

NOTICE OF COUNCIL MEETING

PUBLIC AGENDA

An Ordinary Meeting of City of Parramatta Council will be held in PHIVE (COUNCIL CHAMBER) COUNCIL CHAMBER AT 5 PARRAMATTA SQUARE, PARRAMATTA on Monday, 24 June 2024 at 6.30PM.

Gail Connolly PSM
CHIEF EXECUTIVE OFFICER

EMERGENCY EVACUATION DIAGRAM

Level 4 East

2 Civic Place, Parramatta NSW 2150

Evacuation Procedures

IN CASE OF FIRE

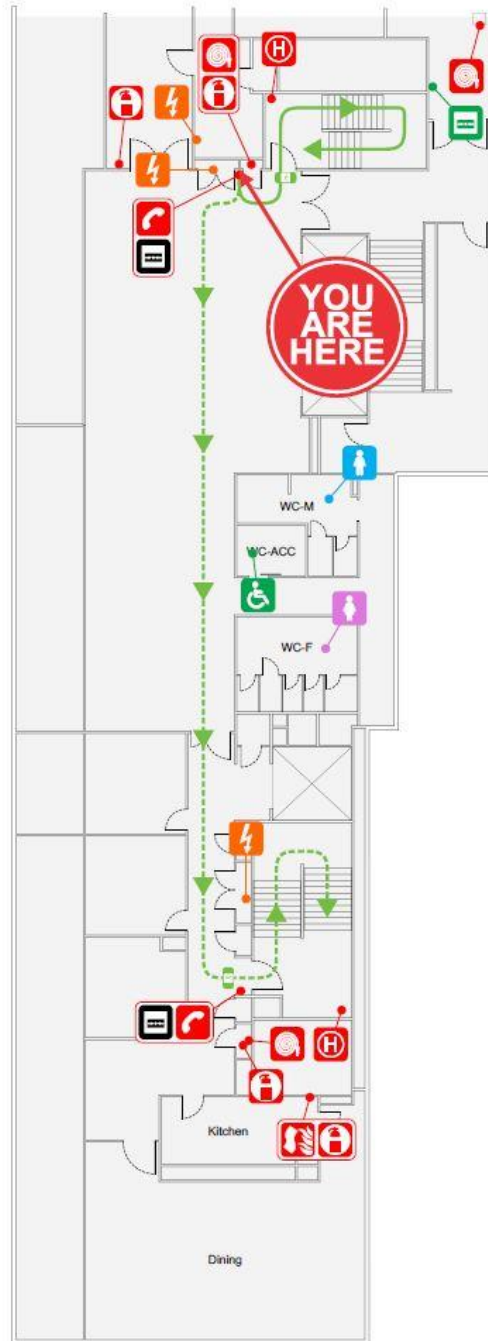
- (R)** REMOVE people from immediate danger
- (A)** ALERT people nearby and raise an alarm (Dial 000)
- (C)** CONFINE fire and smoke (Close doors behind you if safe to do so)
- (E)** EVACUATE via the nearest emergency exit

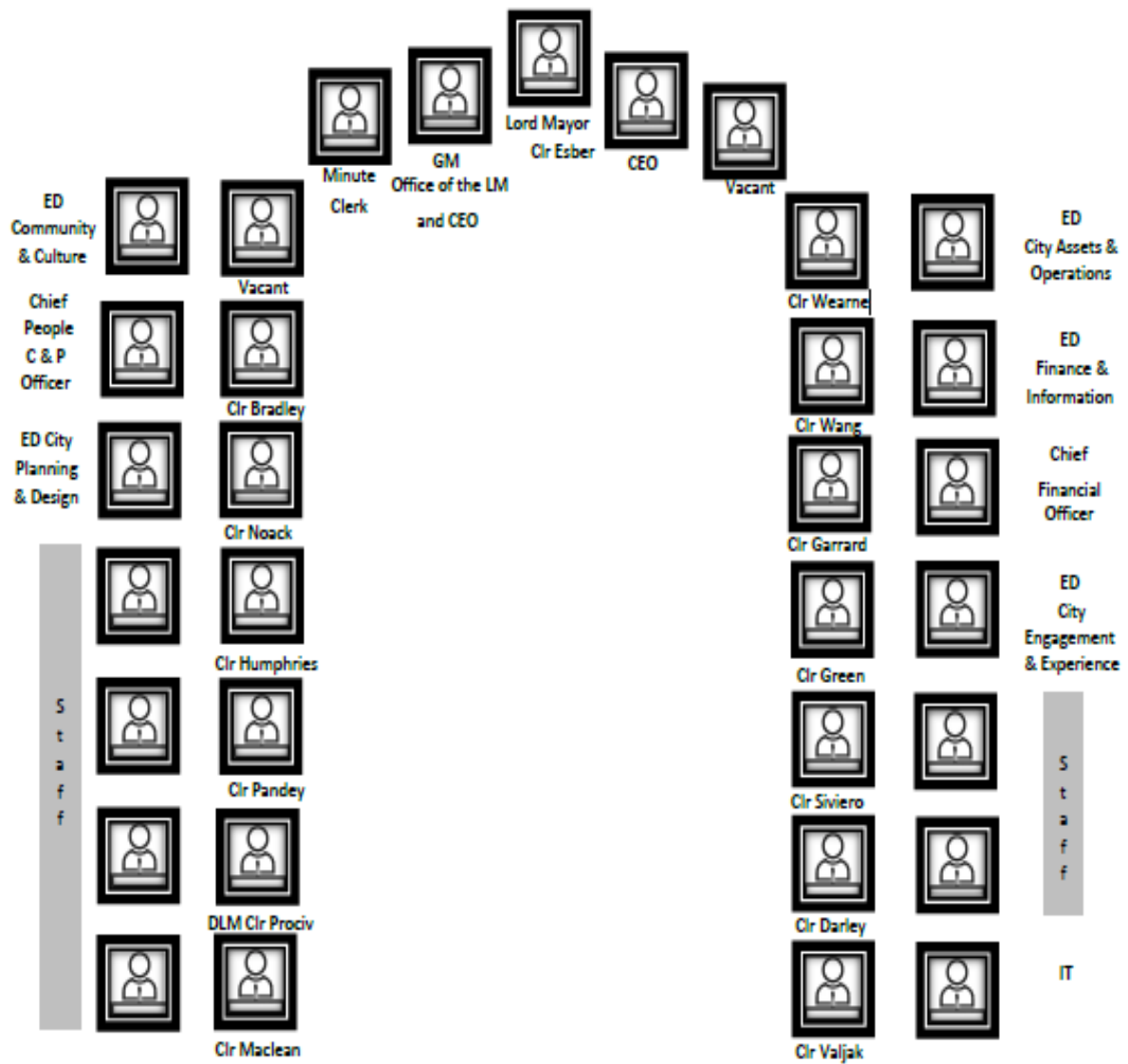
Legend

Amenities Disabled	Amenities Female	Amenities Male	
Emergency Door Release	Emergency Call Point	Dry Chemical Powder	
Fire Blanket	Hose Reel	Hydrant	Switchboard
Warden Intercommunication Point	Exit		
Alternate Evacuation Path	Evacuation Path	Assembly Area	

Site Plan

Parramatta PHIVE





PUBLIC & PRESS GALLERY

STATEMENT OF ETHICAL OBLIGATIONS:

In accordance with clause 3.23 of the Model Code of Meeting Practice, Council is obligated to remind Councillors of the oath or affirmation of office made under section 233A of the Local Government Act 1993, and of their obligations under Council's Code of Conduct to disclose and appropriately manage conflicts of interest – the ethical obligations of which are outlined below:

Obligations	
Oath [Affirmation] of Office by Councillors	I swear [solemnly and sincerely declare and affirm] that I will undertake the duties of the office of Councillor in the best interests of the people of the City of Parramatta Council and the City of Parramatta Council that I will faithfully and impartially carry out the functions, powers, authorities and discretions vested in me under the Local Government Act 1993 or any other Act to the best of my ability and judgement.
Code of Conduct Conflict of Interests	
Pecuniary Interests	<p>A Councillor who has a pecuniary interest in any matter with which the Council is concerned, and who is present at a meeting of the Council at which the matter is being considered, must disclose the nature of the interest to the meeting.</p> <p>The Councillor must not be present at, or in sight of, the meeting:</p> <ol style="list-style-type: none"> At any time during which the matter is being considered or discussed, or At any time during which the Council is voting on any question in relation to the matter.
Non-Pecuniary Conflict of Interests	A Councillor who has a non-pecuniary conflict of interest in a matter, must disclose the relevant private interest in relation to the matter fully and on each occasion on which the non-pecuniary conflict of interest arises in relation to the matter.
Significant Non-Pecuniary Conflict of Interests	A Councillor who has a significant non-pecuniary conflict of interest in relation to a matter under consideration at a Council meeting, must manage the conflict of interest as if they had a pecuniary interest in the matter.
Non-Significant Non-Pecuniary Interests	A Councillor who determines that they have a non-pecuniary conflict of interest in a matter that is not significant and does not require further action, when disclosing the interest must also explain why conflict of interest is not significant and does not require further action in the circumstances.

