> Boarding house rooms must be rented at subsidised rates if the owner takes up the available land tax discount for boarding houses, but they are not obliged to do so.

Affordable Rental Housing Policy TRIM D06639941		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years



## CITY OF PARRAMATTA

### 3.2 How can Council provide affordable rental housing?

There are two mechanisms available to local government in NSW that allow it to secure affordable rental housing through the planning system. They are:

- Voluntary planning agreements (VPAs)
- Inclusionary zoning, through the use of State Environmental Planning Policy No. 70 (SEPP 70)

#### 3.2.1 Voluntary Planning Agreements (VPAs)

Council's Planning Agreements Policy 2018 sets out Council's policy and procedures relating to planning agreements under Section 7.4<sup>5</sup> of the Environmental Planning and Assessment Act 1979. The proportion of value sought through a VPA for the purposes of affordable rental housing is set out in Action 1 of this Affordable Rental Housing Policy 2018.

#### 3.2.2 Inclusionary Zoning under State Environmental Planning Policy No. 70 (SEPP 70)

Inclusionary zoning is a process that allows local governments to set a specific affordable housing contribution rate that applies to development within a designated area (e.g. a high growth precinct, suburb or local government area). In order for councils in NSW to apply inclusionary zoning, they must apply to the NSW Government to be included under State Environmental Planning Policy No. 70 (SEPP 70). Councils named in this SEPP are then subject to a process of feasibility assessment for any proposed affordable housing contribution rate, and concurrence by the NSW Government with any proposed contribution rate before they can amend their LEP to reflect the inclusionary zoning requirement and apply the contribution rate to future development.

## 4. Policy

### 4.1 Policy Actions

**Action 1. In the short term, continue to utilise Voluntary Planning Agreements (VPAs) to secure future affordable rental housing stock**

Council will seek affordable rental housing through VPAs as allowed for under Section 7.4 of the Environmental Planning and Assessment Act 1979.<sup>6</sup>

This Policy nominates that 10% of land value uplift in all areas outside the Parramatta CBD will be captured by Council for the purpose of providing affordable rental housing.

This policy position works in conjunction with the Planning Agreement Policy 2018. The Planning Agreement Policy 2018 states as follows:

<sup>5</sup> Previously, Section 93F of the Environmental Planning and Assessment Act 1979.

<sup>6</sup> Previously, this was known as Section 93F of the Environmental Planning and Assessment Act 1979.

Affordable Rental Housing Policy TRIM D06639941		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years



## CITY OF PARRAMATTA

*For proposed development and planning proposals outside the [Parramatta] CBD, Council's primary position is that satisfactory arrangements for the provision of community infrastructure will be taken to have been made when the value of the planning agreement contribution is equivalent to 50% of the land value uplift.*

And furthermore:

*When considering the value of a planning agreement contribution, Council will take into account all circumstances of the particular case, including:*

- (c) *Where applicable any requirement of Council's Affordable Rental Housing Policy to provide 10% of the uplift value as affordable housing units. This will be included in the overall 50% land value uplift requirement.*

The 10% value allocated for affordable housing will be sought in the form of affordable rental housing units dedicated to Council. Council will accept monetary contributions towards affordable rental housing as part of a VPA where the agreed value of the contribution is less than the value of a single unit, or where there is a need to provide an additional monetary payment on top of the dedication of the physical asset(s) to meet the agreed value of the contribution.

The affordable rental housing contribution on uplift value will only apply to sites within the City of Parramatta local government area that are outside the Parramatta CBD. The Parramatta CBD-specific infrastructure funding approach does not include affordable rental housing. Affordable rental housing has not been included because of the already significant scale of infrastructure required to support the Parramatta CBD.

Council will apply Action 1 in a given location until such time as it is able to establish an affordable rental housing contribution scheme under SEPP 70 as per Action 2. No location within City of Parramatta local government area will be subject to the application of Action 1 and Action 2 simultaneously.

**Action 2. Pursue Inclusionary Zoning by applying to the Department of Planning and Environment (DPE) for inclusion under SEPP 70 to enable Council to prepare an affordable rental housing contributions plan**

Council will actively seek to include the City of Parramatta LGA as a priority area for affordable rental housing under State Environmental Planning Policy No. 70 (SEPP 70) as outlined in 3.2.2 of this Policy. This SEPP is the mechanism through which Council can mandate a contribution to affordable rental housing from development. Once approved by the Department of Planning and Environment and subsequently included within the relevant Local Environment Plan, Council will no longer seek contributions to affordable rental housing through VPAs in areas where SEPP 70 applies.

In order to achieve inclusion in SEPP 70, Council will undertake the required feasibility assessment and apply to the NSW Government. If approved, Council will be required to prepare and publicly exhibit a planning proposal that will seek an amendment to the Local Environment

Affordable Rental Housing Policy TRIM D06639941		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years



## CITY OF PARRAMATTA

Plan amendment that would identify the rates of affordable rental housing contributions and where they would apply. Any such contribution rate would be based on a feasibility assessment in line with the requirements of the NSW Government.

### 4.3 Access and design outcomes for affordable rental housing dwellings

City of Parramatta Council's Disability Inclusion Action Plan 2017-2021 (DIAP) outlines Council's commitment to ensure that services, facilities and programs provided by City of Parramatta are accessible and inclusive. Affordable rental housing dwellings represent a type of infrastructure provided to address the social and economic impacts of poor housing affordability.

Council recognises that affordable rental housing stock must be accessible to all. Council also acknowledges that as the population ages, it is likely to see an older age cohort occupying affordable rental dwellings. This emphasises the need for all affordable rental dwellings to be universally accessible.

The allocation of affordable rental housing dwellings to be dedicated to Council, either through voluntary planning agreements or any other planning system mechanism, is to be undertaken in accordance with the following conditions:

- The make-up of dwelling sizes dedicated to Council as affordable rental housing must be proportionate to the dwelling sizes present in the overall development.
- Affordable rental housing dwellings to be dedicated to Council are subject to the same design requirements and controls as all other dwellings within a development site. This includes design outcomes and characteristics such as solar access, cross-ventilation and universal design.

## 5. Procedure

### 5.1 Measuring and reporting on the 2036 affordable rental housing target

This Policy sets a target of 9,500 affordable rental dwellings to be provided in City of Parramatta by 2036. This Policy acknowledges that Council is one of many contributors towards affordable rental housing provision. Progress towards this target will be assessed by measuring provision of affordable rental housing by Council as well as by the private sector through ARH SEPP 2009 and other government-subsidised housing programs, the community housing sector, and any other providers.

### 5.2 City of Parramatta's Affordable Housing Bank

The Affordable Housing Bank refers to the dwellings that Council has acquired that are owned and operated for the purposes of providing affordable rental housing.

City of Parramatta Council will appoint a Community Housing Provider (CHP) to manage all aspects of the operation of Council's Affordable Housing Bank in accordance with Council's Procurement Policy. The management of Council's Affordable Housing Bank will be undertaken

Affordable Rental Housing Policy TRIM D06639941		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years



## CITY OF PARRAMATTA

in accordance with this Policy and any relevant procedural documents developed to ensure that the policy objective is achieved through operation of Council's affordable rental housing assets.

### 5.3 Tenant eligibility for the Affordable Housing Bank

Dwellings in Council's Affordable Housing Bank will be tenanted by the CHP that Council contracts to manage them. Selection of tenants will be undertaken through an eligibility shortlisting process as agreed by Council. Details of eligibility criteria will be specified in procedural documents. In summary, the criteria will include:

- Income testing, being households that qualify as very low, low or moderate income households as defined in the *Environmental Planning and Assessment Act 1979*.
- Required evidence for eligibility including the following:
  - Proof of tenant's connection to the City of Parramatta LGA, for example must be either currently living or working in the LGA in the past two years prior to their application date;
  - Proof of tenant's employment within the City of Parramatta LGA, and ideally within a key worker role; and
  - Proof of tenant's Australian citizenship or permanent residency in Australia.

Eligibility criteria are designed to ensure that affordable rental housing is provided appropriately to address housing stress levels in City of Parramatta.

### 5.4 Implementation of Voluntary Planning Agreements (VPAs) to secure future affordable rental housing stock (Action 1)

Implementation of Action 1 of this Policy will be undertaken in accordance with Council's Planning Agreements Policy 2018.

Once Action 2 is achieved in a given location, a proportion of value will no longer be sought through voluntary planning agreements for purposes of affordable rental housing contribution. Any value captured through voluntary planning agreements following this will be allocated to other community infrastructure.

### 5.5 Pursuit of Inclusionary Zoning through application to Department of Planning and Environment (DPE) for inclusion under SEPP 70 (Action 2)

Council will work to achieve inclusion under State Environmental Planning Policy No. 70 (SEPP 70) in order to facilitate development of an affordable rental housing contributions scheme which will be used to ensure that affordable rental housing is delivered as City of Parramatta continues to grow.

Council will follow the process as specified by the NSW Government in seeking to implement inclusionary zoning, including economic feasibility assessment of the contribution rate to be applied on a precinct-by-precinct basis.

Affordable Rental Housing Policy TRIM D06639941		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years



# CITY OF PARRAMATTA

## 6. Definitions

<b>Term</b>	<b>Definition</b>
Affordable Housing Bank	Council's stock of affordable rental housing assets that it owns and has acquired through voluntary planning agreements or other mechanisms available to it now and in future.
Housing stress	A household is said to be in housing stress when it is paying more than 30% of its gross income on housing costs, and is also in the bottom 40% of national equivalised incomes.
Rental stress	The state of households who are paying more than 30% of their gross income on <u>rent</u> , and are also in the bottom 40% of national equivalised incomes.
Mortgage stress	The state of households who are paying more than 30% of their gross income on <u>mortgage payments</u> , and are also in the bottom 40% of national equivalised incomes.
Key Workers	Key workers are those workers who are employed in roles essential to the functioning of a city. While there is no universal definition of the term, key workers typically include police, fire fighters, teachers, childcare workers and other employee groups who undertake work considered essential for the day-to-day functioning of a city, and who are typically paid low to moderate salaries.

### Associated documents

<b>Document Title</b>	<b>TRIM Number</b>
Affordable Housing Policy 2009	POLICY298
Affordable Housing Discussion Paper 2017	D05069390
Socially Sustainable Parramatta Framework	D05766129
Disability Inclusion Action Plan 2017-2021	D05211459
Planning Agreements Policy ( <i>insert date once adopted</i> )	TBC

### History

<b>REFERENCES</b>	
<b>POLICIES</b>	
<b>ATTACHMENTS</b>	

<b>Affordable Rental Housing Policy TRIM D06639941</b>		
Owner: Manager Social Outcomes	Area: Social Outcomes	POL No:
Date of Commencement: 2019	Approval Authority: Council	Date Approved:
Amendment: 2	Date of Next Review: 2021	Review: 2 years

### Draft Affordable Rental Housing Policy 2024 - Summary of Proposed Changes

Differences between the Affordable Rental Housing Policy 2019 (Policy 298) and the draft Affordable Rental Housing Policy 2024 are summarised in the table below:

Type	Description	Reason
Update	The scope and purpose of the draft Affordable Rental Housing Policy 2024 has been narrowed to focus on the acquisition and management of Affordable Housing Dwellings owned by Council.	To focus the draft 2024 Policy on operational matters. Strategic matters relating to housing affordability and Affordable Rental Housing are addressed in the Affordable Housing Action Plan 2023-2025.
Update	<p>The draft Affordable Rental Housing Policy 2024 seeks to update Council's approach to managing its Affordable Rental Housing portfolio.</p> <p>The revised Policy adds new guidance pertaining to:</p> <ul style="list-style-type: none"> <li>• Council's ability to acquire and construct Affordable Rental Housing, subject to specific conditions;</li> <li>• The financial management of Council's Affordable Rental Housing portfolio; and</li> <li>• The prioritisation of tenants residing in Council's Affordable Rental Housing dwellings.</li> </ul> <p>The existing provisions related to accessibility and design, tenant eligibility, rent setting, and management of Council's Affordable Rental Housing dwellings have been retained.</p>	<p>To establish a transparent and consistent framework for Council to manage and acquire Affordable Rental Housing and address operational challenges relating to Affordable Rental Housing.</p> <p>To ensure compliance with current Council policies and legislative requirements.</p> <p>To ensure that the prioritisation of tenants residing in Council's Affordable Rental Housing dwellings reflects the current needs of the LGA and Council's strategic priorities.</p>
Update	Clause 3.9 and Schedule 1 in the draft Affordable Rental Housing Policy 2024 introduce a new methodology for determining Affordable Rental Housing contributions within Planning Agreements.	<p>The 2019 Policy supported negotiating the dedication of Affordable Rental Housing through Planning Agreements, but it used a methodology of 10% uplift value. This approach was impacted by DPE's Practice Note, which does not support value capture. As a result, we cannot use this methodology anymore.</p> <p>The draft 2024 Policy sets out a logical, transparent, and defensible way of calculating an Affordable Rental Housing contribution in Planning Agreements.</p>
Deletion	<p>Section 4.1 Action 2 (to pursue inclusionary zoning) and section 5.1 (Council's Affordable Rental Housing target) in the 2019 Policy are not included in the draft 2024 Policy.</p> <p>Section 4.1 Action 2 has been transferred from Affordable Rental Housing Policy to Council's Affordable Housing Action Plan 2023-2025. Section 5.1 will be incorporated in the Affordable Housing Action Plan 2023-2025 as part the mid-term (end of 2024) review.</p>	<p>To avoid duplication and maintain the distinct purpose of both documents.</p> <p>The draft 2024 Policy addresses operational matters relating to the acquisition and management of Affordable Rental Housing.</p> <p>The Affordable Housing Action Plan 2023-2025 establishes Council's strategic directions and actions relating to housing affordability and Affordable Rental Housing.</p>
Update	Updated phrasing.	To improve clarity, accuracy, and to ensure consistency with applicable Council and legal standards.

**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

---

<b>ITEM NUMBER</b>	13.6
<b>SUBJECT</b>	Extension of Interim Term for Parramatta Local Planning Panel Members
<b>REFERENCE</b>	F2024/00282 - D09361752
<b>REPORT OF</b>	Executive Director City Planning and Design
<b>CSP THEME:</b>	Accessible

**WORKSHOP/BRIEFING DATE:** 15 April 2024

**PURPOSE:**

To seek Council's approval to extend the appointment of the interim members and independent experts on the Parramatta Local Planning Panel, and delegate to the CEO the appointment of the next chair, alternate chair and independent expert members of the Panel should the Minister's recruitment pool not be provided to Council on or before 24 June 2024.

**RECOMMENDATION:**

- (a) That Council approve an extension for one month (from 1 - 30 June 2024) to the appointment of the interim Parramatta Local Planning Panel (LPP) members in the roles of chair/alternate chair and independent experts, who are currently appointed to 31 May 2024:
- a. Julie Walsh – Alternate Chair
  - b. Ian Armstrong – Independent Expert Member
  - c. Steve Driscoll – Independent Expert Member
  - d. Michael Evesson – Independent Expert Member
  - e. Simone Lotz – Independent Expert Member
  - f. Michael Mason – Independent Expert Member
  - g. Alison McCabe – Independent Expert Member
- (b) That Council delegate authority to the CEO to further extend the interim arrangements of the current members beyond 30 June 2024 as required or permitted by Ministerial Direction.
- (c) That should the Minister for Planning and Public Spaces approved recruitment pool not be provided to Council on or before 24 June 2024, Council authorises the CEO to appoint the new (three year) term chair, alternate chair and independent expert members of the Panel.

**BACKGROUND**Parramatta Local Planning Panel

1. On 14 June 2016, Council resolved to establish an Independent Hearing and Assessment Panel (IHAP) which began operation in August 2016. In late 2017 changes to the Environmental Planning and Assessment Act 1979 (EP&A Act) mandated all Sydney councils to have a Local Planning Panel (LPP) operate from

- 1 March 2018. The IHAP was replaced with the Local Planning Panel (LPP). The LPP exercises functions under the EP&A Act for the determination of certain Development Applications and reporting requirements for Planning Proposals.
2. The Parramatta Local Planning Panel meets once per month on the third Tuesday. The agenda and the minutes of each meeting are published on the City of Parramatta website.
  3. Under the EP&A Act, each LPP meeting is to comprise a chair, two independent expert members and a community member (who is not a councillor or council officer).
  4. Under the EP&A Act a person is not eligible to be a member of a LPP if the person is a councillor of any council, or a property developer within the meaning of section 53 of the Electoral Funding Act 2018 (this includes a person who is a close associate of a property developer).
  5. The Department of Planning, Housing and Infrastructure (the Department) is responsible for the recruitment and selection of pools (a pool for each council approved by the Minister for Planning and Public Spaces) of LPP chairs, alternate chairs, and independent experts, which then requires councils to select and nominate from the pool their chair, alternate chair(s) and independent experts. This can be done by each council's CEO/GM (if delegation is provided to them by their Council) or by a Council resolution.
  6. Under the EP&A Act, a member of the LPP can only be appointed for a period not exceeding three years and a member of the LPP can be a member of the LPP for up to six years in total.

#### Community Representatives

7. The recruitment, selection and appointment of community representatives is the responsibility of each council. On 11 December 2023, Council resolved to appoint 11 community representative members to the Parramatta LPP for the period 1 March 2024 to 28 February 2027 after concluding an Expression of Interest process.

#### Chair, Alternate Chairs & Independent Experts

8. On 11 December 2023, Council also resolved to reappoint members who remained eligible to perform their roles during the interim term, being 1 March 2024 to 31 May 2024.
9. On 22 January 2024 the Minister for Planning and Public Spaces issued a Ministerial Direction titled *Interim Appointment of Members* (Attachment 1). The objective of this direction is to extend the approval and appoint of current chair and expert members on LPPs for an interim period from 28 February 2024 to 30 June 2024. This is a month longer than that resolved by Council on 11 December 2023, being a period up to 31 May 2024.
10. The purpose of the Ministerial Direction is to ensure continuity of LPPs whilst the Department recruits the pools of members for the next 3-year term. The current interim panel for Parramatta is:

<b>Panel Member</b>	<b>Position</b>
Julie Walsh	Alternate Chair
Ian Armstrong	Independent Expert Member
Steve Driscoll	Independent Expert Member
Michael Evesson	Independent Expert Member
Simone Lotz	Independent Expert Member
Michael Mason	Independent Expert Member
Alison McCabe	Independent Expert Member

### **ISSUES/OPTIONS/CONSEQUENCES**

11. The Department has advised that it now anticipates completion of recruitment and establishment of the pools of LPP chair and expert members by late May/early June 2024, being later than initially expected at the time of preparation of the Council report of 11 December 2023.
12. The recruitment pool would need to be provided to Council, by the Department, on or before 24 June 2024 to allow sufficient time for staff to consider the recruitment pool and prepare a Council report (likely to be a late report) recommending appointments of a chair, alternate chair and expert members to Council's meeting on 8 July 2024. A report will be required at this meeting to ensure sufficient time to advise the new members and make the necessary arrangements for the LPP meeting in July (scheduled for 23 July 2024).
13. To manage the risk set out above, it is recommended that delegation be given to the CEO for appointment of the chair, alternate chair and expert members of the next 3-year term of Parramatta LPP if the recruitment pool is not provided to Council on or before 24 June 2024. This will ensure the continuous operation of the LPP in July and beyond (should an extension of interim arrangements not be permitted by the Department to enable to seek a Council resolution).
14. While it is expected that the Department will finalise the recruitment pool of chair and expert members no later than 30 June, there remains a risk that this may be delayed further. Under such circumstances it would be expected that interim appointments would again need to be extended by Ministerial Direction.
15. Mindful of the potential for this circumstance to arise, it is recommended that delegation also be given to the CEO to authorise any such extensions to interim arrangements beyond 30 June 2024. This is to ensure the LPP can continue to operate without interruption which would likely arise given lead in times for Council reports.
16. This recommendation is consistent with the Ministerial Direction of 22 January 2024 which allows for interim appointments up to and including 30 June 2024. It is

not possible to extend interim arrangements beyond 30 June 2024 at this time as the Ministerial Direction explicitly states that the interim arrangement period is until 30 June 2024.

## CONSULTATION & TIMING

### Councillor Consultation

17. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
15 April 2024	Standard briefing session prior to Council meeting	Report finalised prior to briefing session	Report finalised prior to briefing session	Executive Director City Planning & Design

## LEGAL IMPLICATIONS FOR COUNCIL

18. Should Council not extend the appointments period by one month it will not have a LPP operating in June 2024 and possibly beyond.

19. Should the Department not provide or allow for an extension of interim arrangements as it has released the recruitment pool, and should this recruitment pool be after 24 June 2024, it is recommended that the CEO be provided the delegation to appoint a 3-year term panel to ensure the LPP can operate in July (and beyond). This contingency is recommended notwithstanding the Department advising that the recruitment pool is likely to be provided by early June.

20. The Environmental Planning and Assessment (EP&A) Act requires councils to have an operating LPP. Should Council not have the appropriate resolutions and delegations in place to ensure an operating LPP, Council would not be able to exercise its functions under the EP&A Act for the determination of development applications and reporting requirements for planning proposals.