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- 16.1 **Sydney Metro West Interface Agreement - Proposed Amendment**
This report is confidential in accordance with section 10A (2) (e) of the Local Government Act 1993 as the report contains information that would, if disclosed, prejudice the maintenance of law.
- 16.2 **Tender 1/2024 Woodhouse Lane and Wentworth Street (South), Parramatta - Streetscape Upgrade**
This report is confidential in accordance with section 10A (2) (d) of the Local Government Act 1993 as the report contains commercial information of a confidential nature that would, if disclosed (i) prejudice the commercial position of the person who supplied it; or (ii) confer a commercial advantage on a competitor of the Council; or (iii) reveal a trade secret.
- 16.3 **LATE REPORT: ITT 22/2022 Bus Shelter Advertising, Cleaning and Maintenance Services - Reject and Negotiation Outcome**
This report is confidential in accordance with section 10A (2) (d) of the Local Government Act 1993 as the report contains commercial information of a confidential nature that would, if disclosed (i) prejudice the commercial position of the person who supplied it; or (ii) confer a commercial advantage on a competitor of the Council; or (iii) reveal a trade secret.
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CITY OF PARRAMATTA

MINUTES

**Ordinary Council Meeting
Tuesday, 11 June 2024
6.30pm**

**Council Chamber
Level 4, PHIVE
Parramatta Square, Parramatta**

PRESENT - COUNCILLORS

The Lord Mayor, Councillor Pierre Esber and Councillors Phil Bradley, Kellie Darley, Michelle Garrard, Henry Green, Ange Humphries, Cameron MacLean, Paul Noack (online) Sameer Pandey, Dan Siviero, Georgina Valjak (online), Donna Wang and Lorraine Wearne.

PRESENT – STAFF

Chief Executive Officer - Gail Connolly, Executive Director City Engagement and Experience - Angela Jones-Blayney, Executive Director City Assets & Operations - George Bounassif, Acting Executive Director Finance and Information - Amit Sharma, Acting Executive Director City Planning and Design - Robert Cologna, Acting Executive Director Community and Culture - David Moutou, Group Manager Office of the Lord Mayor and CEO - Roxanne Thornton, Chief People, Culture and Performance Officer - Brendan Clifton, Chief Information Officer and Acting Chief Governance and Risk Officer - John Crawford, Group Manager Communications & Customer Engagement - Sally White, Group Manager Infrastructure Grants and Major Projects - James Smallson, Group Manager Environment & Sustainability – Anthony Collins, Group Manager Project Delivery - Boz Lukin, Community Capacity Building Manager - Rodrigo Gutierrez, Group Manager Infrastructure Planning and Design - Anthony Newland, ICT Service and Delivery Manager - Ian Vong, Stormwater Management Coordinator - Paul Hackney, Riverside Theatre Director - Craig McMaster, Supervisor Catchment Management - James Tsom, Council Secretariat and Policy Officer - Marina Cavar, Senior Policy & Advocacy Adviser – Renee Attard, Business Manager - Michelle Samuel.

1. OPENING MEETING

The Lord Mayor, Councillor Esber, opened the meeting at 6.32pm.

2. ACKNOWLEDGEMENT TO TRADITIONAL OWNERS OF LAND

The Lord Mayor acknowledged the Burramattagal people of The Darug Nation as the traditional owners of this land, and paid respect to their ancient culture and to their elders past, present and emerging.

3. WEBCASTING ANNOUNCEMENT

The Lord Mayor advised that this public meeting is being recorded and streamed live on the internet. The recording will also be archived and made available on Council's website.

The Lord Mayor further advised that all care will be taken to maintain privacy, however as a visitor in the public gallery, the public should be aware that their presence may be recorded.

4. GENERAL RECORDING OF MEETING ANNOUNCEMENT

As per Council's Code of Meeting Practice, the recording of the Council Meeting by the public using any device, audio or video, is only permitted with Council permission. Recording a Council Meeting without permission may result in the individual being expelled from the Meeting.

Note: Councillor Darley arrived to the meeting at 6.33pm.

5. APOLOGIES AND APPLICATIONS FOR LEAVE OF ABSENCE OR ATTENDANCE BY AUDIO-VISUAL LINK BY COUNCILLORS

RESOLVED: Councillor MacLean and Councillor Humphries

- (a) That an apology be accepted on behalf of Deputy Lord Mayor Councillor Prociw and a leave of absence be granted.
- (b) That Councillors Noack and Valjak be permitted to attend the meeting via Audio Visual Link.

Record of Voting:

CARRIED

6. CONFIRMATION OF MINUTES

Minutes of the Council Meeting held on 27 May 2024

RESOLVED: Councillor MacLean and Councillor Humphries

That the minutes be taken as read and be accepted as a true record of the Meeting.

With the need to make the following amendment;

- Councillor Henry Green to be added to the attendance record.

Record of Voting:

CARRIED

7. DISCLOSURES OF INTEREST

Lord Mayor, Councillor Esber disclosed a Pecuniary Interest in Item **16.1 – DEFERRED FROM OCM 27 May 2024 - Adoption of the Parramatta Flood Study** for the reason that he owns a property in the study area. Lord Mayor, Councillor Esber will not remain in the meeting and will not take part in the consideration and voting on this item.

Councillor Green disclosed a Pecuniary interest in Item **16.1 - DEFERRED FROM OCM 27 May 2024 - Adoption of the Parramatta Flood Study**, for the reason that he owns a property in the study area. Councillor Green will not remain in the meeting and will not take part in the consideration and voting on this item.

Councillor Pandey disclosed a Pecuniary interest in Item **16.1 - DEFERRED FROM OCM 27 May 2024 - Adoption of the Parramatta Flood Study** for the reason that he owns a property in the study area. Councillor Pandey will not remain in the meeting and will not take part in the consideration and voting on this item.

Councillor Green disclosed a Pecuniary interest in Item **14.1 Update of James Hardie Sites** for the reason that he is a James Hardie shareholder. Councillor Green will not remain in the meeting and will not take part in the consideration and voting on this item.

8. MINUTES OF THE LORD MAYOR

8.1 Proposal to Recognise the service of Ray and Shirley Wehbe

(Lord Mayor, Councillor Pierre Esber)

RESOLVED: The Lord Mayor, Councillor Esber and Councillor Garrard

That Council authorise the Lord Mayor and Chief Executive Officer to identify and assess options for naming a suitable location or asset after Ray and Shirley Wehbe, longstanding local philanthropist and pillar of the Lebanese community in City of Parramatta.

Record of Voting:
CARRIED

8.2 Acknowledging the Service of Parramatta Memorial Swimming Club President, Mr Peter Ayoub

(Lord Mayor, Councillor Pierre Esber)

RESOLVED: Lord Mayor, Councillor Esber and Councillor Garrard

- (a) That Council note that Mr Peter Ayoub stepped down from his role as President of Parramatta Memorial Swimming Club (PMSC) on 23 May 2024 after 31 years of service as a member of PMSC.
- (b) That the Lord Mayor write to Mr Ayoub congratulating him on his exemplary service as President of Parramatta Memorial Swimming Club for 20 years and his contribution to the community and the City of Parramatta.

Record of Voting:
CARRIED

8.3 Turbans 4 Australia Inc - Food Relief Donation

(Lord Mayor, Councillor Pierre Esber)

RESOLVED: Lord Mayor, Councillor Esber and Councillor Garrard

- (a) That Council recognises the exceptional service of the Turbans 4 Australia Inc volunteers who continue to go above and beyond in supporting and caring for vulnerable and isolated communities.

- (b) That the City of Parramatta donate \$5,000 to the Turbans 4 Australia Inc registered charity to support its local food relief program for families in need.
- (c) That in light of the two drownings at Kurnell on the weekend, the Lord Mayor reach out to Turbans 4 Australia Inc to pass on condolences on behalf of Council, noting that both of the deceased were members of the Turbans 4 Australia Community.

Record of Voting:
CARRIED

8.4 **International Make Music Day in City of Parramatta**

(Lord Mayor, Councillor Pierre Esber)

RESOLVED: Lord Mayor, Councillor Esber and Councillor Noack

- (a) That Council acknowledge City of Parramatta's 'Best of the West: Battle of the Bands' competition and 'Pass the Mic' event to be held on Make Music Day on 21 June 2024, an annual international celebration of music and its creative power to unite people everywhere.
- (b) That Council congratulate the finalists and winner of the 'Best of the West: Battle of the Bands' competition, noting that the winner will receive a recording session with a Western Sydney producer, the opportunity to perform their own set during Parramatta Lanes and have their track played on Sydney's FBi Radio (94.5FM).
- (c) That Council commend all staff involved for successfully empowering Parramatta's young people with opportunities to make their artistic debut, aligning with Parramatta's Youth Inclusion Framework.

Record of Voting:
CARRIED

8.5 **Congratulations on Winning NSW Local Government Professionals Excellence Award**

(Lord Mayor, Councillor Pierre Esber)

RESOLVED: Lord Mayor, Councillor Esber and Councillor Garrard

- (a) That Council congratulate City of Parramatta Council staff on winning the 'People, Workplace, Wellbeing with a Population over 150,000' Award at the 2024 NSW Local Government Professionals Excellence Awards for its 'People Connect HR System Transformation Project'.
- (b) That Council recognise that City of Parramatta's 2023 'Health & Wellbeing Action Plan' was also nominated as finalist in the same category.

- (c) That Council commend the Council staff involved in these excellent projects on their outstanding efforts.

Record of Voting:
CARRIED

8.6 Kings Birthday Honours in City of Parramatta

(Lord Mayor, Councillor Pierre Esber)

RESOLVED: Lord Mayor, Councillor Esber and Councillor MacLean

- (a) That Council congratulate current and former members of the Parramatta community and those who have made significant contributions to the City of Parramatta who have been recognised in the 2024 King's Birthday Honours list, namely:
- a. Ms Anne Maree STANFIELD AM of Northmead
 - b. Mr Raymond Hunter KIDD OAM of Beecroft
 - c. Mrs Diana Margaret KIDD OAM of Beecroft
 - d. Reverend Dr Graham Joseph HILL OAM of Epping
 - e. Mrs Penelope Elizabeth GILLIES OAM of Epping
 - f. Mr Henry Leonard JONES OAM of Eastwood
 - g. Ms Judith Kathleen KING OAM of Eastwood
 - h. Ms Anne Elizabeth TUNKS OAM of Wentworth Point
 - i. Mrs Marie-Louise Marisa PREVITERA OAM of Greystanes
 - j. Mrs Kerrye Suzanne KATZ OAM of Northmead
- (b) That Council congratulate notable members of the community recognised for service to local government in the 2024 King's Birthday Honours list, including:
- a. Ms Wendy Jean WALLER OAM
 - b. The Honourable Shelley Elizabeth HANCOCK OAM
- (c) That the Lord Mayor write to award recipients acknowledging their contributions and congratulating them on their recognition in the Order of Australia King's Birthday Honours.

Record of Voting:
CARRIED

9. PUBLIC FORUM

	Speaker	Report No.	Report Title
1.	Tony Khoury (read out by staff)	14.1	Update on James Hardies Sites

Note: All Councillors were provided with a copy of the Public Forum submission prior to the Council Meeting.

**PROCEDURAL MOTION
SUSPENSION OF STANDING ORDERS
ORDER OF BUSINESS AND DEALING WITH MATTERS BY EXCEPTION**

RESOLVED: Councillor MacLean and Councillor Garrard

- (a) That in accordance with Clause 8.2 of Council's Code of Meeting Practice, that Council amend the Order of Business for this meeting to allow for the consideration of the following items prior to any other business on the agenda.
- Item 13.9 Wentworth Point Playground and Social Space
 - Item 14.1 Update on James Hardie Sites
 - Item 16.1 Adoption of the Parramatta River Flood Study
- (b) That in accordance with Section 13 of Council's Code of Meeting Practice, Council resolve to adopt the following items in accordance with the recommendations as printed, without debate;
- Item 13.4 Public Exhibition of Draft Pensioner Rates Rebate Policy 2024
 - Item 13.5 Approval of Scope of Works – Bennelong Parkway Bridge and Connecting Paths Project, Wentworth Point
 - Item 13.7 Adoption of Social Sustainability Strategy 2024 -2033
 - Item 15.1 Annual Fire Safety Statements and Fire Safety in City of Parramatta
 - Item 15.3 Questions Taken on Notice at the 27 may 2024 Council Meeting
 - Item 16.2 Riverside Theatres – Appointment of Lead Architect

**Record of Voting:
CARRIED**

13.9 Wentworth Point Playground and Social Space
(Project Officer)

RESOLVED: Councillor Noack and Councillor Siviero

- (a) That Council approve a contribution of \$200,000 from the Better Neighbourhoods Program (BNP) FY23/24 budget allocation to Billbergia (for the purpose of exercising Council's functions) for the delivery of a temporary playground and social space for community use in the 'Town Square' located at Wentworth Place and Footbridge Boulevard, Wentworth Point 2127;
- (b) That Council enter into an agreement for Billbergia to deliver and maintain the project on its land for a minimum period of two years as part of its temporary development of the Town Square, and require the play equipment to be returned to Council at the completion of the project;
- (c) That Council endorse the concept design plan proposed by Billbergia at Attachment 1; and

- (d) That Council delegate authority to the Chief Executive Officer to finalise and execute all legal and other necessary documents.

Record of Voting:
CARRIED

Note: Councillor Wang left the meeting at 7.07pm.

Note: Due to Councillor Green disclosing a Pecuniary interest in the following item (Item 14.1: Update on James Hardie Sites), Councillor Green left the meeting at 7.07pm.

14.1 **Update on James Hardie Sites**
(Councillor Kellie Darley)

Note: Councillor Green disclosed a Pecuniary interest in this Item and he did not participate in the consideration or voting on the matter.

MOTION: Councillor Darley and Councillor MacLean

- (a) That Council provide an update on the remediation program for James Hardie legacy sites, including work done to date, projected schedule of work remaining and cost of the remediation program.
- (b) That the Lord Mayor and CEO advocate to the NSW Premier, State Member for Parramatta and relevant Ministers for the NSW Government to cover the expense of remediating James Hardie legacy sites in the City of Parramatta as recommended by the NSW Ombudsman report “Asbestos - How NSW government agencies deal with the problem - A Special Report to Parliament” (April 2017).
- (c) That the Lord Mayor and the CEO meet with James Hardie CEO to discuss the ongoing impact of asbestos contamination across the City of Parramatta and request their assistance with the remediation of the James Hardie legacy sites.
- (d) Further, that following this advocacy, the CEO provide a report to Council by the end of 2024 on funding sources for the remediation of all known James Hardie legacy sites in the Parramatta LGA.

AMENDMENT: Councillor Garrard and Councillor Wearne

That Council provide a report on the remediation program for James Hardie legacy sites, including work done from 2005 to date, projected schedule of work remaining and cost of the remediation program.

**Record of Voting:
CARRIED**

On being PUT to the meeting Voting on the Amendment was ten (10) votes FOR and one (1) vote AGAINST. The Amendment became the Motion.

RESOLVED: Councillor Garrard and Councillor Wearne

That Council provide a report on the remediation program for James Hardie legacy sites, including work done from 2005 to date, projected schedule of work remaining and cost of the remediation program.

**Record of Voting:
CARRIED**

Councillor Darley requested that she be recorded as a vote AGAINST the above resolution.

Note: Due to Councillor Pandey disclosing a Pecuniary interest in the following item (Item 16.1: DEFERRED FROM OCM 27 May 2024 - Adoption of the Parramatta River Flood Study), Councillor Pandey left the meeting at 7.51pm.

Note: Due to the Lord Mayor, Councillor Esber disclosing a Pecuniary interest in the following item (Item 16.1: DEFERRED FROM OCM 27 May 2024 - Adoption of the Parramatta River Flood Study), the Lord Mayor, Councillor Esber vacated the Chair left the meeting at 7.51pm.

Note: With the departure of the Lord Mayor, Councillor Esber from the meeting and the absence of the Deputy Lord Mayor, Councillor Prociv, the Chief Executive Officer conducted an election for the position Chairperson.

**PROCEDURAL MOTION
ELECTION OF CHAIRPERSON**

The following Councillors were nominated to assume the position of Chair;

- Councillor Wearne – Nominated by Councillor Garrard
- Councillor MacLean – Nominated by Councillor Humphries

Councillor Wearne received four (4) votes from Councillors Garrard, Siviero, Valjak and Wearne.

Councillor MacLean received five (5) votes from Councillors Bradley, Darley, Humphries, MacLean, and Noack.

Councillor MacLean was elected as Chairperson and assumed the Chair at 7.53pm

PROCEDURAL MOTION MOVE TO CLOSED SESSION

RESOLVED: Councillor Bradley and Councillor Darley

That at this time of the meeting, being 7.53pm, the Chairperson, Councillor MacLean advised that the meeting would move into Closed Confidential Session to allow consideration of matters in Closed Session in accordance with Section 10A of the *Local Government Act 1993*. Accordingly, members of the press and public are excluded from the closed session and access to the correspondence and reports relating to the items considered during the course of the Closed Session will be withheld.

This action is taken to discuss:

Item 16.1 DEFERRED FROM OCM 27 May 2024 - Adoption of the Parramatta River Flood Study (Stormwater Management Coordinator)

This report is confidential in accordance with section 10A (2) (c) of the Local Government Act 1993 as the report contains information that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business.