## FINANCIAL IMPLICATIONS FOR COUNCIL

21. The remuneration for panel members is determined by the State Government. The Ministerial Direction of 23 February 2018 sets out the applicable rates.

22. The total cost of the Parramatta LPP is dependent on the exact number of panel meetings held each year. This amount ranges between \$120,000 to \$136,000 per year. The cost associated with the operation of the Panel is allocated on an annual basis in Council's budget.

Jennifer Concato

**Executive Director City Planning and Design**

John Angilley

**Executive Director Finance & Information**

Gail Connolly

**Chief Executive Officer**

**ATTACHMENTS:**

1 Ministerial Direction dated 22 January 2024 (separately enclosed) 2 Pages



**REFERENCE MATERIAL**

## REPORTS TO COUNCIL - FOR COUNCIL DECISION

---

<b>ITEM NUMBER</b>	13.7
<b>SUBJECT</b>	Adoption of Parramatta City Centre Local Infrastructure Contributions Plan 2022 (Amendment No. 2)
<b>REFERENCE</b>	F2024/00282 - D09286099
<b>REPORT OF</b>	Senior Project Officer

**CSP THEME:** INNOVATIVE

**WORKSHOP/BRIEFING DATE:** 15 April 2024

### PURPOSE:

The purpose of this report is to advise Council of the outcomes of the public exhibition of *Draft Parramatta City Centre Local Infrastructure Contributions Plan 2022 (Amendment No. 2)* and to seek Council adoption of the final Plan.

### RECOMMENDATION

- (a) That Council notes the submissions made during the public exhibition of the *Parramatta City Centre Local Infrastructure Contributions Plan (Amendment No. 2)* and the officer responses provided at **Attachment 1**.
- (b) That Council adopts the *Parramatta City Centre Local Infrastructure Contributions Plan (Amendment No. 2)* provided at **Attachment 2**.
- (c) That Council authorises the Chief Executive Officer to make any minor amendments and corrections of a non-policy and administrative nature that may arise during finalisation of *Parramatta City Centre Local Infrastructure Contributions Plan (Amendment No 2)*.
- (d) That a copy of the amended Plan be published on the NSW Planning Portal and Council's website.
- (e) That the submitters be notified of Council's decision.

### BACKGROUND

1. The Parramatta City Centre Local Infrastructure Contributions Plan 2022 (the Plan) is a key funding mechanism to enable delivery of local infrastructure within the Parramatta City Centre. The Plan was approved by Council on 14 June 2022. The Contributions Plan came into effect on 14 October 2022, at the same time as the commencement of Amendment 56 to Parramatta Local Environmental Plan 2011.
2. The Plan enables Council to levy monetary contributions via development application and complying development certificate conditions of consent, with the funds collected used to deliver items specified in the Works Schedule to the Plan.
3. Amendment 1 to the Plan came into effect on 30 June 2023, to reflect an amendment to the Parramatta CBD planning controls within the block bound by Phillip Street, Smith Street, the Parramatta River and Charles Street.

Amendment No.1 matched the contributions for that block to other nominated areas of the CBD.

4. In relation to proposed Amendment No. 2, Council at its meeting of 4 December 2023, considered a report to publicly exhibit the draft amended Plan to enable the following changes:
- (a) bring forward the timing of payment of the contribution to Council from prior to the issue of an occupation certificate, to prior to the issue of a construction certificate whilst providing a clause which allows Council (at its sole discretion) to consider the deferral of contribution payments, subject to strict guidance and provision of appropriate security.
  - (b) strengthen controls relating to the obligations of certifiers, including to make clear that Council (not the certifier) will determine the cost of development and contribution applicable for any development approved (including complying development certificates).
  - (c) include notations that discounts to contributions will not be applied and that credits will not be made for existing development.
  - (d) include a definition relating to affordable housing and social housing exemptions within the Plan.
  - (e) make minor administrative changes to the Plan to better align with language outlined within the Environmental Planning and Assessment Act and Regulation, fix minor typographical errors, include reference to relevant Ministerial Directions, include a Plan amendment table, and update the referenced options for payment of development contributions.
5. Council resolved, at its meeting of 4 December 2023, the following in relation to this matter:

- (a) *That Council endorse the Draft Parramatta City Centre Local Infrastructure Contributions Plan 2022 (Amendment No. 2) provided at Attachment 1 for public exhibition, inclusive of the following amendment to clause 2.4 (deferred and periodic payments), now to provide:*

*“2.4 Deferred payment of contributions*

*Deferred payment of contributions will not be permitted, except (at Council’s absolute discretion) where the applicant can demonstrate significant financial hardship and/or other extenuating circumstances which warrant that deferral.*

*Where a deferred payment is permitted by Council, 50% of the required contribution will be required to be paid prior to the issue of a construction certificate (or complying development certificate or subdivision certificate where relevant). The remaining 50% must be paid prior to the issue of an occupation certificate (interim or final) or as otherwise determined by Council.*

*Prior to the issue of a construction certificate (or complying development certificate or subdivision certificate where relevant), Council will require*

*the applicant to provide a bank guarantee to Council's satisfaction for the outstanding balance of the contribution. The outstanding balance will continue to be indexed quarterly in accordance with movements in the Sydney All Groups Consumer Price Index as published by the Australian Bureau of Statistics."*

- (b) *That the draft Plan be publicly exhibited for a minimum of 28 days commencing in late January 2024.*
  - (c) *That the outcomes of the public exhibition be reported to Council.*
  - (d) *Further, that Council delegate authority to the Chief Executive Officer to correct any minor anomalies of a non-policy and administrative nature that may arise during the plan making process.*
6. The proposed amendment will not apply to existing development applications already lodged as it will only apply to new applications lodged after the amendment takes effect, being when it is published on the NSW Planning Portal. For any modifications of development consent, the Plan in place at the time of the original determination will continue to apply.

## **PUBLIC EXHIBITION**

7. The Amendment was publicly exhibited for a minimum 28 days (in accordance with statutory requirements) from 29 January to 1 March 2024. The exhibition material was displayed electronically on Council's "Participate Parramatta" page, along with relevant social media notification. Hard copies were also provided at the Parramatta City Centre Library (Phive) and Council's Administration Building.
8. A total of seven (7) submissions were received during the exhibition period, where five (5) submissions were received using the online submission form and two (2) submission were received via email.
9. Of the submissions received: two (2) supported the proposed amendment; one (1) from the Sydney Olympic Park Authority noted the exhibition but provided no further comment; one (1) from the Urban Taskforce Australia organisation did not support the proposed amendment; and the remaining three (3) submissions raised matters that are unrelated to the Plan amendment itself. For example, one customer was simply trying to pay development contributions and accidentally filled out the survey.
10. Discussion of the submissions is provided below and also addressed in more detail at **Attachment 2**.

### Bringing forward timing of payment from OC to CC

11. One (1) submission from the Urban Taskforce Australia raised concern in relation to the proposed amendment to bring forward the timing of payment of development contributions from prior to the issue of an occupation certificate (OC) to prior to the issue of a construction certificate (CC).
12. The submission outlined concerns of the current national housing crisis and states that Council policies should not impede the delivery of new housing. The

submission highlights the current financial viability constraints of development given rising construction costs, high interest rates and construction company bankruptcies and suggests that banks are increasingly unwilling to increase loans to cover development contributions, therefore requiring developers to seek finance from secondary or non-bank lenders at higher interest rates.

13. The submission suggests that the development contribution payment should remain at the OC stage as this will have less impact upon developer cashflows as settlements are due at OC stage and any bridging finance required to pay the development contribution can be sought at a low cost for only a short time.
14. The submission recognises Council's desire to realise income at an earlier stage but suggests that *this prospect needs to be countered by the risk of developments not proceeding at all and therefore Council receiving significantly less income from developer contributions and exacerbating the housing supply crisis.*

#### Justification for bringing forward timing of payment from OC to CC

15. As detailed in the original report to Council the reason for requiring the payments at the CC stage is to enable Council to provide the community with appropriate infrastructure in more timely manner. Delaying the payment to the OC stage results in a lag time between when increased population arrives and the delivery of new infrastructure, which in itself can take Council a number of years to program, fund and complete.
16. Council is also subject to increased construction costs relating to infrastructure delivery and therefore further delays in receipt of payment is also likely to drive an increase in Council's own costs to pay for this infrastructure.
17. Furthermore, requiring the payment at the CC stage enables any non-compliance matters to be rectified by the developer and certifier during the construction process. Council has greater ability to enforce non-compliances during the construction process as the developer is still involved - as opposed to post occupation certificate matters where the developer may have sold the development onto individual owners, or a strata body is in control (for example in the case of a residential flat building).

Similarly, in the case where a developer may enter into administration during the construction process it may be harder for Council to seek final contribution payments if it is not a secured creditor as previously outlined above.

18. Additionally, the amendment to the timing of payment provides consistency with the State Government's own Housing and Productivity Contribution (HPC) which is also required to be paid prior to the issue of a CC, as outlined in Section 20 (1) of the Environmental Planning and Assessment (Housing and Productivity Contribution) Order 2023.
19. Council's existing contribution plan relating to the remainder of the LGA (excluding the CBD) known as the City of Parramatta Outside CBD Local Infrastructure Contributions Plan, requires contributions payment prior to the issue of a CC. This amendment would ensure consistency for development contribution payment timing obligations across the LGA.

20. A deferred payment of contributions clause has been provided in the draft plan allowing developers/applicants that are experiencing hardship or other extenuating circumstances to defer payment of up to 50% prior to OC (interim or final) as determined by Council.
21. Therefore, to ensure that Council's collection of contributions and subsequent delivery of infrastructure is not unduly delayed; to reduce Council's risk associated with Developers going into administration; to improve Council's ability to regulate non-compliances; and to ensure consistency with Council's Outside CBD Contributions Plan and the NSW Government's HPC, it is recommended that Council does not modify the draft Plan as exhibited and endorses the amendment to the Plan to require the timing of contributions payment to prior to the issue of a Construction Certificate.

#### Other matters unrelated to the proposed amendment

##### Car Share

22. One submitter (Go Get) supported the proposal in principle, but also suggested that car share spaces should be considered as an alternative to development contributions on the grounds that car sharing has public benefits such as reduced traffic and emissions, affordable housing, improved mobility and accessibility, efficient land use and economic benefits.
23. Whilst the recommendations in the submission are noted, the Plan's work program does not include car share spaces. Car share spaces are already required to be provided in certain development in the Parramatta CBD in accordance with Parramatta Development Control Plan 2023 and should not be provided in lieu of development contribution payment. No further changes to the Plan are recommended on the basis of this submission.

##### Traffic

24. One (1) submission raised concerns about the traffic in Parramatta and the need for expenditure to improve traffic. This matter is unrelated to the current amendments to the Plan as such no further changes to the Plan are recommended on the basis of this submission. The Plan's work program contains traffic improvement projects to support the growth of the city.

##### Work Program

25. One (1) submission raised concern with the value and nature of some of the work items in the Contribution Plan and suggested that many of these items were not required. This matter is unrelated to the current amendments to the Plan as such no further changes to the Plan are recommended on the basis of this submission.
26. Council's typically review contribution plan work programs every five (5) years. As the Plan only took effect in October 2022 a review of the work program would be due in 2027. Current resources are focused on reviewing the works program of Council's Outside CBD Contributions Plan.

## CONSULTATION & TIMING

### Stakeholder Consultation

27. The following stakeholder consultation has been undertaken in relation to this matter:

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
29 January to 1 March 2024 (public exhibition)	General Public	Please refer to Attachment 1	See Attachment 1	Group Manager Infrastructure Planning and Design

### Councillor Consultation

28. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
27 November 2023	Briefing - all Councillors invited	Incorporate in the marked-up plan new provisions for deferred payment of contributions only permitted in extenuating circumstances.	Actioned and included in the resolution of the Council on 4 December 2023	Group Manager Infrastructure Planning and Design
15 April 2024	Briefing - all Councillors invited	Report finalised prior to meeting	Report finalised prior to meeting	Group Manager Infrastructure Planning and Design

## LEGAL IMPLICATIONS FOR COUNCIL

29. Section 215 of the *Environmental Planning and Assessment Regulation 2021* allows for Council to amend or repeal a contributions plan. This Housekeeping Amendment (which if endorsed, will be finalised as Amendment No. 2 to the Plan) complies with Council's statutory requirements under the EP&A Regulation.

## FINANCIAL IMPLICATIONS FOR COUNCIL

30. If Council resolves to approve this report in accordance with the recommendation, there are no unbudgeted financial implications for Council's budget.

31. The draft Plan itself does not result in any changes to approved expenditure, it will only change the potential timing of receipt of future income. The cost of publicly exhibiting the Plan has been funded from the City Planning and Design budget.

Priya Uppal  
**Senior Project Officer**

Diane Galea  
**Team Leader Infrastructure Planning**

Anthony Newland  
**Group Manager Infrastructure Planning & Design**

Jennifer Concato  
**Executive Director City Planning and Design**

John Angilley  
**Executive Director Finance & Information**

Gail Connolly  
**Chief Executive Officer**

**ATTACHMENTS:**

<a href="#">1</a> 	Attachment 1- Detailed Response to Submissions	5
		Pages
<a href="#">2</a> 	Attachment 2 - Final Draft for Council adoption - Parramatta City	49
	Centre Local Infrastructure Contributions Plan 2022 (Amendment No.2)	Pages

**REFERENCE MATERIAL**

# PARRAMATTA CITY CENTRE LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN (AMENDMENT NO 2)

Summary of Submissions

April 2024

# CONTENTS

1. Executive Summary.....	1
2. On-line form submissions.....	2
3. E-mail submissions .....	4

# 1. Executive Summary

This document sets out matters raised in submissions to the exhibition of the draft Parramatta City Centre Local Infrastructure Contributions Plan 2022 (Amendment No 2) (the "Contributions Plan") between 29 January and 1 March 2024; and the Council officer's response to the matters raised in the submission.

Submissions in this document are set out based on method of receipt, being:

- on-line form submissions lodged through the Participate Parramatta portal, with 5 submissions received (Section 2);
- 2 submissions received by e-mail (Section 3); or
- other method such as mail, with no submissions received (Section 4).

In summary, the sentiment of submissions received are set in the following table:

Sentiment	# Submissions
Support	2
Not Decided	2
Do not support	3

Table 1 - Sentiment of submissions received

Of the submissions received, none of the matters raised have resulted in recommendations to amend the contributions plan as exhibited.

## 2. On-line form submissions

This section sets out on-line form submissions received through the Participate Parramatta portal.

A total of 5 submissions were lodged through this service.

Submission No	Summary of submission	Council officer response
01	<b>Do not support</b> – Submitter questions why there is a wish list of massive expenditure in the contributions plan when there should be cheaper options. Things like bike lane expenditure is not required when cyclists can utilise the road.	The matters raised in this submission are beyond the scope for the contributions plan amendment to consider. Expenditure and revenue will form part of a broader review at a later stage. Council will look at matters such as a review of the works program at a later stage.  No amendment to the draft contributions plan is recommended from this submission.
02	<b>Support</b> – No explanation provided	Support noted.  No amendment to the draft contributions plan is recommended from this submission.
03	<b>Not decided</b> - Submitter was simply paying a Section 7.11 development contribution fees, got confused and filled out the survey.	Noted  No amendment to the draft contributions plan is recommended from this submission.
04	<b>Do not support</b> – Submitter does not support the notion to bring forward the payment of developer contributions from the time of issuing of the OC to payment being required at issue of CC. This should not be done while there is a national housing supply crisis.  Council is not recognising the circumstances of developer finances. Cashflow is at its lowest point at CC stage.	Even though council understands cashflow issues with developers, it is required to prevent a lag of funding to provide infrastructure. Council needs to be able to provide the community with appropriate infrastructure in a timely manner.  Also, the amendment to provisions provides consistency with state and local contribution plans which require payment at the Construction Certificate stage.

Submission No	Summary of submission	Council officer response
	<p>Development should go to OC stage for full settlements for the built product.</p>	<p>The officers report canvasses this submission in detail. No amendment to the draft contributions plan is recommended from this submission.</p>
05	<p><b>Support</b> – Submitter supports the amendment but suggests that car share spaces should be considered as an alternative to monetary contributions from developers. Car sharing can have multiple benefits such as reduced traffic and emissions, affordable housing, improved mobility and accessibility, efficient land use and economic benefits.</p> <p>Car sharing as an alternative to monetary contributions will also provide developer flexibility, community driven infrastructure and transparency.</p>	<p>The matters raised in this submission are beyond the scope for the contributions plan amendment to consider. Car parking might form part of a broader review at a later stage.</p> <p>No amendment to the draft contributions plan is recommended from this submission.</p>

### 3. E-mail submissions

This section sets out submissions received by e-mail.

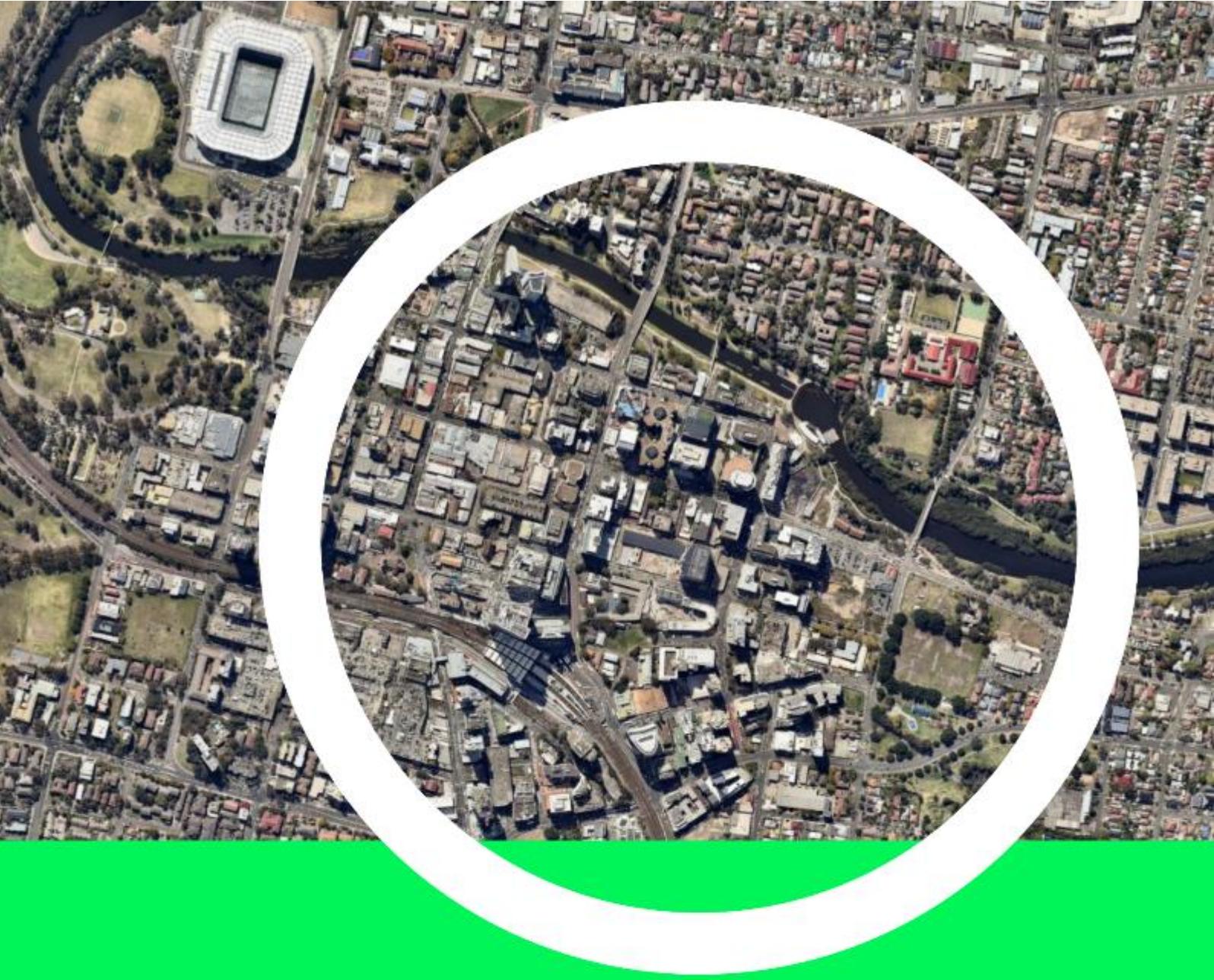
A total of 1 submission was lodged by e-mail.

Submission No	Summary of submission	Council officer response
01	<b>Do not support</b> – Submitter makes a comment that there is too much traffic already in the Parramatta area. We should take inner city or Sydney City as examples and provide adequate infrastructure for roads.	<p>The contribution plan amendment does not change or amend the provision of infrastructure in the works program. The matters raised in this submission are beyond the scope for the contributions plan amendment to consider. Council will look at matters such as a review of the works program at a later stage. Such issues will be addressed as part of a broader review undertaken every five years.</p> <p>No amendment to the draft contributions plan is recommended from this submission.</p>
02	<b>No comment on the specific amendments</b> – Submitter makes no comment on specific amendments however would like to discuss the draft Sydney Olympic Park Master Plan 2050, relating to facilities in close proximity to the Wentworth Point and Carter precincts with the relevant officer.	<p>Noted. This will form part of a separate discussion with SOPA.</p> <p><b>No amendment to the draft contributions plan is recommended from this submission.</b></p>

## 4. Other submissions

This section sets out submissions received by other methods, such as mailed to Council.