Note: Council moved into closed session at 7.53pm

CLOSED SESSION

Note: Councillor Wang returned to the meeting at 8.00pm.

16.1 **DEFERRED FROM OCM 27 MAY 2024 - Adoption of the Parramatta River Flood Study**
(Stormwater Management Coordinator)

Note: Lord Mayor, Councillor Esber disclosed a Pecuniary interest in this Item and he did not participate in the consideration or voting on the matter.

Note: Councillor Green disclosed a Pecuniary interest in this Item and he did not participate in the consideration or voting on the matter.

Note: Councillor Pandey disclosed a Pecuniary interest in this Item and he did not participate in the consideration or voting on the matter.

MOTION: Councillor Bradley and Councillor Darley

- (a) That Council adopt the Parramatta River Flood Study 2024 as shown at Attachment 1.
- (b) That the CEO notify the community of the adoption of the Flood Study and make copies available on the website and via the usual communication channels.

- (c) That Council immediately commences the development of the Floodplain Risk Management Study and Plan.
- (d) That the adopted Parramatta River Flood Study 2024 is continuously reviewed when major changes occur in the catchment or every 5 years in accordance with DCCEEW recommended guidelines

AMENDMENT: Councillor Garrard and Councillor Wearne

- (a) That Council adopt the Parramatta River Flood Study 2024 as shown at Attachment 1.
- (b) That the CEO notify the community of the adoption of the Flood Study and make copies available on the website and via the usual communication channels.
- (c) That the officers report be made publicly available with the exclusion of those components of the report that the CEO considers to be confidential pursuant to section 10a of the *Local Government Act 1993*.

Record of Voting:

For the Amendment: Councillors Garrard, Humphries, MacLean, Noack, Siviero, Valjak, Wang and Wearne

Against the Amendment: Councillors Bradley and Darley

On being PUT to the meeting Voting on the Amendment was eight (8) votes FOR and two (2) votes AGAINST. The Amendment became the Motion.

Note: The Council requested the meeting return to Open Session prior to taking the on the Motion.

**PROCEDURAL MOTION
RETURN TO OPEN SESSION**

RESOLVED: Councillor Garrard and Councillor Siviero

That Council move into open session prior to voting on the recommendation from Closed Session.

**Record of Voting:
CARRIED**

Note: Council returned to Open Session at 8.17pm.

RESOLVED: Councillor Garrard and Councillor Wearne

- (a) That Council adopt the Parramatta River Flood Study 2024 as shown at Attachment 1.
- (b) That the CEO notify the community of the adoption of the Flood Study and make copies available on the website and via the usual communication channels.
- (c) That the officers report be made publicly available with the exclusion of those components of the report that the CEO considers to be confidential pursuant to section 10a of the *Local Government Act 1993*.

Record of Voting:
CARRIED

Note: At 8.20pm the Lord Mayor, Councillor Esber returned to the meeting and resumed the role of Chairperson.

Note: Councillors Green and Pandey returned to the meeting at 8.20pm.

10. PETITIONS

Councillor Noack tabled a petition appeal from Harris Park's businesses to the City of Parramatta Council regarding

Note: A copy of the Petition in on FILE.

11. RESCISSION MOTIONS

Nil

REPORTS TO COUNCIL - FOR DECISION

13.4 **Public Exhibition of Draft Pensioner Rates Rebate Policy 2024**
(Policy Officer)

RESOLVED: Councillor MacLean and Councillor Garrard

- (a) That the draft Pensioner Rates Rebate Policy 2024 be placed on public exhibition for a period of 28 days.
- (b) That Council authorises the Chief Executive Officer to make any necessary editorial and content changes to the draft Pensioner Rates Rebate Policy 2024 for public exhibition to give effect to Council's resolution.

- (c) That following public exhibition, officers submit the final Pensioner Rates Rebate Policy 2024 be reported to Council for adoption.

Record of Voting:
CARRIED

13.5 **Approval of Scope of Works - Bennelong Parkway Bridge and Connecting Paths Project, Wentworth Point**

(Senior Project Officer Transport Planning)

RESOLVED: Councillor MacLean and Councillor Garrard

- (a) That Council note the feedback from the community consultation (provided at Attachments 1 and 2).
- (b) That Council approve the scope of works to support walking and cycling along Bennelong Parkway, as set out below, for submission to the Parramatta Traffic Committee for its consideration:
 - i. Install a new 5m wide pedestrian and cyclist bridge over Haslams Creek,
 - ii. Install a separated bike path on the northern verge of Bennelong Parkway between the Badu Mangroves and Hill Road,
 - iii. Install a wide footpath on the northern verge of Bennelong Parkway between the Badu Mangroves and Foreshore Promenade access path,
 - iv. Install two new raised pedestrian and cyclist priority crossings of Bennelong Parkway at the Archery Centre and Wentworth Common,
 - v. Install new center median planting,
 - vi. Install new raised bicycle priority crossing over The Piazza,
 - vii. Re-build the roundabout at the intersection of The Piazza and Bennelong Parkway to meet modern standards, improve circulation and reduce vehicle speeds,
 - viii. Retain the westbound bike lane and shared path on southern side of Bennelong Parkway.
- (c) That Council note that the full cost of construction of the project is not currently budgeted and commencement is subject to the receipt of external grant funding.

Record of Voting:
CARRIED

13.7 **Adoption of the Social Sustainability Strategy 2024 – 2033**

(Strategy Manager)

RESOLVED: Councillor MacLean and Councillor Garrard

- (a) That Council notes the community feedback received during public exhibition of the draft Social Sustainability Strategy 2024 - 2033.
- (b) That Council adopts the Social Sustainability Strategy 2024-2033 at Attachment 1 to this report.
- (c) That Council delegate authority to the Chief Executive Officer (CEO) to make any administrative and/or non-policy editorial amendments to the Social Sustainability Strategy 2024 - 2033 during its publication.

Record of Voting:

CARRIED

15.1 **Annual Fire Safety Statements and Fire Safety in City of Parramatta**

(Councillor Georgina Valjak)

QUESTION WITH NOTICE

The NSW Government requires body corporates to provide an Annual Fire Safety Statement that confirms that each essential fire safety measure installed in the building has been assessed and found to be performing to the standard requirement.

Specifically, can Officers advise:

1. [When did the State Government legislation commence?](#)

Executive Director City Assets and Operations response:

The State Government Legislation commenced on 1 July 1998.

2. [What level of involvement does Council have in enforcing the fire safety requirements?](#)

Executive Director City Assets and Operations response:

- a. Council is the legislated Appropriate Regulatory Authority for fire safety-related matters within its Local Government Area.
- b. Council has administrative oversight of record management from an AFSS perspective to ensure an accurate annual submission is received for each license, in a timely manner.
- c. Issue orders to address fire safety deficiencies through the avenues established by legislation.

3. What resources does Council need to provide to comply with NSW government requirements?

Executive Director City Assets and Operations response:

Council currently has three (3) approved and budgeted technical positions which share the responsibilities related to fire safety matters in general. The three (3) technical positions are also supported by two (2) administrative positions to manage the AFSS submissions.

Notwithstanding, these resources are currently subject to the service delivery review being undertaken in Regulatory Services, to ensure they are appropriate to service customers' needs and are aligned with the growth of the city.

4. What fines can be imposed for non-compliance?

Executive Director City Assets and Operations response:

There are a number of potential avenues to address non-compliance such as fines, Orders and Court Attendance Notices.

The fines are regulated by the NSW government and include:

- a. Failing to maintain each essential fire safety measure (reference Clause 81(1) of the Env. Planning and Assessment (Dev. Certification and Fire Safety) Reg 2021 **(EP&A (DCFS) Reg)**) – Individual \$3,000 / corporation \$6,000
- b. Issuing an invalid fire safety certificate (ie date discrepancies) (reference Clause 84(1) of the EP&A (DCFS) Reg) – Individual and corporation \$3,000
- c. Practitioner issuing fire safety certificate without inspecting/testing each measure (reference Clause 84(3) of the EP&A (DCFS) Reg) – Individual \$1,500 / corporation \$3,000
- d. Not displaying fire safety certificate and schedule as prescribed (reference Clause 85(1)(b) of the EP&A (DCFS) Reg) – Individual \$1,500 / corporation \$3,000
- e. Issuing fire safety certificate incorrectly (ie not in the approved form, incorrect details, etc) (reference Clause 86(1) of the EP&A (DCFS) Reg) – Individual \$1,500 / corporation \$3,000
- f. Issuing fire safety certificate without a fire safety schedule (reference Clause 86(3) of the EP&A (DCFS) Reg) – Individual \$1,500 / corporation \$3,000

- g. Practitioner issuing Annual Fire Safety Statement (**AFSS**) without inspecting/testing each measure (reference Clause 88(4) of the EP&A (DCFS) Reg) – Individual \$1,500/ corporation \$3,000
- h. Failing to submit AFSS 1st week after expiry (reference Clause 89(1) of the EP&A (DCFS) Reg) \$1,000
- i. Failing to submit AFSS 2nd week after expiry (reference Clause 89(1) of the EP&A (DCFS) Reg) \$2,000
- j. Failing to submit AFSS 3rd week after expiry (reference Clause 89(1) of the EP&A (DCFS) Reg) \$3,000
- k. Failing to submit AFSS 4th week after expiry (reference Clause 89(1) of the EP&A (DCFS) Reg) \$4,000
- l. Not displaying AFSS and schedule as prescribed (reference Clause 86(4)(b) of the EP&A (DCFS) Reg) - \$580
- m. Issuing AFSS incorrectly (ie not in the approved form, incorrect details, etc) (reference Clause 92(1) of the EP&A (DCFS) Reg) – Individual \$1500 / Corporation \$3,000
- n. Issuing AFSS without a fire safety schedule (reference Clause 92(2) of the EP&A (DCFS) Reg) Individual \$1,500 / Corporation \$3,000.

5. What education has been provided to residents and whose responsibility is it to provide education – Local or State government?

Executive Director City Assets and Operations response:

Education is undertaken by both State and Local Governments and includes matters such as:

- a. Council reminds strata managers of their obligations on an annual basis.
- b. FRNSW distributes resident awareness leaflets for residential dwellings and strata complexes with respect to smoke alarm maintenance.

There is no specific area of responsibility with respect to fire safety matters. The maintenance responsibilities rest with owners (body corporates) and are appropriately handled by strata managers. Thus strata management companies should employ staff appropriately qualified to manage the legal regulatory requirements for their buildings.

6. How many Fire Safety Officers does Council currently employ?

Executive Director City Assets and Operations response:

Council has three Fire Safety Officers.

7. What is the cost to Council to implement this legislation (including staff, education, Court and other costs)?

Executive Director City Assets and Operations response:

The average cost to Council to provide this service is approximately \$570,000 per year. This includes salaries plus overheads of implementing the legislation but excludes any specific legal or court costs. It also does not include the time spent by the Business Unit Manager or Group Manager to oversee the service.

15.3 **Questions Taken on Notice at the 27 May 2024 Council Meeting**
(Council Secretariat & Policy Officer)

QUESTIONS TAKEN ON NOTICE

Councillor Pandey asked a question in relation to Item 8.3 Parramatta Light Rail daylight testing

- Could staff provide an update in a few weeks' time on how the businesses near the light rail are feeling in relation to the light rail?

Acting Director City Planning and Design Response:

The Transport for NSW (TNSW) Place Manager is the liaison between businesses on Church Street/Eat Street and the NSW government. TNSW has been requested to provide feedback to Council on the views of local businesses. Once a response is received details will be provided to Councillors.

Councillor Darley asked a question in relation to Item 8.3 Parramatta Light Rail daylight testing;

- Could staff provide an update on the improvements made to the difficulties faced by people with poor and low vision with guide dogs when using the light rail?

Acting Director City Planning and Design Response:

TNSW, Guide Dogs Australia, the rail operator and Council reached agreement to the placement of reflective tape on the existing bollards as an additional measure to help with locating the street crossings for those with limited vision.

Councillor Darley asked a question in relation to Item 12.3 Library Opening Times - Customer Feedback;

- Do we know the qualitative reasons why people were dissatisfied with the Library Hours?

Acting Executive Director Community and Culture Response:

The 5% of 1,604 respondents who responded that new Library hours were 'poor' were asked a follow up question about why they responded that way. 49% of those respondents said that their library closed too early; 42% responded that weekend hours were not long enough and 19% said that longer hours were needed.

Councillors Darley and Garrard asked questions in Closed Session in relation to Item 16.1 Stage 2 Parramatta Light Rail Enabling Works - Archer Park Memorandum Of Understanding

Questions and staff responses have been published as a Confidential Attachment to this report.

16.2 **Riverside Theatres - Appointment of Lead Architect**
(Group Manager Project Delivery)

RESOLVED: Councillor MacLean and Councillor Garrard

- That Council approve the appointment of Cox Architecture as the Lead Consultant including secondary consultancy services, for the contract sum of \$10,655,935 (excl. GST).
- That Council note a Budget and Funding Strategy is to be developed for the Riverside Theatres Redevelopment with a report to Council prior to progressing to a Head Contract Tender.
- That Council delegate authority to the Chief Executive Officer to negotiate, execute contracts and sign all necessary documentation and statutory documentation to engage consultants to participate in the design development and procurement for the Project to the maximum value of \$17 million as detailed in this report.

Record of Voting:
CARRIED

12. REPORTS TO COUNCIL - FOR NOTATION

12.1 Annual Christmas/New Year Close Down Period (Acting Executive Director People Culture & Workplace)

RESOLVED: Councillor Wearne and Councillor Garrard

That Council note the dates for the annual Christmas/New Year close down period for 2024/25, being Monday 23 December 2024 until Friday 3 January 2025, inclusive.

Record of Voting:
CARRIED

13. REPORTS TO COUNCIL - FOR COUNCIL DECISION

13.1 DEFERRED FROM OCM 12 FEBRUARY 2024 - Adoption of the Parramatta Bike Plan 2024 (Senior Project Officer Transport Planning)

RESOLVED: Councillor Green and Councillor Garrard

- (a) That Council note the outcome of the public exhibition of the draft Parramatta Bike Plan 2024 as detailed in this report and Attachment 2.
- (b) That Council,
- 1 Adopt the Parramatta Bike Plan 2024 as provided at Attachment 1 with the removal of the Marsden Street Cycleway and O'Connell Street route identified as the regional route;
 - 2 Seek advice from the Minister for Planning and Public Spaces about whether the removal of the Marsden Street cycleway is supported given it is identified in the State Government's Greater Sydney Strategic Cycleways Corridors Plan 2023 and was also part of Council's justification for the higher densities in the Parramatta CBD Planning Proposal and supporting Integrated Transport Plan 2022.
 - 3 Receive a report detailing the Minister's response to Council's request detailed in (2) above; and the action Council should take (including timeframes and cost) to:
 - o amend the CBD Contributions Plan 2023 to remove the Marsden Street Cycleway from the Works Program,
 - o approve an amendment to the Land Reservation Acquisition (LRA) Map in Parramatta Local Environmental Plan 2023 to remove the Regional Cycleways on the Marsden Street alignment; and that this amendment to the LRA Map occur as part of the next Housekeeping Local Environmental Plan (LEP).
 - o approve an amendment to Parramatta Development Control Plan 2023 to remove controls and amend

diagrams that incorporate the Marsden Street Cycleway; and that this amendment to the DCP occur as part of the next Housekeeping Development Control Plan.

- (c) That Council approve the Cycling Projects Development Procedure provided at Attachment 5.
- (d) That where contact details have been provided, Council officers write to submitters advising them of the adoption of the Bike Plan and thank them for their submission.

Record of Voting:
CARRIED

13.2 **DEFERRED FROM OCM 27 MAY 2024 - Adoption of Media Policy 2024**

(Group Manager Communications & Customer Engagement)

MOTION: Councillor Bradley and Councillor Darley

- (a) That Council notes the submissions received during the public exhibition of the draft Media Policy 2024.
- (b) That Council adopt the Media Policy 2024 as attached to this report. with the inclusion of an amendment to clause 3.6.2(c) to read 'should act in accordance with the Media Procedures Guide.'

AMENDMENT: Councillor Garrard and Councillor Wang

- (a) That Council notes the submissions received during public exhibition of the draft Media Policy 2024.
- (b) That Council adopt the Media Policy 2024 as attached to this report.

Record of Voting:
CARRIED

Councillor Bradley and Darley requested that they be recorded as voting AGAINST the above Amendment.

RESOLVED: Councillor Garrard and Councillor Wang

- (a) That Council notes the submissions received during public exhibition of the draft Media Policy 2024.
- (b) That Council adopt the Media Policy 2024 as attached to this report

Record of Voting:
CARRIED

Councillor Darley requested that she be recorded as voting AGAINST the above Motion.

Councillor Bradley requested that he be recorded as ABSTAINING from the above Motion.