A total of 0 submissions were lodged by other methods.



# Draft Parramatta City Centre Local Infrastructure Contributions Plan 2022

Amendment No. 2

(April 2024)



**CITY OF  
PARRAMATTA**

---

Plan Version	Plan Name	Effective Date	Relationship to other Plans
0	Parramatta City Centre Local Infrastructure Contributions Plan 2022	14 October 2022	Replaces Parramatta CBD Development Contributions Plan 2007 (Amendment No. 5)
1	Parramatta City Centre Local Infrastructure Contributions Plan 2022 – Amendment No. 1	30 June 2023	Replaces Parramatta City Centre Local Infrastructure Contributions Plan 2022
2	Parramatta City Centre Local Infrastructure Contributions Plan 2022 – Amendment No. 2	22 April 2024	<b>Replaces Parramatta City Centre Local Infrastructure Contributions Plan 2022 – Amendment No.1</b>

# Contents

<b>1. Background</b>	<b>1</b>
1.1 Purpose of this plan	1
1.2 Where this plan applies	1
1.3 Development this plan applies to	2
1.4 Administration	2
<b>2. How to use this plan</b>	<b>5</b>
2.1 Calculating the contribution	5
2.2 Imposing the contribution	8
2.3 Paying the contribution	8
2.4 Accredited certifier obligations	10
2.5 Alternatives to monetary contributions	10
Appendix A: Anticipated development	13
Appendix B: Infrastructure strategies	16
Appendix C: Works schedule	24
Appendix D: Works maps	44

Version	Document Control
1	Draft Reported to Council December 2023 for public exhibition

## Executive summary

This plan authorises the City of Parramatta Council ('Council') to collect contributions of money, land, or both from development to provide for local infrastructure needed by the

relevant development. The plan describes where a contribution is required, what development it applies to, how to calculate the contribution and how to pay the contribution. The key steps applicants need to follow in using this plan are summarised below and at Figure 1.

### Demand for local infrastructure

This plan forms part of Council's consolidated Parramatta City Centre Planning Framework to facilitate and strengthen Parramatta City Centre's position as one of the three metropolitan and strategic centres in Greater Sydney. This plan is a key part of Council's strategy to facilitate the funding for infrastructure that will service the demand created by an estimated additional 43,300 jobs and 11,900 dwellings within the Parramatta City Centre over the next 40 years.

### Where this plan applies

This plan applies to land within the Parramatta City Centre as shown in Figure 2.

### Development this plan applies to

This plan applies to development that needs consent, including complying development with a development cost of \$250,000 or more. Certain development specified in Section 1.4 is excluded from the need to pay a contribution under this plan. This includes development listed in this plan's works schedule, undertaken by or on behalf of Council, such as the new City Centre aquatic centre and works at Parramatta Square.

### Calculating the contribution

Council will determine the contribution payable for a development in accordance with this plan.

The contribution is calculated as follows:

Development	Percentage Rate for land in "Area A" on Figure 2	Percentage Rate for all other land
Residential Accommodation where the total development cost is over \$250,000	3%	5%
Mixed-Use development (development including residential accommodation and other land uses) where the total development cost is over \$250,000	3%	5%
Other development (excluding residential accommodation) where the total development cost is over \$250,000	3%	4%

Any development where the development cost is \$250,000 or less	Nil	Nil
---	-----	-----

If the development cost (calculated in accordance with Section 2.1) is over \$200,000, applicants must provide a completed Cost Summary Report with their development application or complying development certificate. This can be downloaded from the **development contributions section of the Council's website**. Council will use this to determine the development cost and associated contribution required, if any.

The \$200,000 threshold at which the form needs to be completed is slightly less than the \$250,000 threshold at which a contribution is required. This is so the consent authority can verify if the development cost is more or less than \$250,000.

### Requiring the contribution

If a contribution is payable, Council will include a condition in the development consent or, in the case of complying development, the registered certifier issuing the complying development certificate must include a condition requiring the payment of a monetary contribution in accordance with this plan

Council will index the contribution payable for inflation at the time of payment using quarterly updates to the Consumer Price Index (All Groups Index) for Sydney.

### Paying the contribution

In the case of a development application, the condition of consent requiring the contribution will require the contribution to be paid prior to the issue of a construction certificate. In the case of a complying development certificate the contribution must be paid before the work authorised by the certificate commences. Payments cannot be deferred beyond this.

Applicants can pay their contribution online or in person at Council's Customer Service centre, by bank cheque and credit card. Applicants can also pay over the phone by calling 9806 5050.

For online payments, applicants should contact Council's Customer Service Line on 1300 617 058 to obtain a six-digit application key.

Payment can then be made using Council's online services portal on the Council's website.

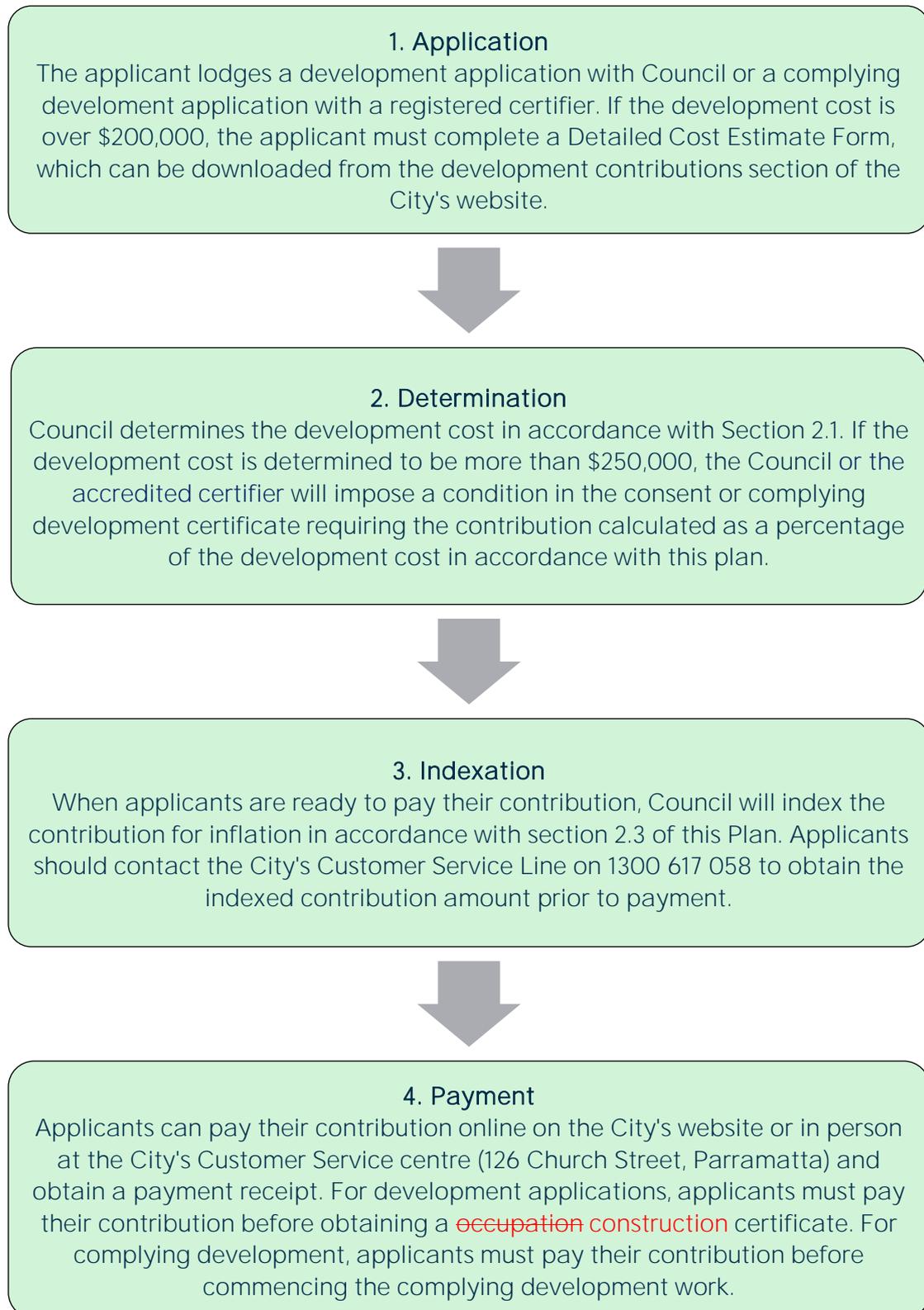
### Complying development

Registered<sup>1</sup> certifiers are responsible for ensuring that a condition is imposed on a complying development certificate in accordance with section 4.28(9) of the *Environmental Planning and Assessment Act 1979* and section 156 *Environmental Planning and Assessment Regulation 2021*. They must notify Council of their determination within two (2) days of

<sup>1</sup> The use of the term "registered certifier" also refers to "accredited certifier", "certifier" or the like as referenced in the *Environmental Planning and Assessment Act 1979* and *Environmental Planning and Assessment Regulation 2021*.

making the determination, in accordance with section 141(4) of the *Environmental Planning and Assessment Regulation 2021*. Applicants must pay their contribution before the work authorised by the complying development certificate commences..

Figure 1: Key steps in determining and paying the contribution under this Plan





# 1. Background

This section describes the plan's purpose, where it applies and the development it applies to. It also outlines how Council will use the contributions.

## 1.1 Purpose of this plan

This plan is called the Parramatta City Centre Local Infrastructure Contributions Plan 2022 (Amendment No 2). It commenced on (insert new date) This plan enables Council to collect contributions from development towards infrastructure needed by the people that will live and work in the development.

Parramatta City Centre is currently undergoing a significant transformation. Strategically located within Sydney's Central City and near the geographic centre of metropolitan Sydney, Parramatta City Centre performs key economic, social, and cultural roles, particularly for Western Sydney, which is home to nearly half of Sydney's population. The importance of the Parramatta City Centre will increase as Western Sydney's population grows, and transport improvements connect people faster to the Parramatta City Centre.

The significance of the Parramatta City Centre has been recognised in the State Government's strategic planning framework. The importance of Parramatta City Centre economic function in providing necessary housing, employment, recreation, and cultural opportunities continues to be strengthened by its recognition as the heart of 'Central City' in the Greater Sydney Region Plan.

Since 2013 Council has been engaged in a process to deliver a new planning framework to facilitate and strengthen the Parramatta City Centre's growth. This plan is a key element of the Parramatta City Centre planning framework.

The framework will facilitate the delivery of an estimated additional 43,300 jobs and 11,900 dwellings within the Parramatta City Centre over the next 40 years. In doing so the framework also delivers on key economic, social, and cultural objectives for Western Sydney which is home to over half of Sydney's population.

The incoming resident and worker population of Parramatta City Centre will require a level of infrastructure that corresponds both to the scale of growth, and to the strategic importance of Parramatta City Centre as a metropolitan hub within the centre of the Greater Sydney Region. This plan is a major component of Council's strategy to fund the local infrastructure required to support growth in the Parramatta City Centre.

## 1.2 Where this plan applies

This plan applies to land in the Parramatta City Centre as shown in **Figure 2** outlined in blue. Applicants undertaking development outside of this area to which this plan applies should refer to the development contributions section of Council's website to determine the applicable development contributions plan.

### 1.3 Development this plan applies to

This plan applies to development applications and complying development certificates that are located on land to which this plan applies as shown in **Figure 2**; have a development cost of more than \$250,000; and are not excluded as described below.

#### Development that is excluded

The following development is excluded from the need to pay a development contribution under this plan:

- Development undertaken by or on behalf of Council, including (but not limited to) works listed in the works schedule in Appendix D of this plan
- Development with a development cost of less than \$250,000. Depending on the development cost, applicants must prepare and submit a Cost Summary Report or Quantity Surveyors Report in accordance with section 2.1
- Development excluded from Section 7.12 contributions by a Ministerial direction under section 7.17 of the *Environmental Planning and Assessment Act 1979*
- Affordable housing and social housing where this is delivered by or on behalf of a social housing provider or public authority. If the development is mixed use, only the affordable housing/social housing component will be excluded in the calculation of a development contribution. **Affordable housing as defined in the *Environmental Planning and Assessment Act 1979***. Social housing provider as defined by the *State Environmental Planning Policy (Housing) 2021*.

### 1.4 Administration

#### Relationship to previous plans

This plan amends the Parramatta City Centre Local Infrastructure Contributions Plan 2022 - Amendment No. 1 (the Predecessor Plan) that came into effect on 30 June 2023. This Plan, known as Parramatta City Centre Local Infrastructure Contributions Plan 2022 Amendment No. 2 came into effect on insert new date.

This plan does not affect any conditions of consent referring to the Predecessor Plan or any earlier Plans.

#### Transitional arrangements

This plan applies to any application lodged on or after the plan's commencement date, being insert new date.

#### Use of contributions

The City of Parramatta will allocate contributions received under this plan to infrastructure projects listed in the works schedule in **Appendix C**. Priorities for allocating contributions and delivering the works is as per the works schedule.

#### Pooling of funds

This plan authorises monetary contributions paid for different purposes in accordance with development consent conditions authorised by this plan and any other contributions plan approved by the Council to be pooled and applied progressively for those purposes.

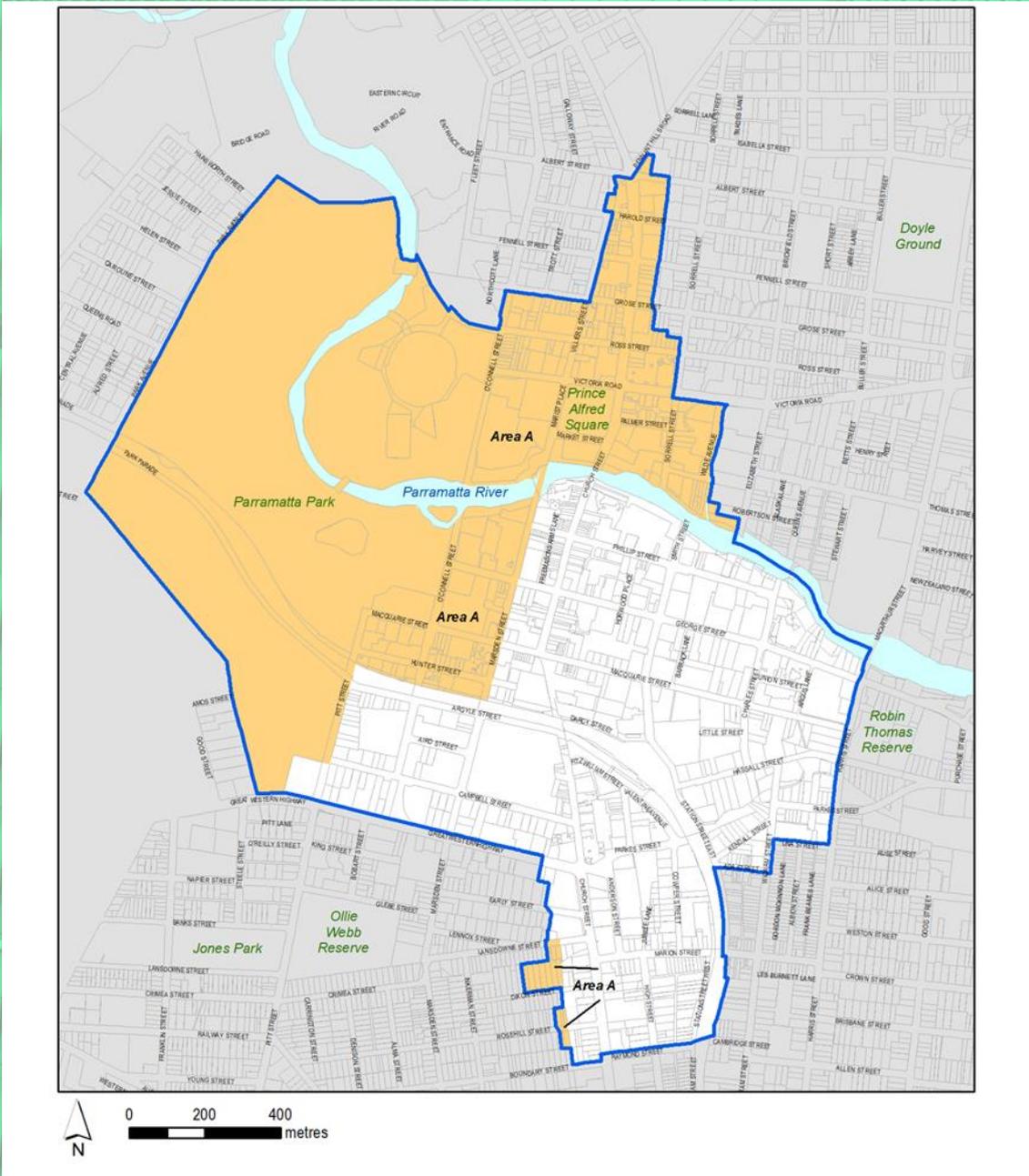
The priorities for the expenditure of pooled monetary contributions under this Plan is the timing of infrastructure provision as set out in the works schedule of this plan in **Appendix C**.

Any monies that were paid and required to be paid under the 2007 Predecessor Plan may be pooled with contributions under this plan and applied to the works schedule in this plan.

#### **Review of this plan**

Council will review this plan at least every five years to ensure it addresses community needs, responds to changes in development conditions and reflects Council priorities and relevant legislation.

**Figure 2: Land to which this plan applies and the application of s7.12 percentage rate levies under this plan (refer Section 2.1)**





## 2. How to use this plan

This section describes how to calculate and pay the contribution. This includes how to index the contribution and when it needs to be paid. It also outlines Council's policy where developers offer 'works in kind' instead of a monetary contribution.

### 2.1 Calculating the contribution

Council will calculate the contribution as follows:

Development	Percentage Rate for land in "Area A" on Figure 2	Percentage Rate for all other land
Residential Accommodation where the total development cost is over \$250,000	3%	5%
Mixed-Use development (development including residential accommodation and other land uses) where the total development cost is over \$250,000 <sup>1</sup>	3%	5%
Other development (excluding residential accommodation) where the total development cost is over \$250,000	3%	4%
Any development where the development cost is \$250,000 or less	Nil	Nil

### Calculating the cost of development

Section 7.12 contributions are calculated as a percentage of the cost of development. Section 208 of the EP&A Regulation 2021 sets out how the proposed cost of carrying out development is determined. An extract of this section, as it existed at the time this plan was made, is shown below for reference purposes.

#### **208 Determination of proposed cost of development—the Act, s 7.12(5)(a)**

- (1) *The proposed cost of carrying out development must be determined by the consent authority by adding up all the costs and expenses that have been or will be incurred by the applicant in carrying out the development.*
- (2) *The costs of carrying out development include the costs of, and costs incidental to, the following—*
  - (a) *if the development involves the erection of a building or the carrying out of engineering or construction work—*

- (i) *erecting the building or carrying out the work, and*
  - (ii) *demolition, excavation and site preparation, decontamination or remediation,*
- (b) *if the development involves a change of use of land—doing anything necessary to enable the use of the land to be changed,*
- (c) *if the development involves the subdivision of land—preparing, executing and registering—*
  - (i) *the plan of subdivision, and*
  - (ii) *the related covenants, easements or other rights.*
- (3) *In determining the proposed cost, a consent authority may consider an estimate of the proposed cost that is prepared by a person, or a person of a class, approved by the consent authority to provide the estimate.*
- (4) *The following costs and expenses must not be included in an estimate or determination of the proposed cost—*
  - (a) *the cost of the land on which the development will be carried out,*
  - (b) *the costs of repairs to a building or works on the land that will be kept in connection with the development,*
  - (c) *the costs associated with marketing or financing the development, including interest on loans,*
  - (d) *the costs associated with legal work carried out, or to be carried out, in connection with the development,*
  - (e) *project management costs associated with the development,*
  - (f) *the cost of building insurance for the development,*
  - (g) *the costs of fittings and furnishings, including refitting or refurbishing, associated with the development, except if the development involves an enlargement, expansion or intensification of a current use of land,*
  - (h) *the costs of commercial stock inventory,*
  - (i) *the taxes, levies or charges, excluding GST, paid or payable in connection with the development by or under a law,*
  - (j) *the costs of enabling access by people with disability to the development,*
  - (k) *the costs of energy and water efficiency measures associated with the development,*
  - (l) *the costs of development that is provided as affordable housing,*
  - (m) *the costs of development that is the adaptive reuse of a heritage item.*
- (5) *The proposed cost may be adjusted before payment of a development levy, as specified in a contributions plan, to reflect quarterly or annual variations to readily accessible index figures adopted by the plan between the day on which the proposed cost was determined by the consent authority and the day by which the development levy must be paid.*

**Example—**

*A contributions plan may adopt the Consumer Price Index.*

(6) To avoid doubt, this section does not affect the determination of the fee payable for a development application.

Note: Section 208 of the Environmental Planning and Assessment Regulation 2021 replaces Clause 25J of the Environmental Planning and Assessment Regulation 2000.

## Cost summary reports

Applicants must provide a completed Cost Summary Report with their development application or complying development certificate. This is to enable Council to determine the development cost for the purpose of calculating the contribution required, if any.

The Cost Summary Report must address matters set out in section 208 of the EP&A Regulation, as outlined in the previous subsection. Applicants can download a Cost Summary Report from the development contributions section of the Council's website.

Where the initial estimated development cost is greater than \$200,000 and less than \$3 million, the Cost Summary Report must be completed by a suitably qualified person, such as an architect or project manager. Where the development cost is more than \$3 million, it must be completed by a person registered with the Australian Institute of Quantity Surveyors or a person who can demonstrate an equivalent qualification.

## 2.2 Imposing the contribution

If a contribution is required for a development, the requirement for the development to contribute a contribution towards the cost of infrastructure included in this plan will be imposed as a condition of development consent or a condition of the complying development certificate.

In the case of a development application, the condition will require payment to Council prior to the issue of any construction certificate. Conditions authorised by this plan are subject to any direction given by the Minister under section 7.17 of the Act. This plan authorises the imposition of conditions in accordance with any such direction.

Discounts and/or credits for existing development are not provided under this plan.

In the case of complying development, payment will be required as a condition of issuing a complying development certificate and will require payment prior to work authorised by the certificate commencing.

If a complying development certificate has been granted to the carrying out of development subject to a condition authorised by this plan, then this plan requires a registered certifier to issue a complying development certificate to which this plan applies subject to a condition requiring the applicant to pay to the Council a contribution in accordance with this plan.

If a Ministerial direction under section 7.17 of the Act is in force, this plan authorises the registered certifier to issue a complying development certificate subject to a condition which is in accordance with that direction.[2.3 Paying the contribution](#)

## When to pay

Applicants must pay the contribution required in a development consent or complying development certificate prior to the issue of a construction certificate or, in the case of complying development, prior to the commencement of works authorised by the complying development certificate.

## Indexation

At the time of payment, Council will index the contribution in accordance with quarterly updates to the Consumer Price Index (All Groups Index) for Sydney using the formula below. If the current CPI is less than the previous CPI, the current CPI shall be taken as not less than the previous CPI.

*Indexed  
development  
contribution*

$$C_{\text{payment}} = \frac{C_{\text{consent}} \times \text{CPI}_{\text{payment}}}{\text{CPI}_{\text{consent}}}$$

*Where:*

- $C_{\text{consent}}$  = the original development contribution required by the development consent
- $\text{CPI}_{\text{payment}}$  = is the Sydney All Groups Consumer Price Index as published by the Australian Bureau of Statistics at the time of payment
- $\text{CPI}_{\text{consent}}$  = is the Sydney All Groups Consumer Price Index as published by the Australian Bureau of Statistics at the time of consent.

## How to pay

In the case of a development application, the condition of consent requiring the contribution will require the contribution to be paid prior to the issue of a construction certificate.

Applicants can pay their contribution online or in person at Council's Customer Service centre by bank cheque and credit card. Applicants can also pay over the phone by calling 9806 5050

For online payments applicants should contact Council's Customer Service Line on 1300 617 058 to obtain a six-digit application key.

Payment can then be made online at the Council's website by following these steps:

- Visit Council's online services portal at <https://onlineservices.parracity.nsw.gov.au/>
- Navigate to the 'New Payments' under the Payments section on the landing page.
- Select 'Application Payment' as the payment type and click 'next'
- Enter the payment details in the required fields and click 'next' (note Payment Reference is not the alpha numeric application reference number)
- Confirm the payment details and click 'next'
- Enter the required contact details and click 'proceed to payment'
- Enter card details and click 'pay' to finalise payment.

## Deferred payment of contributions

Deferred payment of contributions will not be permitted, except (at Council's absolute discretion) where the applicant can demonstrate significant financial hardship and/or other extenuating circumstances which warrant that deferral.

Where a deferred payment is permitted by Council, 50% of the required contribution will be required to be paid prior to the issue of a construction certificate (or complying development certificate or subdivision certificate where relevant). The remaining 50% must be paid prior to the issue of an occupation certificate (interim or final) or as otherwise determined by Council.

Prior to the issue of a construction certificate (or complying development certificate or subdivision certificate where relevant), Council will require the applicant to provide a bank **guarantee to Council's satisfaction for the outstanding balance of the contribution**. The outstanding balance will continue to be indexed quarterly in accordance with movements in the *Sydney All Groups Consumer Price Index* as published by the Australian Bureau of Statistics.

## 2.4 Registered certifier obligations

### Issuing a Complying Development Certificate under the Environmental Planning and Assessment Regulation 2021

Under section 156 of the Regulation, a complying development certificate must be issued with conditions included that require payment of a section 7.12 levy and that the levy must be paid before any work authorised by the certificate commences.

Under section 158 of the Regulation, as a precondition to works authorised by the complying development certificate commencing, the certifier must ensure that the applicant provides a copy of the payment receipt issued by Council confirming that contributions have been paid in full. Copies of such receipts must be included with copies of the certified plan provided to the Council in accordance with section 141(4) of the Regulation. Failure to follow this procedure may render such a certificate invalid.

### Issuing a construction certificate under the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

Under section 20 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, a certifier must not issue a construction certificate for building work under a development consent unless a condition of the development consent, requiring the payment of a section 7.12 monetary contribution or levy has been paid before building work is carried out.

### Issuing an Occupation Certificate or Subdivision Certificate under the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

Under section 67 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, a principal certifier for building work or subdivision work to be carried out on a site is required to be satisfied — before the principal certifier issues an occupation certificate or subdivision certificate for the work — that any preconditions required by a development consent or complying development certificate to be met for the work before the issue of the occupation certificate or subdivision certificate have been met.

The certifier must ensure that the applicant provides a copy of the payment receipt issued by Council confirming that contributions have been fully paid. Copies of such receipts must be included with copies of the certified plan provided to the Council in accordance with section 39(2) of this Regulation. Failure to follow this procedure may render such a certificate invalid.

Where a development has a proposed cost exceeding \$10 million, the additional matters in section 37(3) also apply.

The only exceptions to the requirement are where Council has agreed to a works-in-kind, material public benefit or dedication of land as alternative to payment of contribution by way of a Planning Agreement. This is discussed in the following subsection.

### **2.5 Alternatives to monetary contributions**

Council may at its discretion accept the dedication of land and/or provision of a material public benefit or works-in-kind in part or full satisfaction of a monetary contribution under this plan.

Generally, only land or works directly associated with the infrastructure included in this plan may be considered as a material public benefit or works-in-kind in satisfaction of the monetary contributions. If Council agrees to an alternative to a monetary contribution, it will accept it under the terms of a planning agreement.



# Appendix A: Anticipated development

## Appendix A: Anticipated development

This appendix describes development anticipated in the Parramatta City Centre. This is a key indicator of development-generated infrastructure demand and cost. This, in turn, informs the infrastructure that will be funded using contributions received under this Plan, as set out in Appendix B and Appendix C.

Parramatta is Sydney's Central City. Located in the heart of the Sydney metropolitan area, the Parramatta CBD performs key economic, social, and cultural roles, particularly for Western Sydney, which is home to nearly half of Sydney's population. The metropolitan importance of the Parramatta City Centre will increase as Western Sydney's population grows and regional transport infrastructure connects people faster to Parramatta.

A new planning framework has been established by Council to facilitate and strengthen the Parramatta City Centre as a metropolitan centre. The new framework is guided by the vision for growth established in the Parramatta City Centre Planning Strategy 2015 and gives effect to the priorities and actions of the Central City District Plan to manage growth in the context of economic, social, and environmental matters and grow a stronger and more competitive Greater Parramatta.

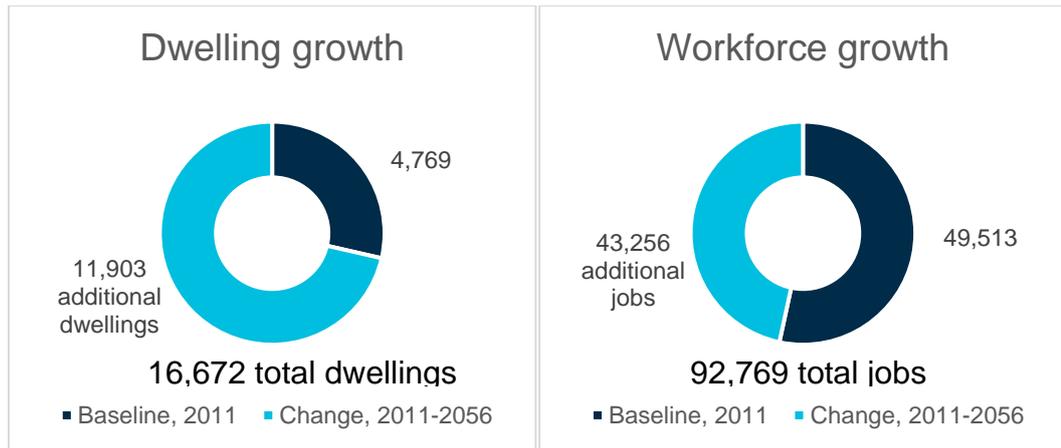
The new framework is expected to drive significant development-generated population growth. Existing and forecast growth is shown in **Table 1** and **Figure 3** below and is based on estimated development yields anticipated from implementing the increases in development capacity contained within the Parramatta City Centre Planning Framework and the associated amendments to Parramatta Local Environmental Plan. The worker population is expected to increase from 49,513 workers in 2011 to 92,769 workers in 2056, an increase of 43,256 workers or 87 per cent. The number of dwellings is expected to increase from 4,769 dwellings in 2011 to 16,672 dwellings in 2056, an increase of 11,903 dwellings or 249 per cent.

This anticipated growth is significant and will generate significant infrastructure demand. The strategies Council will use to address this demand are outlined in **Appendix B**.

Table 1: Anticipated development-generated population growth, 2016-2056<sup>2</sup>

	Baseline, 2011	Forecast, 2056	Change, 2011-2056	Change, 2011-2056
<b>Dwellings</b>	4,769	16,672	11,903	249%
<b>Workers</b>	49,513	92,769	43,256	87%

Figure 3: Anticipated development-generated population growth, 2016-2056



<sup>2</sup> Parramatta CBD Planning Proposal, as endorsed by Council for finalisation on 15 June 2021 (updated May 2022 to account for changes to the final version)

An aerial photograph of the Parramatta City Centre, showing a dense urban landscape with various high-rise buildings, lower residential structures, and green spaces. A large white circle is superimposed over the center of the image, containing the title text. At the bottom of the image, a large, modern, oval-shaped stadium or arena is visible, surrounded by trees and other infrastructure.

# Appendix B: Infrastructure strategies

## Appendix B: Infrastructure strategies

This appendix outlines the development-generated infrastructure demand, and the infrastructure Council will provide using contributions under this Plan to address that demand.

As outlined in Appendix A, Parramatta City Centre will be the primary focus for economic activity within Sydney's Central City, greater metropolitan Sydney, and NSW; and substantial growth in employment, services and housing in the City Centre is expected.

This new population will use local infrastructure and contribute to demand for its use. This local infrastructure includes:

- community facilities, such as libraries
- open space and recreation facilities
- public domain works
- traffic and transport works.

New residents, workers and visitors to the City Centre will have inadequate levels of service if Council does not provide new or improved public amenities and infrastructure to address development-generated infrastructure demand. The levels of service for the existing residential population and workforce will also decline without adequate public investment.

Development-generated infrastructure demand for the infrastructure categories above and the infrastructure Council will provide using contributions received under this plan to address that demand are outlined in the following subsections. Local infrastructure to be provided acknowledges and will cater to the diversity of cultures comprising the Parramatta City Centre presently and into the future, including our local Dharug community.

A consolidated list of infrastructure works is provided in the works schedule in **Appendix C** while an infrastructure map showing the locations of the individual works items is shown in **Appendix D**.

The total estimated cost of the works included in the works schedule is \$1,980 million (\$1.980 billion). A breakdown of the cost by infrastructure category is shown in **Table 2** below. Council will allocate contributions received under this plan towards these costs.

The demand and cost reasonably attributed (apportioned) to additional development is approximately \$1.20 billion (present value). This plan is forecast to generate approximately \$582 million (present value) in development contributions income over the expected 40-year life of this plan.

The difference or 'gap' between this plan's works schedule total and income forecast under this plan will be funded from other sources including existing planning agreement contributions, existing unspent contributions collected under the existing plan, grants, and committed Council funds. Council may also pool contributions received under this plan to fully fund works items using contributions.

Table 2: Estimated cost of works in the works schedule, by infrastructure category

Category	Estimated cost
Community and cultural facilities	\$736m
Open space and recreation	\$495m
Public domain works	\$573m
Traffic and transport	\$176m
<b>Total</b>	<b>\$1,980m</b>

### B.1 Community facilities strategy

Community facilities are vital to the fabric of urban life and how people feel connected to each other. They provide spaces for the City's diverse communities of residents and workers to enjoy entertainment, creative and recreational pursuits, education and training, and rest and respite, in an increasingly dense inner-city environment. Council's recognition of the critical importance of community facilities for supporting city life is embedded in its Community Infrastructure Strategy (2020)<sup>3</sup>.

The development of Parramatta City Centre for commercial and residential uses will need to be supported by new community facilities to contribute to a socially sustainable future. Flexible, multipurpose community spaces act as gateways to connect people with each other, to services that can provide support and activities for the community.

Council's current community space network within the plan area comprises of community spaces of different types and scales, including the following:

- Community meeting rooms – which are typically a single room that people can hire.
- Community centres – which are places where people from within a local neighbourhood can come together for social events, educational classes, recreational activities or for drop-in support.
- Community halls – multipurpose buildings managed by Council for the community. They provide space and facilities for a range of local activities and community services.
- Community hubs – a larger facility offering a range of spaces suitable for various activities, programs, services, and events which address the social, physical, and emotional wellbeing needs of the local community. It can be a school, a neighbourhood centre or another public space that offers collocated or integrated services such as education, health care and social services. Each hub is as unique as the community it serves.

Council's Community Infrastructure Strategy has identified a need for the following community facilities to meet the demands of growth in the City Centre:

- Civic Centre at 5 Parramatta Square
- Refurbished town hall

<sup>3</sup> City of Parramatta Community Infrastructure Strategy, 2020

- Flexible community space
- Youth space
- Low-cost leasable office space
- Homelessness support projects<sup>4</sup>.

Culture is fundamental to realising Council's vision for the City Centre and is what makes a city attractive and worth living in, visiting, and exploring. Arts and culture bring people together and provide the city's population with opportunities to share experiences. Culture is also a key determinant of a city's identity and reputation. Council's Cultural Plan<sup>5</sup> identifies that for a city to be driven by culture, it requires appropriate spaces and venues where culture can be created, produced, presented, and consumed.

Western Sydney University's Cultural Infrastructure Research Report<sup>6</sup> provides the necessary research and information to assist Council in determining its strategic priorities regarding the development of cultural infrastructure in the LGA. A key finding from the report is that Council must invest or facilitate investment in a range of cultural facilities to maximise the mixed ecology of cultural production, presentation and consumption found in culturally dynamic cities across the world.

To help address recommendations and findings from Council's Community Infrastructure Strategy and Cultural Plan, Council has developed a program of cultural facility projects that will be partly funded by this plan. These are shown in the works schedule in **Appendix C**. It includes 33 works items with a combined total estimated cost of approximately \$736 million. Council will allocate contributions received under this plan to works items in the works schedule.

Community facilities items include, but are not limited to:

- New Civic Centre at Parramatta Square (\$130.1 million)
- Parramatta Town Hall refurbishment (\$10 million)
- 2 x flexible community spaces in the City Centre (\$46.9 million)
- Knock down and rebuild of the existing Riverside Theatres (\$200 million)
- New Parramatta Art Centre with exhibition and gallery space (\$43 million)
- A live music venue with capacity for 5,000 people (\$80 million).

## B.2 Open space and recreation strategy

Open space and recreation facilities are essential to the healthy functioning of the community and its urban environment. They provide a range of benefits including exercise, recreation, relaxation, escape, exploration, contemplation, interaction, connection, celebration, biodiversity, cooling, ventilation, tourism, identity, and community well-being.

Given the constrained urban environment and the high cost of land in the City Centre, it is not feasible to achieve the ideal provision rate or replicate current rates of provision of land for open space uses. Instead, Council's (2020) Community Infrastructure Strategy (CIS) outlines a more reasonable strategy including:

---

<sup>4</sup> City of Parramatta Homelessness Policy, 2011

<sup>5</sup> Culture and Our City: a Cultural Plan for Parramatta's CBD 2017-22, 2017

<sup>6</sup> Planning Cultural Infrastructure for the City of Parramatta: A Research Report, Institute for Culture and Society, Western Sydney University, 2020

- Upgrading various existing open spaces to increase their capacity to assist with providing for the new population's demand
- Increase the carrying capacity of existing playing fields through upgrades to playing surfaces and/or supporting infrastructure and increased maintenance
- Upgrade existing playgrounds to increase the number of local and district play spaces available and provide a variety of play experiences
- Repurpose parks to accommodate both formal and informal sports
- Develop better connections between open spaces and sports grounds
- Repurpose alternative (non-traditional) spaces for both formal and informal sport and recreation.

The Parramatta City River Strategy<sup>7</sup> harmonises the CIS aim to repurpose alternative avenues of open space. The Parramatta River is the main topographical feature of Parramatta City Centre that helps define the character of the City Centre and provides opportunities for recreation and landscape amenity. This plan includes works schedule items that aim to showcase the river as the key public recreational space for the City Centre, and to enhance the aesthetic quality and amenity of the river landscape as well as increase the recreational opportunities and access links along the river corridor.

The Parramatta Ways Walking Strategy and the Green Places Guide<sup>8</sup> published by the Government Architect NSW aim to create a healthier, more liveable, and sustainable urban environment by improving community access to recreation and exercise, supporting walking, and cycling connections, and improving the resilience of urban areas. This plan also provides funding for street upgrade projects which will improve walkability and contribute to a network that is safe, comfortable, and interesting for pedestrians.

Council's priorities for open space and recreation in the City Centre are shown in the open space and recreation works schedule in **Appendix C**. It includes 35 works items with a total combined estimated cost of approximately \$495 million.

Open space and recreation items include, but are not limited to:

- River Square (\$65.2 million)
- Redesign of Charles Street Weir to improve active transport movement, hydraulic flows, and fish passage (\$12.5 million)
- Charles Street Square and ferry terminus upgrade (\$11.5 million)
- Various foreshore upgrade works
- Prince Alfred Square major upgrade (\$8.3 million)
- Parramatta Ways CBD connections (various projects)
- New aquatic and leisure centre (\$77 million)
- River swimming enclosure (\$9.7 million)
- Existing sports field improvements in and near the City Centre (various projects)
- Existing Park upgrades (various projects)
- New local and district play spaces (\$4 million)
- New and upgraded outdoor recreation courts, exercise equipment and other active recreation facilities in and near the City Centre (\$20.7 million)
- Four (4) new multipurpose court indoor recreation facilities (\$16 million).

---

<sup>7</sup> Parramatta City River Strategy Design and Activation Plan, 2015

<sup>8</sup> Greener Places, Government Architect NSW, 2020

### B.3 Public domain strategy

This plan provides funding for projects that will facilitate enriching and expanding the public domain and design parameters for streets and key public spaces. The public domain projects are for the provision of new paving, tree planting, lighting, urban furniture, signage, multi-function poles and city ecology. The provision of these facilities and upgrades will bring the public domain of major City Centre streets up to world class city standard. This program of works will be complemented by projects from **Council's Smart Cities program**<sup>9</sup>.

Parramatta Square is set to become a world-class landmark and destination in the heart of the Parramatta City Centre. The precinct is linked by 6,000sqm of public domain that will serve as an important place to meet, trade, shop, dine, learn, celebrate, and connect. The Parramatta Square public domain will connect the world-class buildings within Parramatta Square and form an important public space for workers and the wider community. Council will facilitate the development of Parramatta Square public domain in accordance with Parramatta Square Urban Design Guidelines<sup>10</sup> using funds collected by this plan.

Parramatta City Centre has an extensive lanes network which benefits the city by enhancing connectivity, servicing, and loading especially through large city blocks. This traditional function of lanes needs to be retained and enhanced when lots are amalgamated and/or blocks redeveloped as Parramatta grows.

This plan will provide funding for projects to develop and improve the City Centre lane network in accordance with the following principles from Parramatta City Centre Lanes Policy<sup>11</sup>:

- Retaining and extending the existing utilitarian functions of the network including servicing and accessing will support the city and business vitality long term
- A safe lanes network 24/7 will promote pedestrian use throughout the day
- Promoting pedestrian activity will improve safety and liveliness of lanes
- Designing lanes as destinations will increase street level retail and support city visitation
- Incorporating standard Public Domain Guidelines will promote consistent appearance and design and a good image for the city
- Lanes that are designed to express their special history, location and role in the network will improve **Parramatta's character and identity**
- Lane upgrades should combine improvements in activation as well as improvements in appearance, design, and construction to ensure the lanes are safe and well used to **maximise the city's potential and expenditure**
- Incorporating lanes as venues for cultural events, art and interpretation programs will help to animate the city and improve street level activity

A significant proportion of the Parramatta City Centre is within the floodplain of the Parramatta River and its tributaries. Flooding within the Parramatta City Centre is typical of flash flood catchments with floodwaters arriving quickly without significant warning, cutting access to areas and buildings, before receding quickly. The key stormwater and flood risk management issue for Council is balancing growth in the City Centre with managing risks to

---

<sup>9</sup> Parramatta Smart Cities Masterplan, 2015

<sup>10</sup> Parramatta Square Reference Design & Performance Specification, 2015

<sup>11</sup> Parramatta City Centre Lanes Policy, 2011

life and property from flooding. This plan provides funding for key floodplain risk management activities that are identified in Council's Local Strategic Planning Statement.