13.3 **2025 Annual Community Grants Program**
(Community Capacity Building Officer)

RESOLVED: Councillor Pandey and Councillor Wang

- (a) That the 2025 Community Grants Program proceed with the categories and timeframes identified in this report, and the objectives and assessment criteria contained within Attachment 1.
- (b) That the 2025 Community Grants program be offered over two rounds across the 2024/2025 Financial Year and ongoingly, made up of:
 - i. a Community Round, running from July to December 2024, and
 - ii. a Cultural Round, running from January to June 2025.
- (c) That Council notes the following changes to the Annual Community Grants program:
 - i. grant funding pools have been increased due to historic CPI increases;
 - ii. the base funding cap for the Community Capacity Building grants is increased from \$10,000 to \$12,500;
 - iii. the addition of the Nighttime Creative Economy grant and the Heritage Activation Grant in the annual Community Grants program;
 - iv. the name change of the Cultural Heritage and History Projects Grants to the History, Culture and Stories Fund;
 - v. the increase in the Parramatta Representative Sports Grants pool (funded from a reallocation of funds from the Sport and Recreation Grants); and
 - vi. the Community Event grant will be offered across both the Community Round and the Cultural Round and includes a 10% weighting for events held outside the Parramatta CBD.
- (d) That Council note the 2025 Community Grants program will be administered in accordance with the Grants and Donations Policy (ie: the outcomes of the assessment process will be submitted to the Grants Committee prior to the officer's report to Council by December 2024 for the Community Round and prior to June 2025 for the Cultural Round).

Record of Voting:
CARRIED

Question Taken on Notice (Councillor Pandey) regarding Item 13.3 2025 Annual Community Grants Program;

- Could staff provide Councillors, with wording that is used in our Grants Agreement?

13.4 Public Exhibition of Draft Pensioner Rates Rebate Policy 2024
(Policy Officer)

Item dealt with earlier in the Meeting as detailed in these Minutes.

13.5 Approval of Scope or works – Bennelong Parkway Bridge and Connecting Paths Project Wentworth Point
(Policy Officer)

Item dealt with earlier in the Meeting as detailed in these Minutes.

13.6 Gateway Request - Parramatta CBD Supplementary Matters Planning Proposal
(Senior Project Officer)

RESOLVED: Councillor Wearne and Councillor MacLean

- (a) That Council approve the recommended pathways for resolving the outstanding “Orange Matters” arising from the exhibition of the Parramatta CBD Planning Proposal, as detailed in the table at Attachment 1.
- (b) That Council approve the Parramatta CBD Supplementary Matters Planning Proposal at Attachment 2, subject to it being updated to include “creative industries” as permitted with consent in the E2 Commercial Centre zone, for the purpose of seeking a Gateway Determination from the Department of Planning, Housing and Infrastructure.
- (c) That Council advise the Department of Planning, Housing and Infrastructure that the CEO will be seeking to exercise its plan-making delegations for this Planning Proposal, as authorised by Council on 26 November 2012.
- (d) That Council delegates authority to the CEO to correct any minor anomalies of a non-policy and administrative nature that arise during the plan-making process.
- (e) That Council note the Parramatta Local Planning Panel’s advice to Council (refer to Attachment 3) is consistent with Council officers’ recommendation in the report.
- (f) That Council resolve to prepare a separate strategic precinct planning proposal for the Westfield site at 142 and 171 Church

Street, Parramatta, given its strategic significance to the Parramatta CBD, and that Council officers prepare further urban design, land use and economic analysis to inform the policy framework for this planning proposal.

Record of Voting:

For the Motion: Lord Mayor, Councillor Esber, Councillors Bradley, Darley, Garrard, Green, Humphries, MacLean, Noack, Pandey, Siviero, Valjak, Wang and Wearne (Unanimous)

13.7 Adoption of Social Sustainability Strategy 2024 -2033

Item dealt with earlier in the Meeting as detailed in these Minutes..

13.8 Lord Mayor and Councillor Remuneration for 2024/25
(Executive Officer)

RESOLVED: Councillor MacLean and Councillor Noack

- (a) That Council adopt the maximum fees applicable for the Major CBD category for the period 1 July 2024 to 30 June 2025, being \$37,960 for each Councillor and \$122,640 for the Lord Mayor.
- (b) That Council note the resolution of 7 June 2022 (resolution no. 4341) which resolved that the Lord Mayor and Councillors will receive superannuation contribution payments, in addition to their annual fees, from 1 July 2022, in accordance with Section 254B of the *Local Government Act 1993*.
- (c) That Council note that effective from 1 July 2024, the superannuation guarantee rate will increase from 11 per cent to 11.5 per cent.
- (d) That the Chief Executive Officer apply to the Local Government Remuneration Tribunal for Council's classification to be amended from Major CBD to Principal CBD (the highest category of general purpose councils).

Record of Voting:
CARRIED

13.9 Wentworth Point Playground and Social Space
(Project Officer)

Item dealt with earlier in the Meeting as detailed in these Minutes..

Note: Councillor Noack left the meeting at 8.56pm.

14. NOTICES OF MOTION

14.1 **Update on James Hardie Sites** (Councillor Kellie Darley)

Item dealt with earlier in the Meeting as detailed in these Minutes.

15. QUESTIONS WITH NOTICE

15.1 **Annual Fire Safety Statements and Fire Safety in City of Parramatta** (Councillor Georgina Valjak)

Item dealt with earlier in the Meeting as detailed in these Minutes.

15.2 **NSW Civil and Administrative Tribunal – Councillor Legal Action** (Councillor Georgina Valjak)

QUESTION WITH NOTICE

1. In regard to the matter listed in the April 2024 Legal Report:

NSW Civil and Administrative Tribunal

Councillor Kellie Darley v City of Parramatta

Application under the Government Information (Public Access) Act 2009

can you please advise the specific matter that this legal action brought by Councillor Darley against the Council relates to?

Acting Executive Director Finance and Information Response:

The NSW Civil and Administrative Tribunal (**NCAT**) matter referred to in the April 2024 Litigation Report (see [April 2024- Legal Status List-Public Website.pdf \(nsw.gov.au\)](#)) relates to an application made by Councillor Kellie Darley who is seeking a review of Council's decision on two applications to Council to access documents under the *Government Information (Public Access) Act 2009 (NSW)* (**GIPA**) in relation to the Parramatta Eels strategic partnership.

2. The matter is listed for hearing before the Tribunal on 31 July 2024, Can you please advise the costs to date (and estimated future costs) to Council in defending this legal action?

Acting Executive Director Finance and Information Response:

The NSW Civil and Administrative Tribunal (**NCAT**) matter referred to in the April 2024 Litigation Report (see [April 2024- Legal Status List-Public Website.pdf \(nsw.gov.au\)](#)) relates to an application made by Councillor Kellie Darley who is seeking a review of Council's decision on two applications to Council to access documents under the *Government Information (Public Access) Act 2009 (NSW)* (**GIPA**) in relation to the Parramatta Eels strategic partnership.

3. The matter is listed for hearing before the Tribunal on 31 July 2024, Can you please advise the costs to date (and estimated future costs) to Council in defending this legal action?

Acting Executive Director Finance and Information Response:

Legal costs incurred by Council in current proceedings are confidential and are not released to the public. However, the costs for all of Council's legal proceedings are available to Councillors on the confidential Councillor Portal.

4. What information has been withheld (that requires a GIPA application) that has not already been provided to Councillors?

Acting Executive Director Finance and Information Response:

This information is confidential, noting that the information sought in each application relates to Council's partnership with the Parramatta Eels.

5. Are any other parties involved in this legal action?

Acting Executive Director Finance and Information Response:

NCAT has directed Council to contact the Parramatta Eels about the proceedings to determine if they wish to be heard. The Legal Report on the Councillor Portal will be updated should any party be joined to the proceedings.

Question Taken on Notice (Councillor Valjak) regarding Item 15.2 Question with Notice NSW Civil and Administrative Tribunal – Councillor Legal Action;

- Will a precedent be set if NCAT makes a decision in relation to the matter?
- Does this mean that there is a likelihood of confidential information being made public?

Question Taken on Notice (Councillor Garrard) regarding Item 15.2 Question with Notice NSW Civil and Administrative Tribunal – Councillor Legal Action;

- Where on the Councillor Portal, is the Legal Report relating to this matter?

15.3 Questions Taken on Notice at the 27 May 2024 Council Meeting
(Council Secretariat & Policy Officer)

Item dealt with earlier in the Meeting as detailed in these Minutes..

PROCEDURAL MOTION
MOVE TO CLOSED SESSION

RESOLVED: Councillor MacLean and Councillor Humphries

That at this time of the meeting, being 9.01pm, the Lord Mayor, Councillor Esber advised that the meeting would move into Closed Confidential Session to allow consideration of matters in Closed Session in accordance with Section 10A of the *Local Government Act 1993*. Accordingly, members of the press and public are excluded from the closed session and access to the correspondence and reports relating to the items considered during the course of the Closed Session will be withheld. This action is taken to discuss:

Item 16.3 – Progress Report - Grant Application for the Upgrade of Belmore Park (Richie Benaud Oval) (Group Manager Infrastructure Grants and Major Projects)

This report is confidential in accordance with section 10A (2) (c) of the Local Government Act 1993 as the report contains information that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business

Item 16.4 - Riverflow Public Art Prototype – (Group Manager Project Delivery)

This report is confidential in accordance with section 10A (2) (d) of the Local Government Act 1993 as the report contains commercial information of a confidential nature that would, if disclosed (i) prejudice the commercial position of the person who supplied it; or (ii) confer a commercial advantage on a competitor of the Council; or (iii) reveal a trade secret.