Public domain works projects to be part funded by this plan are shown in the works schedule in **Appendix C**. It includes 46 works items with a combined total estimated cost of \$573 million. Works items include, but are not limited to:

- Parramatta Square public domain (\$50 million)
- Civic Link public domain (\$40 million)
- Major City Centre streets public domain upgrades including George Street, Macquarie Street, Phillip Street and Church Street, among others (various projects)
- Two new public toilet facilities (\$1 million)
- Drainage improvements across the City Centre to reduce localised flooding and improve stormwater quality and quantity into Parramatta River (\$40 million)
- Large-scale flood mitigation program of works to address flooding from Parramatta River (\$79 million)
- Smart cities projects including CCTV, rationalisation of utilities and multi-function poles for non-major streets (\$24.8 million).

#### B.4 Traffic and transport strategy

Anticipated development in Parramatta City Centre will generate significant travel demand to and from Parramatta City Centre, placing greater demand on transport infrastructure and services.

Anticipated development will result in a significant increase in transport trips starting or ending in Parramatta City Centre from just over 51,000 trips in the AM peak alone in 2016 to almost 111,000 trips in the AM peak in 2036. Since private vehicle use is currently the preferred mode of travel for commuters in Parramatta City Centre<sup>12</sup>, this results in a more congested road network. **There is a need to influence and change commuter's mode preferences. A transformation in the City Centre will require a considerable shift in transport planning and delivery to encourage walking, cycling and public transport trips to and from the City Centre.**

The Parramatta CBD Strategic Transport Study<sup>13</sup> identifies several strategies to improve walking and cycling:

- Promote cycling as a means of accessing the City Centre
- Improve the walking experience to help achieve a mind shift towards walking in the City Centre
- Promote active transport trips within a 10-kilometre radius of the City Centre

This is supported by the Parramatta Ways Walking Strategy<sup>14</sup> which seeks to improve walkability across Parramatta and provides a strategic plan to improve active transport, urban greening, recreation, and local centre amenity.

Additionally, the Parramatta Bike Plan<sup>15</sup> aims to support access to jobs, shopping, education, and recreation through a healthy and low-cost alternative transport mode. It aims to enhance

---

<sup>12</sup> Draft Parramatta Integrated Transport Plan, 2021

<sup>13</sup> Parramatta CBD Strategic Transport Study, 2016

<sup>14</sup> Parramatta Ways Walking Strategy, 2017

<sup>15</sup> Parramatta Bike Plan, 2017

the liveability for the residents, workers, and visitors of Parramatta, with a target to increase the proportion of people cycling to work from five to ten percent.

Parramatta Integrated Transport Plan provides the following key actions accommodate the transport needs generated by future growth:

- Completing the river foreshore paths on the northern and southern banks
- A north-south physically separated bike path aligned with Marsden Street, Marist Place and Villiers Street
- An east-west physically separated bike path along George Street
- Civic Link: a shared pedestrian cyclist spine from the river to Parramatta interchange
- Upgrading key intersections to improve access to Parramatta City Centre, including Pitt Street/Marsden Street intersection along Great Western Highway, and the Woodville Road, Parramatta Road and Church Street intersection at Granville
- Increase capacity on mass movement corridors such as James Ruse Drive, Victoria Road, Great Western Highway

Council has developed a list of projects that will deliver the on the outcomes of the studies above as well as those from the Draft Integrated Transport Plan. Traffic and transport works to be part funded by this plan are shown in the works schedule in **Appendix C**. It includes 21 works items with a combined total estimated cost of \$176 million. Projects are broadly grouped as follows:

- Pedestrian improvements (\$10.1 million)
- Median islands (\$1.2 million)
- Intersection upgrades (\$13 million)
- City Centre road widenings (\$53 million)
- Bridge improvements (\$39 million)
- City Centre bike plan projects (\$52.9 million)
- Last mile delivery facility (\$3 million)
- Smart parking (\$4 million).



## Appendix C: Works schedule

This appendix contains a works schedule listing the works items Council will provide using contributions under this plan, the estimated cost of each item, and when Council will provide them.

Works items are listed in the following tables by infrastructure category:

- Table C1: Community facilities works schedule
- Table C2: Open space and recreation works schedule
- Table C3: Public domain works schedule
- Table C4: Traffic and transport works schedule.

Table C1: Community facilities works

Item / description	Location	Estimated cost	Timing <sup>16</sup>
<b>Civic Centre at 5 Parramatta Square</b>			
1. Civic Centre includes facilities such as new CBD library, meeting rooms, council chamber and an experience centre.	5 Parramatta Square	\$130,100,000	Short
<b>Parramatta Town Hall (PS7)</b>			
2. A refurbished Parramatta Town Hall where residents, workers and visitors will be able to access its larger and smaller community spaces and proposed commercial activation offerings.	7 Parramatta Square / Town Hall.	\$10,000,000	Short
<b>Flexible community space</b>			
3. 6,800 sqm of flexible community space in two facilities in the CBD: one in the north and one in the south.	Split in a facility in the north of the CBD and south of the CBD.	\$46,920,000	Short-long
<b>Youth space</b>			
4. 2,000 sqm of youth space in two facilities in the CBD: one in the north and one in the south.	Split in a facility in the north of the CBD and south of the CBD.	\$13,800,000	Short-long
<b>Low-cost leasable office space</b>			
5. 3,000 sqm of low-cost leasable office space, to allow non-Council community services providers and social enterprises to locate in Parramatta CBD. This would be split between two facilities in the CBD: one in the north and one in the south.	Split in a facility in the north of the CBD and south of the CBD.	\$7,035,000	Short-long
<b>Homelessness support projects</b>			
6. Infrastructure for food provision to disadvantaged members of the community.	Prince Alfred Square	\$500,000	Short
7. Upgraded amenities for homeless – laundry, showers, etc.	Within existing non-profit facilities in CBD	\$100,000	Short
<b>Performing arts facilities</b>			
8. Anchor Facility: Knock down and rebuild of the existing Riverside Theatres to deliver modernised facility that includes rehearsal, presentation, and production spaces.	Existing site on river foreshore.	\$200,000,000	Short

<sup>16</sup> Short = years 1-5 (2021-2025); Medium = years 6-10 (2026-2030); Long = years 11+ (2031-2056).

Item / description	Location	Estimated cost	Timing <sup>16</sup>
9. Riverside Performing Arts Rehearsal and Training Studio (1,000 sqm).	Close to public transport is essential; ideally in City Centre	\$1,720,520	Short
10. Performing Arts Rehearsal and Training Space with capacity to accommodate First Nations Dance and ballet (1,000 sqm).	Close to public transport is essential; ideally in City Centre	\$1,750,520	Medium
<b>Art production and presentation facilities</b>			
11. Anchor Facility: Artist professional production facility with 30 art studios and ancillary supporting facilities (2,485 sqm).	In or near the Civic Link and Parramatta station	\$8,635,375	Short
12. Anchor Facility: Parramatta Art Centre with exhibition and gallery space (4,000 sqm).	Civic Link (fringe commercial core)	\$43,000,000	Medium
13. Anchor Facility: Multimedia Digital and Performance Arts and Access Facility including performance space and production spaces, digital gallery, and supporting ancillary spaces (2,700 sqm).	CBD	\$9,826,000	Short
14. 10 x 500sqm arts education and training provider spaces for music, film, and dance.	Close to public transport is essential; in both CBD and across North Parramatta	\$18,025,000	Medium - Long
15. Artist Run Initiative (ARI) - not for profit artist run gallery (1,500 sqm).	City Centre or fringes; Rydalmere "creative industries precinct"	\$2,557,500	Long
16. Two (1,000 sqm) x art gallery and exhibition spaces.	Close to public transport is essential; ideally in City Centre	\$13,800,000	Medium
17. Rydalmere Parramatta Artist Studios Facility (1,200 sqm).	Rydalmere	\$4,116,000	Short-medium
<b>Aboriginal cultural projects</b>			
18. Indigenous Healing Site and Space to provide for reflection and ceremonies/events (1,350 sqm)	Close to the North Parramatta River	\$3,000,000	Short

Item / description	Location	Estimated cost	Timing <sup>16</sup>
19. Aboriginal and Torres Strait Islander Science and Knowledge Centre (800 sqm) to accommodate research on medicinal food, language, and research library and digital resources.	CBD / Westmead / North Parramatta	\$5,520,000	Short
20. Aboriginal and Torres Strait Islander – 'A Keeping Place' included in 5 Parramatta Square (160 sqm). The space is to store and view objects, and also includes a meeting room.	CBD	\$1,104,000	Short
Creative clusters and industry start up space			
21. Creative Industries Cluster to provide communal space for tenants consisting of creative organisations and multi-artform practitioners (3,600 sqm).	Creative Industries Cluster: Civic Link and/or North Parramatta.	\$9,630,000	Medium
22. North Parramatta Heritage 'Tech-start up' Precinct to provide spaces for innovations and start-ups, and food and drink spaces (2,000 sqm)	North Parramatta Heritage Precinct	\$5,350,000	Short
Music performing and creative spaces to support the local music scene and to accommodate new & established artists.			
23. 3 x live music venues with a capacity of under 250 people (approx. 300sqm each)	Parramatta CBD or North Parramatta	\$12,000,000	Short-Medium
24. One live music venue of 500-person capacity (approx. 600sqm)	Parramatta CBD or North Parramatta	\$8,000,000	Medium
25. One live music venue of 1,200-person capacity (approx. 1,620 sqm)	Parramatta CBD or North Parramatta	\$19,200,000	Medium
26. One live music venue of 2,500-person capacity (approx. 3,375 sqm)	Parramatta LGA or North Parramatta	\$40,000,000	Long
27. One live music venue of 5,000-person capacity (approx. 6,750sqm)	Parramatta LGA or North Parramatta	\$80,000,000	Long
28. Music recording studio offering recording, mixing, song writing rooms, podcasting, and interviewing rooms (2,500 sqm).	Parramatta City Centre	\$8,575,000	Medium
29. Anchor presentation facility for music and events in iconic heritage building, including two multi-purpose presentation spaces and short-term rehearsal facilities with a focus on musicians. Estimate capacity at 800. (approx. 1,080 sqm)	Parramatta City Centre	\$15,530,000	Medium

Item / description	Location	Estimated cost	Timing <sup>16</sup>
<b>Informal / adaptable spaces for temporary cultural uses and events</b>			
30. Rooftop Eat Street Carpark 'Pop Up' event venue to host events for 2,000 people.	Eat Street carpark, CBD	\$700,000	Short-Medium
31. Creativity-enabling spaces in the public domain to allow 'mini-events' such as chalk art, temporary public art, planter boxes, and dancing (2,000 sqm total).	Various Locations and sizes across City of Parramatta LGA	\$2,800,000	Short-Medium
32. Use of Parramatta Gaol for event, exhibition, and festivals.	North Parramatta Heritage Precinct	\$3,200,000	Medium-Long
<b>City Art, Identity, and the Outdoor Museum</b>			
33. The development of contemporary public art and heritage interpretation (17 works - small, medium, and large) enabling their inclusion and integration in the public domain across the city centre as per the Civic Improvement Plan Amendment No.4. Revitalising Parramatta City Centre Plan. Sizes are as follows: (a) Large are approx. 20sqm (which takes into account foundations and landscape surrounds) x 2 = 40sqm; (b) Medium are approx. 10sqm x 5 = 50sqm; (c) Small are approx. 5sqm x 10 = 50sqm.	Civic Link; River Foreshore; Parks and Cultural Landscapes; City Gateways; Laneways; Church Street; Bridges.	\$9,500,000	Medium
		<b>\$735,994,915</b>	

Table C2: Open space and recreation works

Item / description	Location	Estimated cost	Timing <sup>17</sup>
<b>River Square and surrounds</b>			
1. The River Square which is a riverside public space linking directly to Parramatta Square and station through the Horwood Civic Link. It includes Australia's first Water Square, a multi-functional space that can accommodate up to 10,000 people, a floating stage, various event functions, children's play, and riverside swimming.	South Bank between Lennox Bridge and Barry Wilde Bridge	\$65,208,000	Short
2. Riverside Terrace at the Sorrell Street foreshore (located opposite the River Square), which is a public space with an upper level and lower-level plaza along the northern and southern edge of the terraces.	North Bank between Lennox Bridge and Barry Wilde Bridge	\$12,435,500	Short
<b>Parramatta Quay upgrades supporting works</b>			
3. Redesign of Charles Street Weir, including the weir itself and the river crossing to improve active transport movement, hydraulic flows, and fish passage.	Charles Street Weir	\$12,644,500	Short - Medium
4. Charles Street Square and ferry terminus upgrade involving new ramps and stairs, a wide riverfront walk, flood-resilient and sustainable design elements, and more trees.	Surrounding Ferry terminus	\$11,551,799	Short
<b>Parramatta River Foreshore Parcel upgrades</b>			
5. Foreshore East upgrades comprising redesign of the land on the south side of the river from the ferry terminus to Gas Works Bridge to improve accessibility, activate the public space and connection to retail uses, and provide pedestrian plazas.	East of Ferry Terminus to Gas Works Bridge, South side of the river	\$8,987,000	Short-Medium
6. Northern Terrace parcel foreshore upgrade which involves the delivery of accessible and usable public space with a low-level plaza located along the river edge.	Queens Ave Steps to Elizabeth St	\$8,778,000	Short
7. Playground parcel foreshore upgrade.	North bank, east of Barry Wilde Bridge	\$4,389,000	Long
8. Riverside Theatre foreshore upgrade to support the Riverside Theatre and provide a terrace along the river corridor to support a range of outdoor cultural events.	North Bank between Bernie Banton and Lennox Bridges	\$17,974,000	Short

<sup>17</sup> Short = years 1-5 (2021-2025); Medium = years 6-10 (2026-2030); Long = years 11+ (2031-2056).

Item / description	Location	Estimated cost	Timing <sup>17</sup>
9. Southern foreshore parcel upgrade which involves a passive recreational space for the public along the river corridor.	Wilde Ave to Charles St Weir	\$13,167,000	Medium
10. Riverside Southern foreshore upgrade which involves a retained riverside wall and a two-tier deck to support adjacent retail frontages.	South Bank between Bernie Banton and Lennox Bridges	\$16,900,000	Short
11. Justice Precinct parcel foreshore upgrade which includes an active building edge and a network of footpaths that connect the Justice Precinct to the river's edge, Parramatta Park and Riverside Tower.	Foreshore between Marsden St and O'Connell St	\$14,943,500	Short-Medium
12. Kings School parcel foreshore upgrade which includes a multi-purpose ground and public recreation space with terraces, a wetland and network of footpaths to connect to the stadium, Parramatta Park, and the river.	Foreshore between new school and river	\$15,361,500	Long
13. Omitted as work is complete			
Prince Alfred Square major upgrade			
14. Improving facilities for events, protecting heritage assets including significant trees, and improving overall amenity and passive recreational use	Prince Alfred Square	\$8,250,000	Short
Brickfields Creek naturalisation			
15. Naturalising and restoring Brickfields Creek where it intersects with the Parramatta River.	North bank, east of Barry Wilde Bridge	\$2,194,500	Short

Item / description	Location	Estimated cost	Timing <sup>17</sup>
<b>Parramatta Ways links in the CBD - local delivery of Sydney's "Green Grid" and "Greener Places" policies</b>			
16. Southern CBD Green Rail Link upgrade from the M4 to Parramatta Station to improve accessibility across the city and deliver the green grid.	M4 to Parramatta Station. Two options: (a) Along High Street near the M4 through Jubilee Park through to Wentworth Street near Parramatta Station; and (b) Along the western side of the railway corridor from Tottenham Lane/Station Street West near the M4 through to Valentine Avenue near Parramatta Station.	\$7,500,000	Medium
17. Parramatta CBD Ring Road Pedestrian Access and Amenity Upgrades which includes works to the pedestrian network to prioritise the time, safety and amenity of pedestrians and promote walking.	Ollie Webb Reserve to CBD to Elizabeth Farm	\$8,686,167	Medium
18. Clay Cliff Creek Link - CBD Open Space and Heritage Loop	Ollie Webb Reserve to CBD to Elizabeth Farm	\$5,950,000	Medium
<b>Parramatta Ways CBD connections</b>			
19. Street upgrade at Albert Street – to improve walkability and contribute to a network that is safe, comfortable, and interesting for pedestrians.	Parramatta North	\$2,900,000	Medium
20. Street upgrade at Fennel Street	Parramatta North	\$2,450,000	Medium
21. Street upgrade at Grose Street	Parramatta North	\$2,350,000	Medium

Item / description	Location	Estimated cost	Timing <sup>17</sup>
22. Street upgrade at Thomas Street	Parramatta North	\$2,400,000	Medium
23. Street upgrade at Wigram Street	Harris Park	\$2,400,000	Medium
24. Street upgrade at Pitt Street	Parramatta South	\$1,700,000	Medium
25. Street upgrade at Marsden Street, south of Parkes Street	Parramatta South	\$860,000	Medium
Aquatic and leisure centre			
26. New modern aquatics and leisure centre	Parramatta Park (Mays Hill Precinct)	\$77,000,000	Short
River swimming enclosure			
27. City river swim experience to provide amenity and connection to nature for the increasing numbers of CBD residents, workers, and visitors	City River Corridor	\$9,700,000	Short - Medium
Robin Thomas & James Ruse Reserves Upgrade			
28. Implementation of masterplan to provide new and upgraded sporting and recreation facilities to increase capacity for active and passive recreation as well as enhancing overall amenity and Green Grid connectivity	Robin Thomas and James Ruse Reserves	\$11,975,000	Short
Sports fields improvements			
29. Upgrading Council-owned facilities in or near the CBD. Upgrades include works such as increasing the square metres of playing surface, irrigation and drainage works to increase usage, flood lighting, turf improvements, parking, amenities, storage, and access.	Dan Mahoney Reserve; Belmore Park; Barton Park / PH Jeffrey Reserve; Ollie Webb Reserve; Jones Park; Doyle Ground	\$17,387,500	Short-long
30. Non-Council owned i.e. co-located facilities with schools. Upgrade works include improved irrigation/drainage, flood lighting, and turf quality.	Macarthur Girls High School; Parramatta High School	\$4,700,000	Short-long

Item / description	Location	Estimated cost	Timing <sup>17</sup>
<b>Parks</b>			
31. Upgrade the quality of parks in or near the CBD to cater for increased demand and bring up to a world-class city standard	Belmore Park; Erby Place Plaza; Experiment Farm Reserve; Jubilee Park; Mays Hill Reserve; Noller Park; Ollie Webb Reserve; PNUT (OS1-OS4); Queens Wharf Reserve; Railway St Reserve; Ranghou Reserve; Rosella Park; Rosslyn Blay Park; Sherwin Park; Thomas Williams Reserve; Underline (M4); Wallawa Reserve.	\$75,775,000	Short- long
32. Provision of pocket parks or new open spaces on development sites to increase open space within the CBD.	Across sites in the CBD.	\$6,000,000	Short- long

Item / description	Location	Estimated cost	Timing <sup>17</sup>
<b>Play spaces</b>			
33. Playspaces: The provision of district and local playspaces in or near the CBD. This includes: - 2 x new 1,500 sqm district playspaces - 10 x new indoor or outdoor (ideally outdoor) 500 sqm local playspaces.	In or near the CBD	\$4,000,000	Short-long
<b>Active recreation facilities (outdoor preference)</b>			
34. Provision of new and upgraded outdoor recreation courts, exercise equipment, and other active recreation facilities. This includes the following facilities: <u>New</u> - 3x indoor or outdoor (ideally, outdoor) 700sqm multipurpose courts - 2 x indoor or outdoor (ideally, outdoor) 100sqm fitness equipment - 3 x Indoor or outdoor (ideally, outdoor) cricket nets (200sqm for 2 lanes). <u>Upgraded</u> - Mays Hill Tennis Courts - PH Jeffrey Tennis Courts	In or near the CBD	\$20,737,500	Short-long
<b>Indoor recreation facilities</b>			
35. 4 x new multipurpose court indoor recreation facilities (2,000sqm for two courts and ancillary facilities).	Within CBD	\$16,000,000	Short-long
<b>Active city pocket park</b>			
36. Embellishment of the vacant lot at 2 Fitzwilliam St, Parramatta (currently owned by TfNSW) for a new active recreational space, and an activated and green space to meet and wait. The space would also provide opportunity for youth programming.	2 Fitzwilliam St, Parramatta	\$2,000,000	Short
		\$495,255,466	

Table C3 – Public domain works

Item / description	Location	Estimate cost	Timing <sup>18</sup>
<b>Parramatta Square public domain</b>			
1. Parramatta Square public domain – to connect the world-class buildings within Parramatta Square and form an important public space for workers and the wider community.	Parramatta Square	\$50,000,000	Short
<b>Civic Link</b>			
2. Civic Link public domain – to provide a continuous green spine that runs between the River Square and Parramatta Square, prioritising pedestrian, and cyclist movements.	Two blocks from Macquarie St to Phillip St	\$40,000,000	Medium
<b>Major upgrades to bring public domain of major CBD streets up to world class city standard</b>			
3. George Street public domain works – including paving, tree cells and multi-function poles	George St between O'Connell & Harris St	\$23,310,720	Medium
4. Macquarie Street public domain works – including paving, tree cells and multi-function poles	Macquarie St between Pitt & Church St	\$9,815,040	Medium
5. Phillip Street public domain works – including paving, tree cells and multi-function poles	Phillip St between Marsden & Charles St	\$13,904,640	Medium
6. Church Street public domain works – including paving, tree cells and multi-function poles	Church Street, south of Station St	\$17,994,240	Short
7. Victoria Road public domain works – including paving, tree cells and multi-function poles	Victoria Rd between O'Connell & Sorrel St	\$9,664,000	Short
8. Argyle Street public domain works – including paving, tree cells and multi-function poles	Argyle St between Marsden and Church St	\$3,865,600	Medium
9. Smith and Station Streets public domain works – including paving, tree cells and multi-function poles	Smith/Station St between Hassall St & Parramatta River	\$13,916,160	Medium

<sup>18</sup> Short = years 1-5 (2021-2025); Medium = years 6-10 (2026-2030); Long = years 11+ (2031-2056).

Item / description	Location	Estimate cost	Timing <sup>18</sup>
10. Charles Street public domain works – including paving, tree cells and multi-function poles	Charles St between Phillip and Macquarie St	\$5,411,840	Medium
11. Wentworth Street and Valentine Avenue public domain works – including paving, tree cells and multi-function poles	Wentworth St and Valentine Ave	\$10,243,840	Short
12. Hassall Street and Station Street East public domain works – including paving and tree cells	Hassall St between Harris & Station Street East, and Station Street East between Hassall & Parkes St	\$10,967,440	Medium
13. Hunter Street public domain works – including paving and tree cells	Hunter St between Pitt St & St John's Church	\$7,795,040	Long
14. Argyle Street public domain works – including paving and tree cells	Argyle St between Pitt & Marsden St	\$6,344,800	Short
15. Aird Street public domain works – including paving and tree cells	Aird Street between O'Connell St & Marsden St	\$2,719,200	Long
16. Campbell Street public domain works – including paving and tree cells	Campbell Street between O'Connell & Church St	\$8,701,440	Long
17. Anderson Street public domain works – including paving and tree cells	Anderson St between Parkes and Marion St	\$4,532,000	Long
18. Marion Street public domain works – including paving and tree cells	Marion Street between Church St & rail line	\$5,438,400	Long

Item / description	Location	Estimate cost	Timing <sup>18</sup>
19. Lane 13 (future street) public domain works – including paving, tree cells and lights. This is to reconfigure the existing laneway that currently goes from Phillip Street to Erby Place car park, to extend it to George Street. This would create a continuous north-south lane from Phillip Street to George Street.	Phillip St to George St through Erby Place	\$3,240,720	Medium
20. Union Street public domain works – including paving and tree cells	Union St between Charles St & Argus Ln	\$2,356,640	Medium
<b>Develop and Improve CBD Laneway Network (including paving, tree cells and multi-function poles)</b>			
21. Omitted, as this project was originally combined with Item 22 and is superseded by that item.			
22. Freemason Arms public domain works – including paving, tree cells and lights	Freemason Arms	\$2,167,200	Long
23. Palmer Lane public domain works – including paving, tree cells and lights	Palmer Street	\$1,269,360	Long
24. Andrew Nash Lane public domain works – including paving, tree cells and lights	George St between Horwood Pl and Smith St	\$804,960	Long
25. Lane 14 (future service lane) public domain works – including paving, tree cells and lights	Connection between Civic Link and rear of Mayfair Plaza	\$1,190,160	Medium
26. Lane 49 (existing arcade to be redeveloped into pedestrian lane) public domain works – including paving, tree cells and lights	Mayfair Plaza	\$793,440	Medium
27. New Service Lane connecting Lane 14 to Phillip Street public domain works – including paving, tree cells and lights	In Erby Place block of Civic Link	\$793,440	Medium
28. Lane 16 public domain works – including paving, tree cells and lights	Smith Street to Civic Link & Metro West	\$661,200	Medium
29. George Khattar Lane public domain works – including paving, tree cells and lights	Service Lane connecting Phillip Street to the River Foreshore, adjacent 66 Phillip Street	\$925,680	Medium

Item / description	Location	Estimate cost	Timing <sup>18</sup>
30. Phillip Lane public domain works – including paving, tree cells and lights	Phillip Lane	\$793,440	Medium
31. United Lane public domain works – including paving, tree cells, and lights)	United Lane off Macquarie Street	\$774,000	Medium
32. Barrack Lane public domain works – including paving, tree cells and lights	Between Macquarie Street and George Street	\$2,476,800	Medium
33. Argus Lane public domain works – including paving, tree cells and lights	East end of Union Street between Macquarie Street and George Street.	\$2,244,600	Medium
34. Oyster Lane public domain works – including paving, signage, and lights	Pedestrian lane off Church St, linking to 12 Phillip St	\$247,000	High
35. Unnamed Lane public domain works – including paving, signage, and lights	Pedestrian lane off Phillip St, adjacent to 78 Phillip St	\$213,750	High
36. Unnamed Lane public domain works – including paving, signage, and lights	Council proposed pedestrian lane at Phoenician Restaurant, Church St to MAAS	\$323,000	High
37. Wentworth Car Park Lanes public domain works – including paving, tree cells and lights	Lanes around and through Wentworth Car Park	\$4,892,880	Short
38. Lane N2 Public Domain works – existing property to be redeveloped into pedestrian lane, including paving, tree cells and lights	Church Street to MAAS (El Phoenician site)	\$1,057,920	Medium

Item / description	Location	Estimate cost	Timing <sup>18</sup>
<b>Public toilet provision</b>			
39. Design and construction of 2 new public toilet facilities to ensure access to these amenities is available across the CBD.	Prince Alfred Square and additional site within the CBD.	\$1,000,000	Short-Medium
<b>Parramatta Light Rail public domain integration</b>			
40. Public domain works to deliver a quality urban design and streetscape outcome along the Parramatta Light Rail interface with Church Street, if required	Church Street between Victoria Road and Pennant Hills Road	\$13,950,000	Short
41. Public domain works to deliver a quality urban design and streetscape outcome along the Parramatta Light Rail interface with Macquarie Street, if required	Macquarie Street between Church Street and Harris Street	\$5,250,000	Short
<b>Major program of works responding to CBD flooding issues</b>			
42. Drainage improvements across the CBD to reduce localised flooding and improve stormwater quality and quantity into the Parramatta River.	Throughout CBD	\$40,000,000	Short
43. Large-scale flood mitigation program of works to address flooding from the Parramatta River.	Throughout CBD	\$79,011,000	Medium
<b>Smart cities</b>			
44. CCTV and associated works	Throughout CBD	\$2,200,000	Short
45. Rationalisation of utilities e.g. undergrounding power in Auto Alley and North Parramatta	Throughout CBD	\$20,000,000	Short-Medium
46. Multi-function poles for non-major streets	Throughout CBD	\$2,640,000	Short
<b>Land and floorspace acquisition contingency</b>			
47. Additional aggregate cost component for land and floor space acquisition for local infrastructure broadly across the CBD. This item allows for 1 ha of land and 1 ha of floor space acquisition at market rates where land/floor space acquisition is required on a site and the landowner/developer cannot transfer an equivalent amount of floor space yield allocated for the community infrastructure elsewhere on the development site.	Throughout CBD	\$138,000,000	Short-Medium-Long

Item / description	Location	Estimate cost	Timing <sup>18</sup>
		\$573,901,590	

Table C4: Traffic and transport works

Description	Location(s)	Estimated cost	Timing <sup>19</sup>
<b>Pedestrian improvement</b>			
1. Pedestrian and street lighting under Parkes Street rail overbridge	Parkes Street at Railway Bridge	\$100,000	Short
2. Pedestrian safety improvements at a minimum of 10 locations throughout the CBD e.g. George Street, mid-block refuge	Minimum 10 locations throughout CBD	\$10,000,000	Short - Long
<b>CBD Bike Plan projects</b>			
3. North-south CBD cycle route consisting of a physically separated 2-way on-road cycleway along Marsden Street, Marist Place, Villers Street, Harold Street, and Church Street	Marsden Street, Marist Place, Villers Street, Harold Street, and Church Street	\$17,755,100	Short
4. East-West CBD cycle route consisting of a physically separated 2-way on-road cycleway along George Street and Arthur Street	George Street and Arthur Street	\$10,256,700	Short
5. Queens Wharf Reserve cycling link from Alfred Street Rosehill to George St Parramatta, connecting to the western end of the 2-8 River Road West path (Item 6)	Queens Wharf Reserve from Alfred Street to George Street	\$2,094,750	Short
6. Shared cycling and walking link under James Ruse Drive to 10-12 River Road West	James Ruse Drive to 10-12 River Road West	\$1,200,000	Short
7. Shared paths on the western side of Pitt Street between Argyle Street and Macquarie Street and the northern side of Macquarie between Pitt Street and O'Connell Street	West side of Pitt St between Argyle Street and Macquarie Street; and north side of Macquarie Street between Pitt Street and O'Connell Street.	\$472,500	Short
8. Fully lit, 2-way compliant pedestrian and cyclist cycleway from Queens Road to George Street through Parramatta Park providing an east-west connection.	Queens Road to George Street cycleway (through Parramatta Park)	\$20,000,000	Short
9. Cycling links along the western side of Church Street (south of Parkes) from Boundary Street to Parramatta Road	Church Street (south of Parkes) from Boundary Street to Parramatta Road	\$400,000	Short

<sup>19</sup> Short = years 1-5 (2021-2025); Medium = years 6-10 (2026-2030); Long = years 11+ (2031-2056).

Description	Location(s)	Estimated cost	Timing <sup>19</sup>
10. Cycling links along the eastern side of Church Street (south of Parkes) from Parkes Street to Junction Street	Church Street (south of Parkes) from Parkes Street to Junction Street	\$700,000	Medium
11. Cycling links on the north side of Parkes Street between Church Street and Station Street East	Northern side of Parkes Street between Church Street and Station Street East	\$50,000	Short
<b>Median islands</b>			
12. Median island in Marsden Street between Macquarie Street and George Street to ensure driveways are left in/left out – includes kerb realignment and new tree planting on the west side of the street	Marsden Street between Macquarie Street and George Street	\$1,000,000	Long
13. Median island in Parkes Street between Wigram Street and Harris Street to ensure driveways are all left in/left out	Parkes Street between Wigram Street and Harris Street	\$200,000	Long
<b>Intersection upgrades</b>			
14. Intersection upgrades across the Parramatta CBD to accommodate for increased pressure on the road network resulting from growth	10 locations throughout CBD	\$8,000,000	Short - Medium
15. Intersection upgrade and road widening at Harris Street and Parkes Street	Intersection of Harris Street and Parkes Street	\$5,000,000	Medium
<b>CBD road widenings</b>			
16. Road widening for the eastbound right turn bay for traffic turning from Parkes Street into Wigram Street	Intersection of Parkes Street and Wigram Street	\$3,000,000	Medium
17. Other road widenings associated with growth throughout North Parramatta and CBD	Throughout North Parramatta and CBD	\$50,000,000	Medium-Long
<b>Bridge Improvements</b>			
18. Duplicate Gasworks Bridge (Macarthur Street) – including a pedestrian and bike path on the western side	Gasworks Bridge	\$30,000,000	Medium
19. Marsden Street Bridge upgrade, including walking and cycling	Marsden Street Bridge	\$9,000,000	Short-Medium
20. Omitted as item already fully funded			

Description	Location(s)	Estimated cost	Timing <sup>19</sup>
<b>Last mile delivery facility</b>			
21. 'Last mile' delivery facility – to allow local deliveries and relieve pressure on CBD road network	To be confirmed. Potential location includes the ground floor of the metro site.	\$3,000,000	Medium
<b>Smart parking</b>			
22. Smart wayfinding, ticketless parking, on street smart metering, and parking data capture	Throughout CBD	\$4,000,000	Medium
		<b>\$176,229,050</b>	



## Appendix D: Works maps

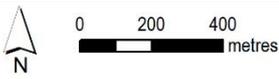
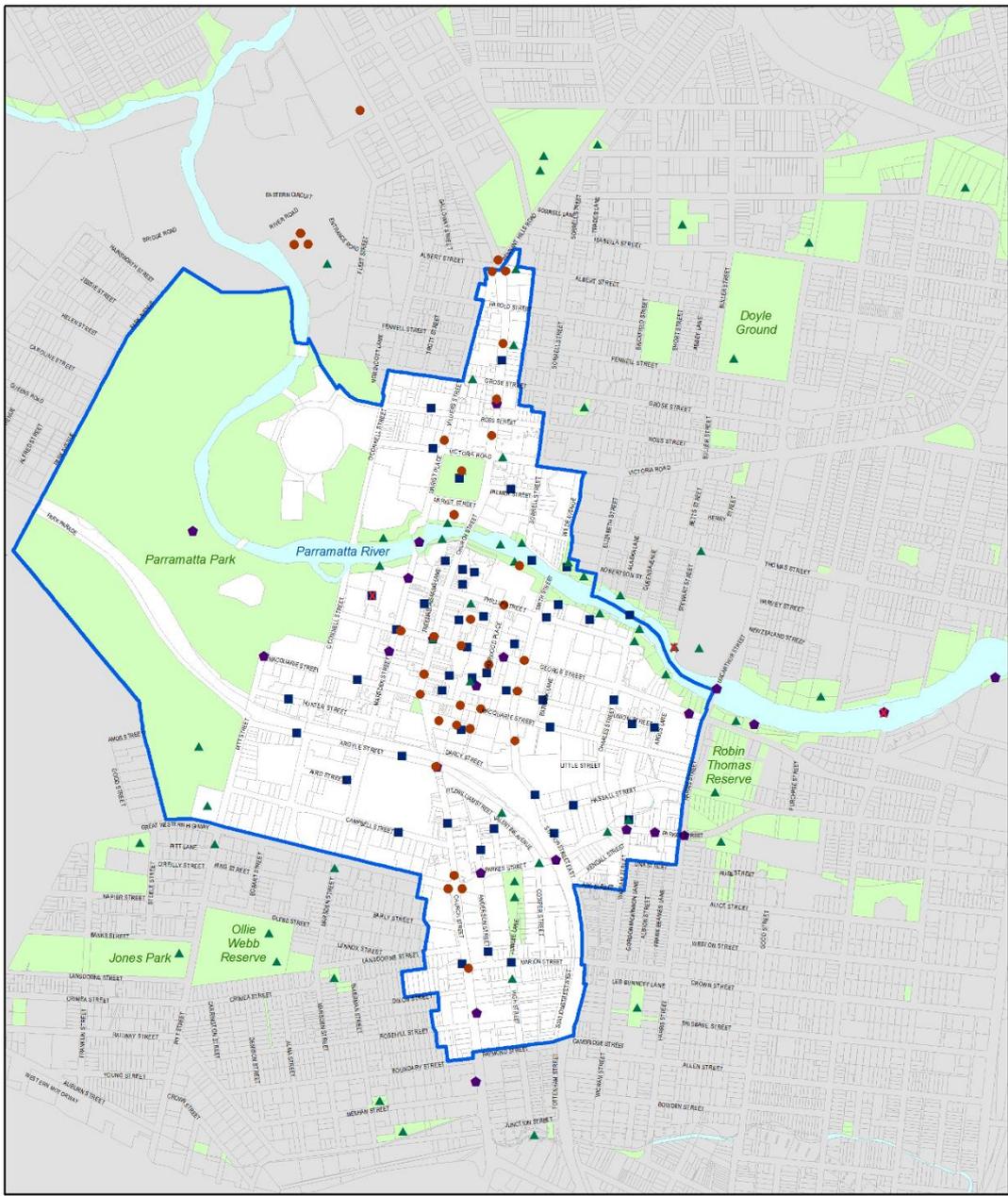
This appendix contains works map showing the locations of works items listed in the works schedule in Appendix C.

Works maps are shown in the following figures on the following pages:

- Figure D1: Summary works map
- Figure D2: Community facilities works
- Figure D3: Open space and recreation works
- Figure D4: Public domain works
- Figure D5: Traffic and transport works.

The numbering for each works item on each map corresponds to the numbering used in the works schedule tables in Appendix C.

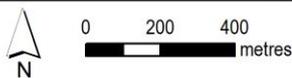
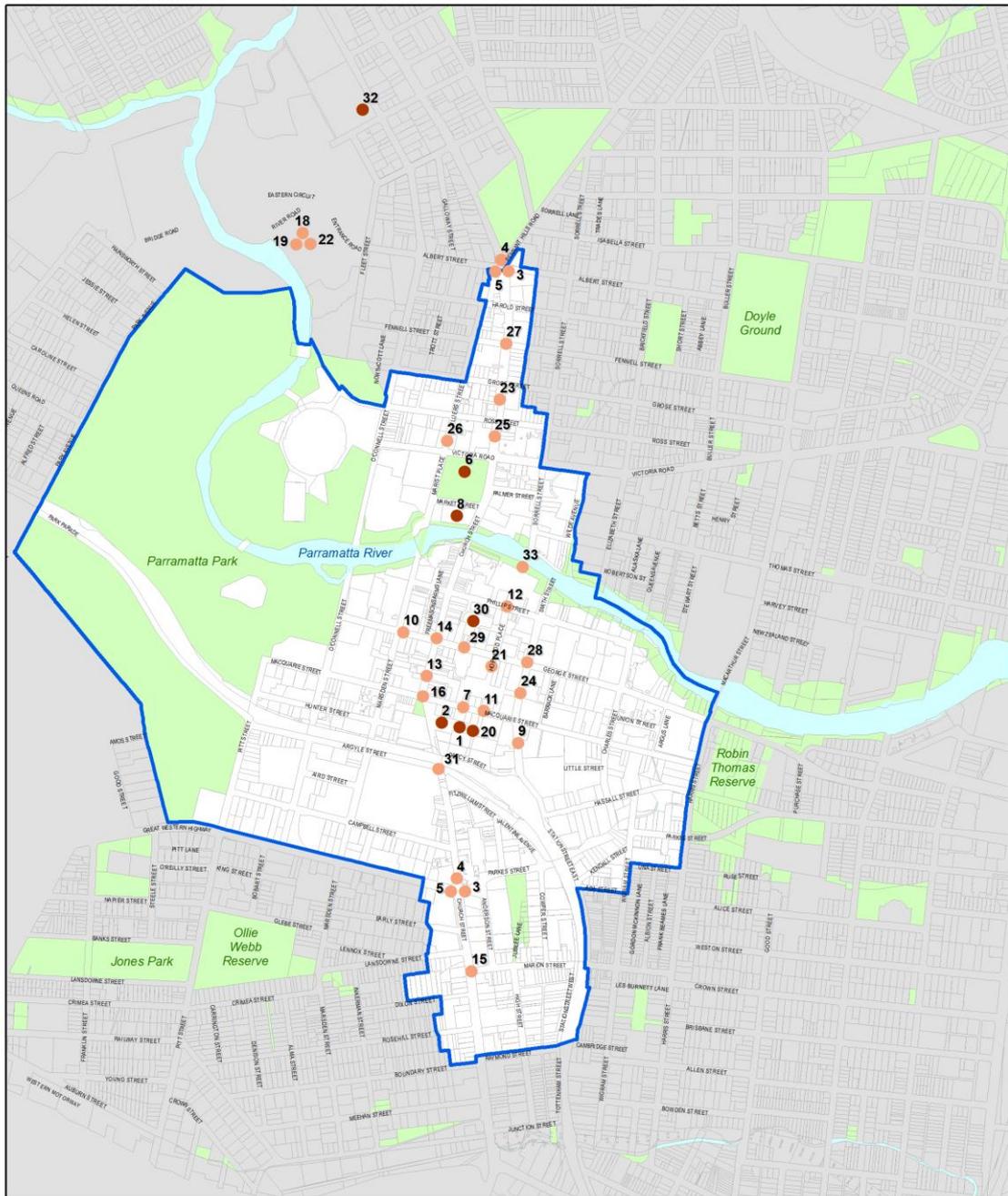
Figure D1 – Summary works map



**Summary Works Program**

- Community Facilities - See Figure D2
- ▲ Open Space and Recreation - See Figure D3
- Public Domain - See Figure D4
- ◆ Traffic and Transport - See Figure D5
- ✕ Item removed Post-Exhibition  
See Figures D3, D4 and D5