Record of Voting:
CARRIED

Note: Council moved into closed session at 9.02pm.

16.2 Riverside Theatres - Appointment of Lead Architect
(Group Manager Project Delivery)

Item dealt with earlier in the Meeting as detailed in these Minutes..

16.3 Progress Report - Grant Application for the Upgrade of Belmore Park (Richie Benaud Oval)
(Group Manager Infrastructure Grants and Major Projects)

RECOMMENDATION: Councillor Pandey and Councillor Garrard

- (a) That Council note the current progress on the PCIP grant application for Belmore Park.
- (b) That Council note the construction milestones submitted in the grant funding application and that any options to fast track the project would require renegotiation of the grant funding application, leading to further delays in the application process.
- (c) That if the grant funding application is successful, Council proceed with the delivery timeframes as set by the Commonwealth Government.

Record of Voting:
CARRIED

16.4 **Riverflow Public Art Prototype**
(Group Manager Project Delivery)

RECOMMENDATION: Councillor Garrard and Councillor Wang

- (a) That Council acknowledges the issues and risks arising from the 2023 installation of the Riverflow artwork prototype.
- (b) That the Riverflow artwork prototype be removed from Parramatta Square and the impacted area be immediately reinstated to its original condition.
- (c) That Council roll over the remaining capital budget allocation for the Riverflow project into the 2024/25 capital works budget; and
- (d) That the Council re-establish the Public Domain Committee, utilising the previously adopted Terms of Reference for the Committee and that membership of the Committee be determined after the September 2024 Local Government Election.

Record of Voting:
CARRIED

PROCEDURAL MOTION
RETURN TO OPEN SESSION

RESOLVED: Councillor MacLean and Councillor Wearne

That Council move into open session.

Record of Voting:
CARRIED:

Note: Council returned to Open Session at 9.23pm.

PROCEDURAL MOTION CONSIDERATION OF RECOMMENDATIONS FROM CLOSED SESSION

RESOLVED: Councillor MacLean and Councillor Garrard

That the recommendations in relation to the following items be received and noted as resolutions of Council without any alteration and amendment thereto:

- Item 16.3: Progress Report - Grant Application for the Upgrade of Belmore Park (Richie Benaud Oval)
- Item 16.4 Riverflow Public Art Prototype

Record of Voting:

CARRIED:

16.3 Progress Report - Grant Application for the Upgrade of Belmore Park (Richie Benaud Oval)

(Group Manager Infrastructure Grants and Major Projects)

RESOLVED: Councillor Pandey and Councillor Garrard

- (a) That Council note the current progress on the PCIP grant application for Belmore Park.
- (b) That Council note the construction milestones submitted in the grant funding application and that any options to fast track the project would require renegotiation of the grant funding application, leading to further delays in the application process.
- (c) That if the grant funding application is successful, Council proceed with the delivery timeframes as set by the Commonwealth Government.

Record of Voting:

CARRIED

16.4 Riverflow Public Art Prototype

(Group Manager Project Delivery)

RESOLVED: Councillor Garrard and Councillor Wang

- (a) That Council acknowledges the issues and risks arising from the 2023 installation of the Riverflow artwork prototype.
- (b) That the Riverflow artwork prototype be removed from Parramatta Square and the impacted area be immediately reinstated to its original condition.

- (c) That Council roll over the remaining capital budget allocation for the Riverflow project into the 2024/25 capital works budget; and
- (d) That the Council re-establish the Public Domain Committee, utilising the previously adopted Terms of Reference for the Committee and that membership of the Committee be determined after the September 2024 Local Government Election.

**Record of Voting:
CARRIED**

CONCLUSION OF MEETING

The meeting concluded at 9.24pm.

This page and the preceding 28 pages are the Minutes of the Ordinary Council Meeting held on Tuesday, 11 June 2024 and confirmed on Monday, 24 June 2024.

Chairperson

REPORTS TO COUNCIL - FOR NOTATION

24 JUNE 2024

12.1	Investment Report for May 2024	38
12.2	Update Report - Status of Council Policies and Documents for the Delivery of Public Art	92
12.3	Status Update - CBD Footpaths Audit and Pavement Replacement Program (Peer Review)	96

REPORTS TO COUNCIL - FOR NOTATION

ITEM NUMBER	12.1
SUBJECT	Investment Report for May 2024
REFERENCE	F2024/00282 - D09386904
REPORT OF	Tax and Treasury Accountant
CSP THEME:	Fair

WORKSHOP/BRIEFING DATE: Nil

PURPOSE:

The purpose of this report is to inform Council of the investment portfolio performance and compliance for the month of May 2024.

RECOMMENDATION

That Council receive and note the Investment Report for May 2024.

BACKGROUND

1. In accordance with clause 212 of the *Local Government (General) Regulation 2021 (the Regulation)*, a report setting out details of all money invested must be presented to Council monthly.
2. The report must include a certificate as to whether the investments have been made in accordance with the *Local Government Act 1993 (the Act)*, the *Local Government (General) Regulation 2021* and Council's Investment Policy.

ISSUES/OPTIONS/CONSEQUENCES

Investment Portfolio Summary

3. The investment portfolio closing balance as of 31 May 2024 was \$590.6m. The average portfolio holdings held throughout the month was \$586.9m.
4. The majority of Council's investment portfolio is in term deposits (63%). The portfolio also includes liquid floating rate notes (FRNs), cash, and the TCorp Long Term Growth Fund (LTGF).
5. Approximately 9.15% of the portfolio comprises of less conservative long-term investments with exposure to credit markets and domestic and international shares. The investment portfolio is well diversified and weighted towards higher-rated institutions.

6. The table below lists the diversified range of investments held by Council as at 31 May 2024.

Table 1: Summary of investment portfolio

Investment Product	000's	% Held	Monthly Return	Annualised Return
Term Deposits	368,150	0.62	0.41	4.89
Floating Rate Notes	74,394	0.13	0.47	5.68
Bonds	44,705	0.08	0.19	2.31
Cash at Call	49,198	0.08	0.38	4.60
31 Day Notice Funds	173	0.00	0.40	4.80
CFS Global Managed Funds (CFS)	15,826	0.03	0.74	9.13
TCorp Long Term Growth Fund (LTGF)	38,157	0.06	1.32	15.35
Total Investment Funds	590,603	1.00	0.46	5.54
*COPC Internal Benchmark			0.47	5.73
Ausbond Bank Bill Index Benchmark			0.37	4.50
(Underperformance) / Outperformance > Ausbond BBI				1.04

***COPC Internal Benchmark returns** - based on Council's individual benchmarks across the various asset classes it invests within its own portfolio. The following individual benchmarks are the measurements, used for each asset class.

Cash: RBA Cash Rate

Term Deposits: based on Council's weighted average duration using multiple ADIs average monthly rate

FRNs: AusBond Credit FRN Index

CFS Global Credit Income Fund: AusBond Credit Index

NSW TCorpIM Long-Term Growth Fund: NSW TCorpIM Internal Benchmark

Investment performance for the month. The investment portfolio reported a monthly actual return of **0.46%** for May 2024 (or 5.54% on an annualised basis), outperforming the monthly Ausbond bank bill index **by 104 basis** points annualised. The TCorp Fund actual return of 1.32% was the main contributor to performance, as both domestic shares and international shares rebounded during the month. Reinvested Term deposits have also boosted council returns, with most now yielding above 5.20%.

7. **Historical investment performance.** The table below provides year-to-date and historical investment performance compared to the Ausbond Bank Bill Index.

Table 2: Historical investment portfolio performance

Past and Present Performance	FYTD	1 Year	2 Year	3 Year
Total Portfolio	4.74	4.75	3.69	2.69
Ausbond Bank Bill Index Benchmark	4.36	4.32	3.48	2.32
Outperformance	0.38	0.43	0.21	0.37

8. **Investment Revenue:** As at the end of May 2024, the cumulative actual interest/income earned, was approximately **\$458k above** the annual budget. This outperformance is on the back of strong managed funds returns over the last quarter and high term deposit yields.

Going forward, Advisors continue to exercise caution and expect volatility from the **TCorp Long-Term** given it has exposure to both domestic and international shares. This fund has a long duration view of 7-10 years and cannot be accurately measured for performance in the short term.