Figure D2 – Community facilities works



- Community Facilities**
- Generalised Location
  - Preferred Location

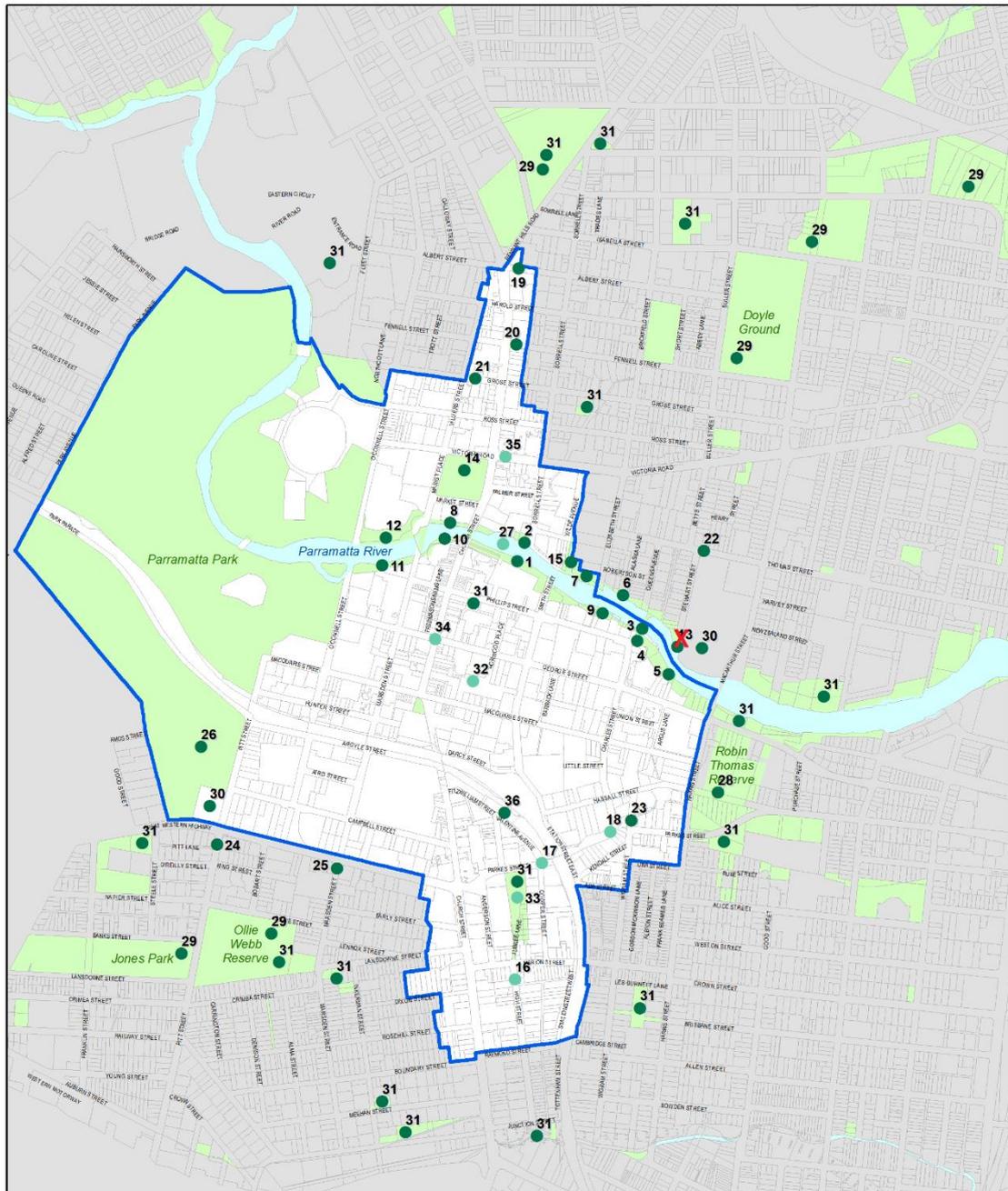
**NOTE:** Preferred Locations are used where the proposed location of the works item is known with some certainty and is described accordingly in the Works Program.

Generalised Locations are used where the proposed location of the works item is not known or described with certainty, such as items to be delivered in the medium-long term and only a general description of the location is used (e.g. Parramatta CBD)

**NOTE:** The following item is not shown on the map:  
17. Rydalmere Parramatta Artist Studios Facility



Figure D3 – Open space and recreation works



0 200 400 metres

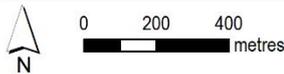
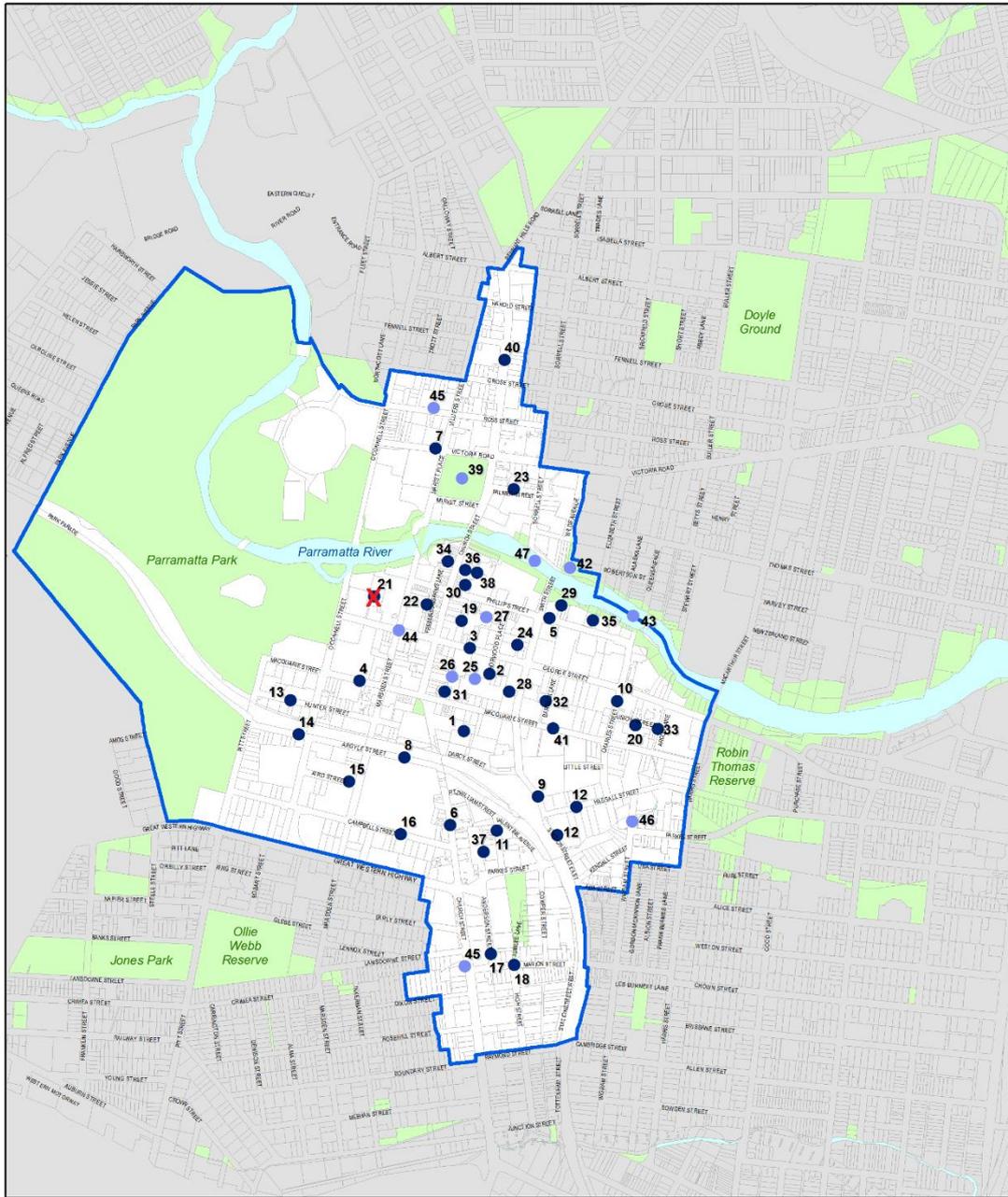
**Open Space and Recreation**

- Generalised Location
- Preferred Location
- X Item removed Post-Exhibition  
See Table C2

**NOTE:** Preferred Locations are used where the proposed location of the works item is known with some certainty and is described accordingly in the Works Program. Generalised Locations are used where the proposed location of the works item is not known or described with certainty, such as items to be delivered in the medium-long term and only a general description of the location is used (e.g. Parramatta CBD)



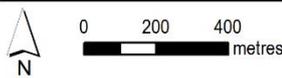
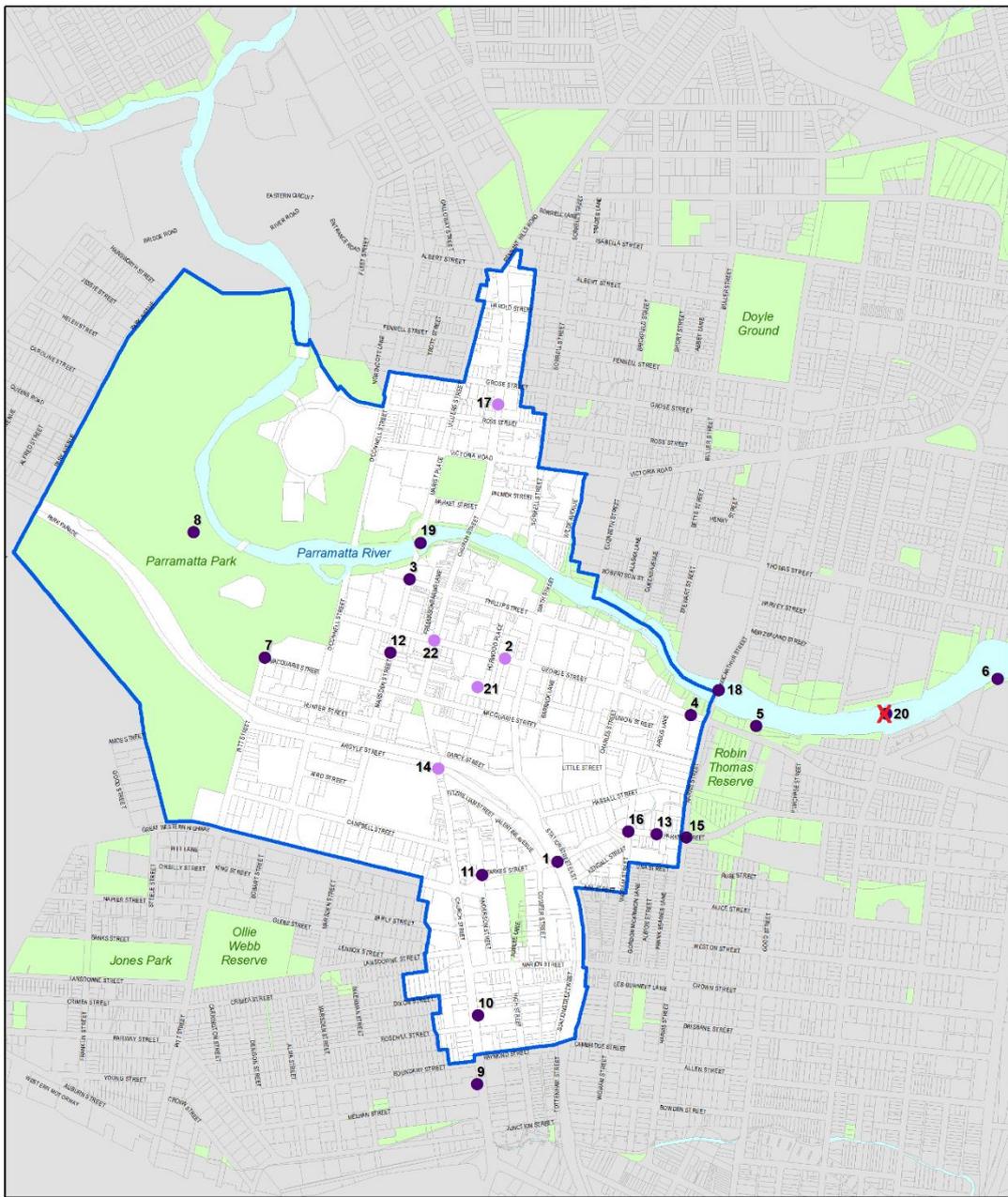
Figure D4 – Public domain works



- Public Domain**
- Generalised Location
  - Preferred Location
  - X Item removed Post-Exhibition  
See Table C3

**NOTE:** Preferred Locations are used where the proposed location of the works item is known with some certainty and is described accordingly in the Works Program. Generalised Locations are used where the proposed location of the works item is not known or described with certainty, such as items to be delivered in the medium-long term and only a general description of the location is used (e.g. Parramatta CBD)

Figure D5 – Traffic and transport works



**Traffic and Transport**

- Generalised Location
- Preferred Location
- X Item removed Post-Exhibition  
See Table C4

**NOTE:** Preferred Locations are used where the proposed location of the works item is known with some certainty and is described accordingly in the Works Program. Generalised Locations are used where the proposed location of the works item is not known or described with certainty, such as items to be delivered in the medium-long term and only a general description of the location is used (e.g. Parramatta CBD)



**CITY OF  
PARRAMATTA**

**REPORTS TO COUNCIL - FOR COUNCIL DECISION**

---

**ITEM NUMBER** 13.8  
**SUBJECT** LATE REPORT: Public Exhibition of Draft Delivery Program, Operational Plan and Budget (DPOP) 2024/25  
**REFERENCE** F2024/00282 - D09401448  
**REPORT OF** Corporate Strategy Manager; Rates & Receivables Manager; Chief Financial Officer

**CSP THEME:** Fair

This report will be provided in a Supplementary Agenda.

Dayne Glinkowski  
**Corporate Strategy Manager**

Robert Cologna  
**Group Manager, Strategic Land Use Planning**

Jennifer Concato  
**Executive Director City Planning and Design**

John Angilley  
**Executive Director Finance & Information**

Gail Connolly  
**Chief Executive Officer**

**ATTACHMENTS:**

**REFERENCE MATERIAL**

**NOTICES OF MOTION**

**22 APRIL 2024**

14.1	Parking Issues in Newington and Lidcombe (Carter Street) - Event Parking and Demand for On-Street Parking in Residential Areas .....	484
14.2	Wentworth Point High School - Construction of Oval .....	485
14.3	'No Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters.....	491

**NOTICE OF MOTION**

---

<b>ITEM NUMBER</b>	14.1
<b>SUBJECT</b>	Parking Issues in Newington and Lidcombe (Carter Street) - Event Parking and Demand for On-Street Parking in Residential Areas
<b>REFERENCE</b>	F2024/00282 - D09334798
<b>FROM</b>	Deputy Lord Mayor Clr Dr Patricia Prociv

**MOTION**

That the CEO provide a report to Council following the adoption of the upcoming City of Parramatta Car Parking Strategy that:

- (a) Investigates options to introduce the Newington rollback kerb parking proposal;
- (b) Investigates the issuing of event parking permits for residents of Newington and Lidcombe (Carter Street); and
- (c) Includes the results of the previous surveys, an approximate timeline for any suburb wide surveys, the financial implications of undertaking letterbox surveys of residents, social media, and pop-up consultations; and any relevant amendments that may become necessary to the Parking Enforcement Policy as a result of the introduction of the abovementioned initiatives.

**BACKGROUND**

To be provided.

**STAFF RESPONSE**

A staff response will be provided in the Supplementary Agenda.

Patricia Prociv

**Deputy Lord Mayor Clr Dr Patricia Prociv**

Jennifer Concato

**Executive Director City Planning and Design**

George Bounassif

**Executive Director City Assets and Operations**

Gail Connolly

**Chief Executive Officer**

**ATTACHMENTS:**

There are no attachments for this report.

**NOTICE OF MOTION**

---

**ITEM NUMBER** 14.2  
**SUBJECT** Wentworth Point High School - Construction of Oval  
**REFERENCE** F2024/00282 - D09388663  
**FROM** Councillor Paul Noack

**MOTION**

- (a) That Council supports the delivery of the Wentworth Point oval for the high school (in addition to the delivery of a 3.9ha Peninsula Park).
- (b) That Council notes the confidential advice received from staff on 21 December 2023 on the status of the Wentworth Point, Peninsula Park Precinct Support Scheme Funding Agreement.
- (c) That Council notes there are existing covenants registered on the site that require the construction of the Peninsula Park prior to the issue of the residential Occupation Certificate that would authorise the occupancy of more than 350 units on the Landcom mixed-use site. These covenants were registered in 2016.
- (d) That Council notes and reaffirms its position in its previous resolutions of 28 March 2022, 10 July 2023 and 20 November 2023.
- (e) That the Lord Mayor write to the State Member for Parramatta, Donna Davis MP and the Minister for Planning and Public Spaces, the Hon Paul Scully MP calling on urgent action by the NSW Government to deliver the oval and Peninsula Park.

**BACKGROUND**

1. Refer to attachment.

**STAFF RESPONSE**

2. The letters can be prepared within existing resources.

**FINANCIAL AND RESOURCE IMPLICATIONS**

3. Nil financial impacts on the budget arising from adoption of this Motion.

Paul Noack  
**Councillor**

Jennifer Concato  
**Executive Director City Planning and Design**

Roxanne Thornton  
**Chief Governance & Risk Officer**

Gail Connolly  
**Chief Executive Officer**

**ATTACHMENTS:**

- |   |   |       |
|---|---|-------|
| <a href="#">1</a>  | Attachment 1 - Wentworth_Point_schools_update_-               | 4     |
|                    | _December_2023 (NSW Dept of Education - School Infrastructure | Pages |

## NSW Department of Education – School Infrastructure

Artist impression of Burroway Road



# Wentworth Point Schools

Project update | December 2023

As part of the NSW Government's plan to rebuild essential services, the 2023-24 Budget is delivering a record \$8.8 billion for new and upgraded schools. This targeted investment in growing communities will ensure working families get access to a world class public education.

The 2023-24 Budget committed funding to progress with the upgrade to Wentworth Point Public School and the Wentworth Point new high school.

## Wentworth Point Public School upgrade – Stage 2

### Project overview

A project to upgrade Wentworth Point Public School is in progress. The upgrade will include additional modern, fit-for-purpose permanent classrooms to meet growing enrolment demand in the area. The library will be reconfigured to better suit the needs of the school, with open spaces maximised and the temporary demountable buildings removed.

### Progress update

- The Development Application (DA) for the upgrade was lodged with City of Parramatta Council and placed on public exhibition in August 2023. Public exhibition has now closed and the application is under review by Council.
- A community information session was held in July 2023 to answer any questions about the upgrade project and the Wentworth Point new high school project.
- School Infrastructure NSW have responded to questions raised by Council and community members, as part of the DA process. All relevant documents can be found by searching **DA/425/2023** in the DA Tracker tab on the Council website at the link here. <https://onlineservices.cityofparramatta.nsw.gov.au/ePathway/Prod/Web/default.aspx>.

### Next steps

- Council will review the Development Application. When satisfied they will grant approval and provide conditions of consent
- The tender process for a contractor to undertake the works will soon begin
- The contractor will work with School Infrastructure NSW (SINSW) to determine a timeline for the completion of the work as soon as possible
- The final detailed designs for the upgrade will be developed with the contractor, SINSW and school leadership
- Investigation works will take place during the Summer holiday period
- Preparation works began in November to install two new temporary demountable classrooms at the end of this term. Further details are provided in a separate works notification distributed with this update.

School Infrastructure NSW  
Email: [schoolinfrastructure@det.nsw.edu.au](mailto:schoolinfrastructure@det.nsw.edu.au)  
Phone: 1300 482 651  
[www.schoolinfrastructure.nsw.gov.au](http://www.schoolinfrastructure.nsw.gov.au)



## NSW Department of Education – School Infrastructure

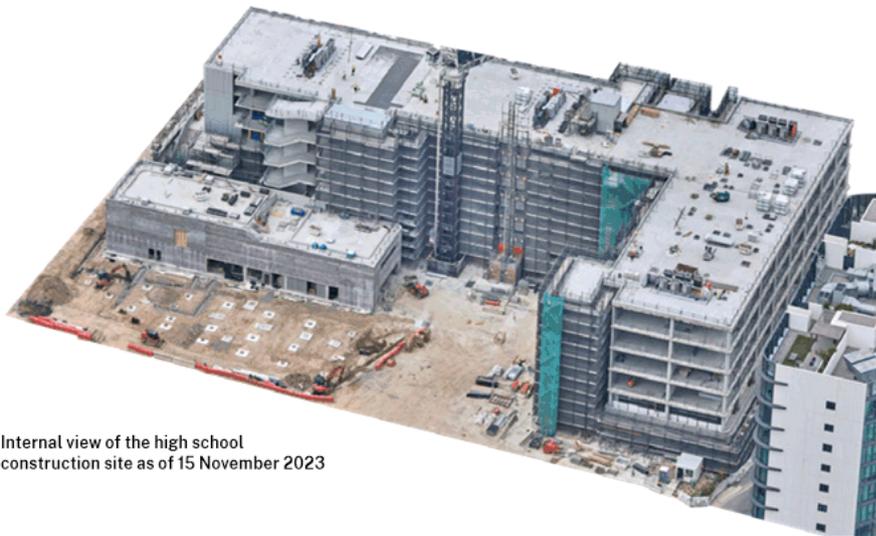
## Wentworth Point new high school

### Project overview

A new high school is being developed to cater for the growing population in the Wentworth Point, Sydney Olympic Park, Newington, Silverwater and Rhodes communities. The school will be located on 7 Burroway Road, Wentworth Point. The completed high school will have flexible classrooms and learning spaces for approximately 1,500 students, as well as a multipurpose hall for sports and performance, outdoor spaces including landscaped recreation areas, games courts and canteen facilities. In keeping with the December 2022 project update, the school is on track to open for Year 7 students in Term 1 2025.

### Progress update

- The building has now 'topped out' marking the completion of the concrete structure for the school
- The façade (outside face of the building) is in progress
- We have power! The site is now connected to power and generators have been removed
- Underground works in Burroway Road for key water and sewerage infrastructure is near complete
- Internal fit out and classroom walls are being installed
- A modification, primarily to increase the height of the lift shaft has been lodged with the NSW Department of Planning and Environment (DPE).



Internal view of the high school construction site as of 15 November 2023



**23,000  
Tonnes**

of Concrete were poured for the structure of the new high school.

### Next steps

- Internal fit out and establishment of IT and Security services
- As part of the State Significant Development (SSD) approval conditions of consent, some public domain improvements will be required to increase pedestrian safety in the local road network including the installation of new pedestrian crossings on Burroway Road and Footbridge Boulevard. Consultation on these improvements is occurring through City of Parramatta Council (Burroway Road) and the Marina Square Community (Wentworth Place).
- **Once the City of Parramatta Council has approved the Transport for NSW modification to change the location of Ridge Road to allow for new playing fields; a State Significant Development (SSD) modification will be submitted to the NSW Department of Planning and Environment (DPE) for Phase 2 of the high school**
- Final approval of the new school name from the Geographical Names Board.

School Infrastructure NSW  
Email: [schoolinfrastructure@det.nsw.edu.au](mailto:schoolinfrastructure@det.nsw.edu.au)  
Phone: 1300 482 651  
[www.schoolinfrastructure.nsw.gov.au](http://www.schoolinfrastructure.nsw.gov.au)



## NSW Department of Education – School Infrastructure

## Wentworth Point new high school frequently asked questions

**When will enrolments open?**

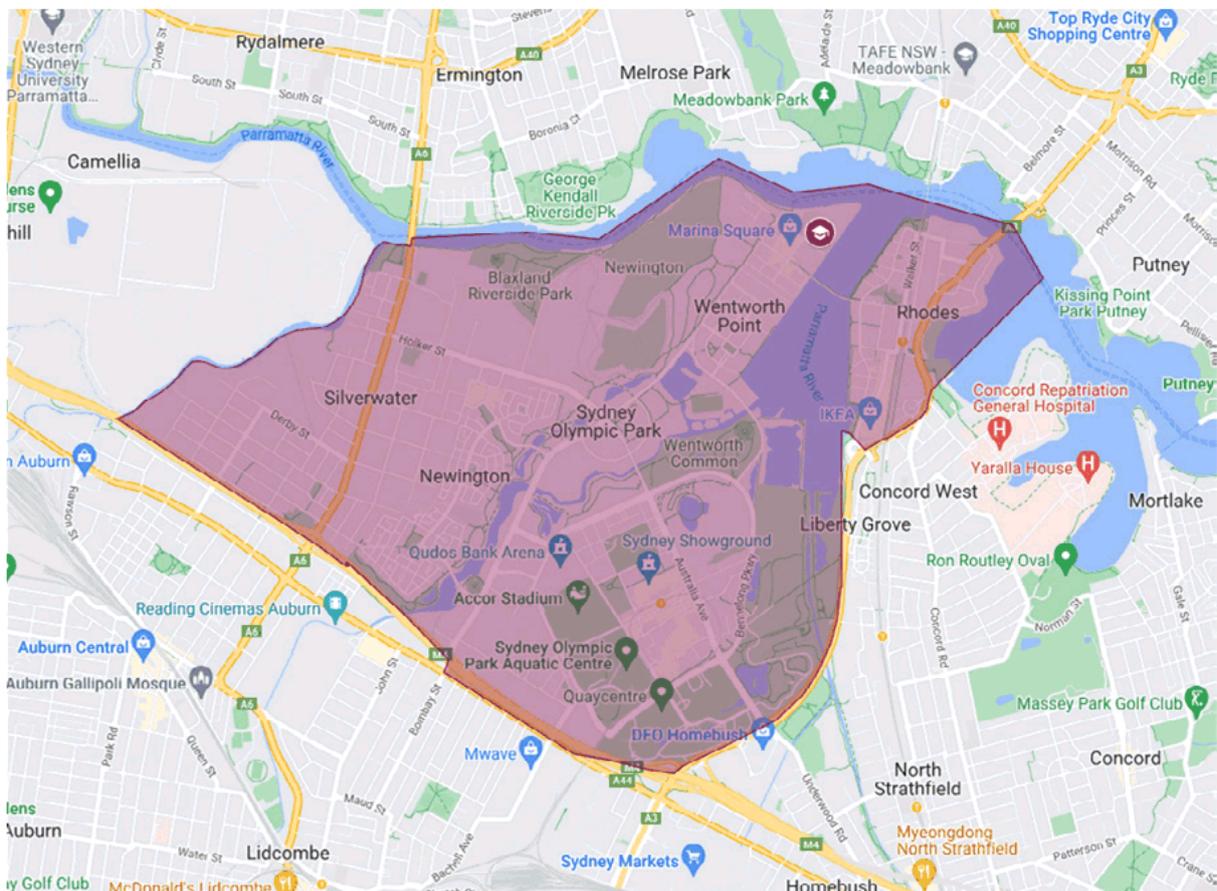
In keeping with the December 2022 project update, the school is on track to open for Year 7 students in Term 1 2025. Enrolments will open in early 2024 for this cohort. Parents will be able to enrol their students if they live within the new intake area for the school. The Year 6 to Year 7 transition expression of interest takes place during Year 6. More information about enrolment will be provided in early 2024.

**What will the intake area be?**

The intake area for Year 7 2025 has now been finalised and is shown in the image below. The new intake area caters to the growing population in the Wentworth Point, Sydney Olympic Park, Newington, Silverwater and Rhodes communities.

In January 2024 this will be updated to school finder. To check what intake area you live in, you will be able to visit school finder <https://schoolfinder.education.nsw.gov.au/> and type in your address.

This intake area is based on up-to-date enrolment figures for the area, and suitable sustainable travel options and public transport routes. The intake area may change in future years as the demographic needs shift in the area.



School Infrastructure NSW  
Email: [schoolinfrastructure@det.nsw.edu.au](mailto:schoolinfrastructure@det.nsw.edu.au)  
Phone: 1300 482 651  
[www.schoolinfrastructure.nsw.gov.au](http://www.schoolinfrastructure.nsw.gov.au)



## NSW Department of Education – School Infrastructure

**When will the Principal be named and teaching jobs be available?**

The role of Principal of the new high school is expected to be advertised and filled in Term 1 2024. Following the appointment of the Principal, other key leadership positions will be advertised, and regular teaching positions will be advertised as per usual public school employment procedures.

**What year groups will the school open with and why?**

In keeping with the December 2022 project update, the school is on track to open or Year 7 students in Term 1 2025. This means that in 2026 the school will cater for Year 7 and 8, and in 2027 it will cater for Year 7-9 and so on. The new high school will see its first Year7-12 cohort in 2030. Students in older year groups will continue to be accommodated at other local schools.

This staggered enrolment process is normal for new high schools across the state. The process of growing a school allows adequate numbers of students and teaching staff to deliver a full curriculum based on the elective preferences of the students at the school. The gradual process allows the school to develop the culture, while establishing systems and processes in consultation with key stakeholders to reflect the school's growing identity.

**What if I have an older student at another school? Can my children stay at the same school?**

If you have students in Year 8 and above at Concord High School or another school and you wish to keep your students at the same school, you will be able to apply for an out of area enrolment for your younger child to attend the same school.

**Will construction be complete for the school opening?**

Construction of the State Significant Development approved works (the two main buildings, amenities block and landscaping) will be complete for the school opening in 2025.

We will provide an update on the timeline for other works as soon as possible.

**Staying informed**

School Infrastructure NSW will continue to share construction updates and project information as both projects progress. We will continue to keep the local community informed through project updates and works notifications, information booths and drop in sessions and website updates.

For more information, to see past resources, or to sign up to receive our updates via email, please visit our websites:

Wentworth Point Public School [edu.nsw.link/WPPS](https://www.edu.nsw.link/WPPS)

Wentworth Point new high school [edu.nsw.link/WPNHS](https://www.edu.nsw.link/WPNHS)

The School Infrastructure NSW office will be closed from 5 pm Friday 22 December 2023 to 9 am Monday 8 January 2024, inclusive. You can continue to contact us during this time, and we will get back

to you after we return. If there is an urgent issue, please contact the site manager listed on the construction site entry. In an emergency, please call triple zero (000).



For a **Translation and Interpreting Service** call **131 450** and ask them to call the Department of Education - School Infrastructure NSW on **1300 482 651**.



如果需要翻译和口译服务，请打电话 **131 450**，请他们打电话**1300 482 651** 给新州教育部学校基础设施处。

School Infrastructure NSW  
Email: [schoolinfrastructure@det.nsw.edu.au](mailto:schoolinfrastructure@det.nsw.edu.au)  
Phone: 1300 482 651  
[www.schoolinfrastructure.nsw.gov.au](http://www.schoolinfrastructure.nsw.gov.au)



## NOTICE OF MOTION

---

<b>ITEM NUMBER</b>	14.3
<b>SUBJECT</b>	'No Grounds' Evictions and Emergency Bookings for Clean Up Service for Renters
<b>REFERENCE</b>	F2024/00282 - D09397888
<b>FROM</b>	Councillor Kellie Darley

### MOTION

- (a) That Council note that about 46% of households in the Parramatta LGA are renters, representing one of the highest proportion of renters across NSW, well above Greater Sydney at 36% and NSW at 33%.
- (b) That Council note about 30,000 people a year in NSW receive a no grounds eviction, including around 4 households every day in Parramatta LGA, and these evictions are disruptive, costly and impact on residents well-being.
- (c) That Council note the NSW Government has committed to ending no grounds evictions for all renters.
- (d) That Council implements emergency bookings (7 days' notice) for council clean ups for residents who have received an eviction with only 30 days' notice, as a way to support renters and potentially reduce illegal dumping.

### BACKGROUND

1. Nearly half of all households in the City of Parramatta are rented (45.8% in the 2021 Census), representing one of the highest proportions of renting households in NSW and making up 4.5% of all renters across the state. This is up from 34% in 2001. (Australian Bureau of Statistics)
2. Just over 11% of all tenancies end in NSW as a result of a 'no grounds' eviction. The majority of renters in NSW are currently on a fixed term agreement (58%) and those who are on a fixed term agreement are more likely to face a 'no grounds' eviction (71%). (Tenants Union of NSW)
3. The existence of no grounds evictions means renters live in fear of being evicted for no good reason and it acts as a deterrent for renters to request repairs to their home or negotiate rent increases. Over the longer term and at a systemic level, this has effects on the quality of rental housing stock and on the quality of life of all renting households.
4. Evictions are disruptive and costly to renting households who are displaced from their homes. In a housing crisis with rapidly increasing rents, individuals and families are at risk of being forced out of their communities, and away from their jobs, education and support networks.
5. 2022 Research by the Tenants Union of NSW found that renting households in NSW face basic costs of \$2,520 when they move, and generally are more likely to face costs of around \$4,075 to move house. These costs are difficult for many households to meet, creating further pressure on household budgets and for the most vulnerable renters driving a cycle of poverty.

6. The disruption caused by evictions is not confined to the households affected. Over 80% of private renters have moved in the last 5 years. One third have moved between 2 - 3 times; and 10% have moved 5 times or more. This impact is felt in communities, as support networks are disrupted, neighbourhood cohesion is impacted and schools, childcare centres and local services have to respond to populations who are forced to move much more often than they want to.
7. A lack of stability and security for renting households also makes it harder for members of these households to invest time in the community organisations and networks that allow our communities to thrive - including sporting clubs, P&Cs, community gardens and other volunteer organisations. This effect becomes more pronounced the greater the proportion of renting households in a community. Parramatta has one of the highest proportions of renting households in NSW.
8. Council can help ease the burden for residents when they receive a 30 days 'no-grounds' notice by providing emergency bookings of a Council clean up and promoting the availability of this service. Currently, the average wait time for a Council clean-up is 15 days. While I understand Council already provides emergency bookings in some situations when requested, this is not well known and not actively promoted. The development of clear guidelines would make sure the service is appropriately used and consistently administered and will also assist with reducing the levels of illegal dumping experienced in our City.
9. I have personally experienced being evicted with no grounds, but thankfully received 90 days' notice. In sharing my experience, I have been reminded of the significant impact no grounds evictions has had, and will continue to have, on many families and other households in our City. It is vitally important that we understand the plight of residents renting in our LGA and provide the necessary support and services.

**Executive Director City Assets and Operations Response:**

In response to requests, Council extends support to community members facing similar eviction situations as described above on average twice per year. These requests undergo thorough investigation to verify their authenticity (identity, genuine eviction, etc). However, it should be noted that they demand the diversion of considerably more resources to implement a clean-up, compared to regular online bookings. (The average wait time for a regular clean-up is 15 days).

Kellie Darley  
**Councillor**

George Bounassif  
**Executive Director City Assets and Operations**

Gail Connolly  
**Chief Executive Officer**

**ATTACHMENTS:**

There are no attachments for this report.

## **QUESTIONS WITH NOTICE**

**22 APRIL 2024**

15.1	Council's Kerbside Clean Up Service .....	494
15.2	Provision of Bus Shelters in City of Parramatta .....	496
15.3	Additional Questions taken on Notice at the 25 March 2024 Council Meeting.....	498
15.4	Questions Taken on Notice at the 8 April 2024 Council Meeting.....	500

**QUESTIONS WITH NOTICE**

---

<b>ITEM NUMBER</b>	15.1
<b>SUBJECT</b>	Council's Kerbside Clean Up Service
<b>REFERENCE</b>	F2024/00282 - D09359185
<b>REPORT OF</b>	Councillor Kellie Darley

**CSP THEME:** Accessible, Fair

**QUESTION WITH NOTICE:**

- How many Council clean ups have been booked each year for the last 5 years?

**Executive Director, City Assets & Operations Response:**

2019	2020	2021	2022	2023
34,179	49,665	51,155	40,971	49,686

- What is the total weight of material being collected through pre-booked Council clean ups annually for the last 5 years?

**Executive Director, City Assets & Operations Response:**

2019	2020	2021	2022	2023
6,559T	7,324T	8,538T	9,090T	8,214T

- What percentage of eligible households made use of the pre-booked Council clean ups in 2023? And what is the average number of council clean ups booked annually per eligible household?

**Executive Director, City Assets & Operations Response:**

The pre-booked clean up service was utilised by 53% of eligible households, (excludes unit complexes with scheduled clean ups).

The average is 2 per eligible household.

- What is the average wait time to book in a Council clean up, and how does this change throughout the year?

**Executive Director, City Assets & Operations Response:**

The average time to book a clean up in 2023 was 15 days. The lowest wait time is approximately 10 days, with highest wait times experienced during the Christmas and New Year holiday period where the wait time can increase to 21 days due to high levels of demand and contractor availability.

- How many cases of illegal dumping were there outside homes on road reserves where a council clean up wasn't booked each year for the last few years?

**Executive Director, City Assets & Operations Response:**

The information requested is recorded on two different corporate systems and would require manual overlay to compare and provide the information requested. Given the volume of information that needs to be processed (approximately 41,000 records in one data set), the diversion of staff resources to prepare this information would require a motion/resolution of Council or external resourcing.

**ATTACHMENTS:**

There are no attachments for this report.

**REFERENCE MATERIAL**

**QUESTIONS WITH NOTICE**

---

<b>ITEM NUMBER</b>	15.2
<b>SUBJECT</b>	Provision of Bus Shelters in City of Parramatta
<b>REFERENCE</b>	F2024/00282 - D09391671
<b>REPORT OF</b>	Councillor Kellie Darley

**QUESTION WITH NOTICE:**

Sweltering Cities recently released a report into the uneven distribution of bus shelters across Sydney and the important role they play in keeping people safe from extreme weather and supporting more people to use public transport - <https://swelteringcities.org/2024/03/13/sydneys-busted-bus-stops-report/>.

Unfortunately, Parramatta LGA wasn't profiled in the report so our community isn't able to better understand the provision of bus shelters in the City of Parramatta from the report.

1. How many bus stops in the Parramatta LGA have a bus shelter and what proportion is this of the total?

**Executive Director, City Assets & Operations Response:**

There are 282 bus stops with shelters, representing approximately 24% in total.

2. How many new bus shelters has Council installed annually over the last few years?

**Executive Director, City Assets & Operations Response:**

There have been no new shelters installed in the previous 3 years.

3. What is the program of works for new bus shelters over the coming few years?

**Executive Director, City Assets & Operations Response:**

Due to the current bus shelter contract negotiations, this information is commercial in confidence.

4. What is the average cost of a bus shelter?

**Executive Director, City Assets & Operations Response:**

Due to the current bus shelter contract negotiations, this information is commercial in confidence.

5. What have been the outcomes of Council resolution 4404 regarding Bus Shelters Advertising, Cleaning and Maintenance Services?

**Executive Director, City Assets & Operations Response:**

Council is currently negotiating with potential suppliers.

**ATTACHMENTS:**

There are no attachments for this report.

**REFERENCE MATERIAL**

## QUESTIONS WITH NOTICE

---

<b>ITEM NUMBER</b>	15.3
<b>SUBJECT</b>	Additional Questions taken on Notice at the 25 March 2024 Council Meeting
<b>REFERENCE</b>	F2024/00282 - D09394830
<b>REPORT OF</b>	Council Secretariat & Policy Officer

**CSP THEME:** Accessible

## QUESTION TAKEN ON NOTICE

**Councillor Darley** asked the following questions on Item 12.1 Minutes of Audit Risk and Improvement Committee Meeting held on 23 November 202

1. [Can the Agenda and Minutes of the ARIC meetings be published on the website?](#)

**Executive Director Finance and Information response:**

ARIC minutes are already published on Council's website by way of its inclusion in a Council meeting business paper. ARIC meetings are not public meetings, and therefore the publication of the agenda on Council's website is not appropriate.

2. [Can we have a Workshop on the key findings of Internal Audits and the recommendations, it's similar to Internal Service Ombudsman report we get?](#)

**Executive Director Finance and Information response:**

The role of a Councillor Representatives on the ARIC is to advise the governing body (as necessary) of the work of the ARIC and any issues arising from its operations, including key findings of internal audits.

Staff can arrange a Councillor Workshop to provide an opportunity for the Councillor representatives from ARIC, or the Chairperson of ARIC, to present the key findings of the internal audits.

Staff will also investigate the preparation of an summary report on internal audit findings similar to the IOSS report.

---

**Councillor Bradley** asked the following questions on Item 12.1 Minutes of Audit Risk and Improvement Committee Meeting held on 23 November 2023

- [Can we have an alternate Councillor fill in when the main Councillor is unavailable?](#)

**Executive Director Finance and Information response:**

Neither the current ARIC charter, nor the Office of Local Government Guidelines for Risk Management and Internal Audit for Local Government in NSW allow for alternate representatives.

**ATTACHMENTS:**

There are no attachments for this report.

**REFERENCE MATERIAL**

**QUESTIONS WITH NOTICE**

---

<b>ITEM NUMBER</b>	15.4
<b>SUBJECT</b>	Questions Taken on Notice at the 8 April 2024 Council Meeting
<b>REFERENCE</b>	F2024/00282 - D09394891
<b>REPORT OF</b>	Council Secretariat & Policy Officer

**QUESTIONS TAKEN ON NOTICE:**

**Councillor Garrard** asked a question in relation to Item 8.1 Youth Week 2024.

Most of the programs listed seem to be targeted towards youth aged 17 and below. Which programs are for older (aged 17-24) youth?

**Councillor Pandey** asked a question in relation to Item 8.1 Youth Week 2024.

Will the any of the events for this year be focused on the Emerging Civic Leadership program?

**Executive Director Community and Culture response:**

A staff response will be provided in the Supplementary Agenda.

---

**Deputy Lord Mayor Dr Councillor Prociv** asked a question in relation to Item 12.1 Referral of Inspection Reports by Fire and Rescue NSW.

Why have Fire Safety orders been served in Wentworth Point and not in Northmead?

**Executive Director City Assets and Operations Response:**

A staff response will be provided in the Supplementary Agenda.

---

**Councillor Garrard** asked three questions in relation to Confidential Item 16.1 Lake Parramatta Reserve Swimming Area (Area A) Lackey Street, North Parramatta.

**Executive Director Community and Culture response:**

A staff response will be provided in the Supplementary Agenda.

**ATTACHMENTS:**

There are no attachments for this report.