Table 3: Cumulative Interest table

Month-End	Cumulative Budget	Cumulative Investment Revenue	Difference (\$)
Jul 2023	\$1,766,667	\$2,157,596	\$390,929
Aug 2023	\$3,533,333	\$3,384,092	-\$149,241
Sep 2023	\$5,300,000	\$4,137,027	-\$1,162,973
Oct 2023	\$7,066,667	\$4,976,807	-\$2,089,860
Nov 2023	\$8,833,333	\$7,682,940	-\$1,150,393
Dec 2023	\$10,600,000	\$10,367,665	-\$232,335
Jan 2024	\$12,366,667	\$12,629,655	\$262,988
Feb 2024	\$14,133,333	\$14,971,968	\$838,635
Mar 2024	\$16,274,999	\$17,419,131	\$1,144,132
Apr 2024	\$18,416,665	\$18,323,716	-\$92,949
May 2024	\$20,558,331	\$21,016,198	\$457,867
Jun 2024	\$22,700,000		

Note: Council values all managed funds, Floating rate notes, and bonds on a mark to market basis each month. Any gain or loss in valuation is capitalised to interest income based on actual monthly statements.

Table 4: Managed Fund Valuations Capitalised

Managed Funds Long-Term Investments	Asset Valuation Apr-24	Asset Valuation May-24	Value Capitalised Net Return	Monthly Interest Return Actual
TCorp Long Term Growth Fund	\$37,738,043	\$38,156,894	\$418,851	1.22%
CFS Global Managed Fund	\$15,708,452	\$15,825,394	\$116,942	0.74%
Total:	\$53,446,495	\$53,982,288	\$535,793	1.08%

9. During May, unrealised capital valuations on Managed funds rose by approximately \$536k. This increase in capital valuation, has been capitalised and is included in the cumulative investment revenue shown in table 3.
10. **The CFS Global Credit fund** accounts for around 2.7% of Council's total investment portfolio. The Fund returned +0.74% (actual) in May. Credit markets remain largely bullet proof, where spreads are within touching distance of historic lows, and where investors remain attracted by the resilient fundamentals and attractive yields. With a running yield of 5.25%, council advisors recommend that we maintain this credit fund, given the alternative investments in complying fixed interest products are largely earning below this rate of return.
11. **Maturities and Transactions:** Overall, the portfolio remains well diversified from a maturity perspective, with around 24% of assets directed to medium term (2-5 years).
12. Where liquidity permits, Council advisors recommend new surplus funds be directed towards 1–5-year horizons given this is where the most attractive value can be found in term deposits and newly issued Floating rate notes.

13. The following Investment transactions occurred during May 2024:

Table 5: Investment Maturities

Type	Issuer	Rating	Principal (\$)	Purchase Date	Maturity Date	Coupon (%)
TD	Commonwealth Bank	AA-	21,000,000.00	22-Apr-22	02-May-24	3.26
TD	ICBC Sydney Branch	A	25,000,000.00	22-Apr-22	02-May-24	3.34
TD	BOQ	A-	3,500,000.00	03-May-19	03-May-24	2.8
TD	NAB	AA-	3,000,000.00	12-May-21	16-May-24	0.76
TD	ICBC Sydney Branch	A	6,000,000.00	20-May-22	20-May-24	3.7
TD	BankVic	BBB+	5,000,000.00	24-May-23	23-May-24	5.14
TD	The Mutual Bank	BBB	3,000,000.00	26-May-23	23-May-24	5.17
TD	The Mutual Bank	BBB	3,000,000.00	29-Jun-23	30-May-24	5.81
FRTD	Westpac	AA-	6,000,000.00	30-May-19	30-May-24	5.295
TD	P&N Bank	BBB+	4,000,000.00	30-May-23	30-May-24	5.15
			79,500,000.00			

Table 6: New Investment Purchases

Type	Issuer	Rating	Principal (\$)	Purchase Date	Maturity Date	Coupon (%)	Fossil Fuel Funding
TD	Rabobank Australia Limited	A	5,000,000.00	31-May-24	19-Jun-25	5.36	Yes
TD	Rabobank Australia Limited	A	5,000,000.00	31-May-24	28-May-26	5.26	Yes
TD	P&N Bank	BBB+	4,000,000.00	30-May-24	12-Jun-25	5.40	No
TD	Rabobank Australia Limited	A	2,000,000.00	29-May-24	05-Jun-25	5.37	Yes
TD	P&N Bank	BBB+	3,300,000.00	27-May-24	20-Feb-25	5.27	No
TD	Rabobank Australia Limited	A	3,300,000.00	27-May-24	06-Mar-25	5.25	Yes
TD	Bank of Us	BBB+	5,000,000.00	21-May-24	13-Feb-25	5.32	No
TD	Rabobank Australia Limited	A	5,000,000.00	21-May-24	21-May-26	5.22	Yes
TD	Rabobank Australia Limited	A	6,000,000.00	20-May-24	22-May-25	5.34	Yes
Bond	BOQ	A-	2,409,271.80	07-May-24	27-Oct-26	5.50	No
TD	ICBC Sydney Branch	A	25,000,000.00	02-May-24	15-May-25	5.35	No
TD	ICBC Sydney Branch	A	7,000,000.00	02-May-24	15-May-25	5.35	No
TD	Rabobank Australia Limited	A	14,000,000.00	02-May-24	04-May-26	5.26	Yes
TD	ICBC Sydney Branch	A	2,000,000.00	01-May-24	01-May-25	5.32	No
Long Term Growth	NSW Treasury Corp	Unrated	5,000,000.00	07-May-24	No fixed Term	Variable	Yes
			94,009,271.80				

14. During the month Council invested \$94m in term deposits and bonds. Approximately \$49m are considered green environmentally friendly, and do not invest in funding of fossil fuels.

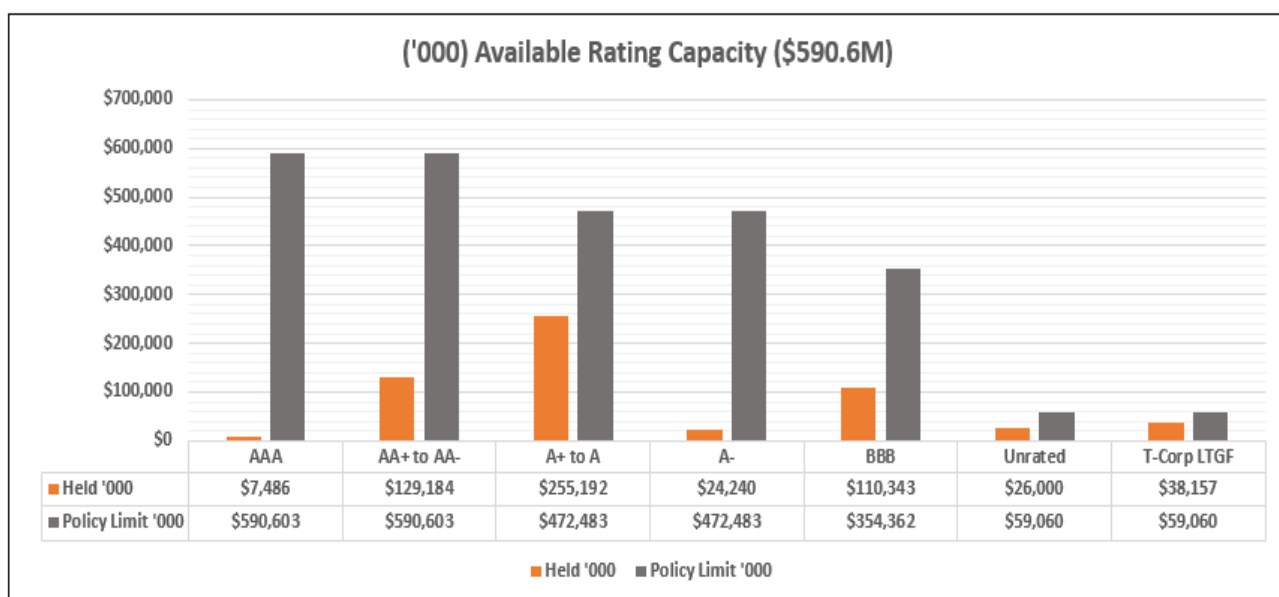
15. Portfolio Maturity Duration

Table 7: Maturity profile

Compliant	Horizon	Invested (\$)	Invested (%)	Min. Limit (%)	Max. Limit (%)	Available (\$)
✓	0 - 365 days	\$306,680,411	51.99%	20%	100%	\$283,202,104
✓	1 – 2 years	\$102,895,203	17.44%	0%	70%	\$310,022,558
✓	2 – 5 years	\$142,150,008	24.10%	0%	60%	\$211,779,501
✓	5 – 10 years	\$38,156,894	6.47%	0%	15%	\$50,325,484
		\$589,882,515	100.00%			

- The portfolio complies with Council’s Investment Policy limits, with ample investment opportunity still available within all institutional rating, duration, and counterparty limits.

Graph 1: Investment Policy rating capacity.



*BBB-/BBB+ limits combined under Council’s investment policy.

- Counterparty Limits.** All individual counterparty limits comply with council’s investment policy, with the following exceptions:

Table 8: Exceptions to counterparty limits

Institution	Policy Limit (\$'000)	Held (\$'000)	Overweight (\$'000)	Reason	Compliance Date
-------------	-----------------------	---------------	---------------------	--------	-----------------

No Exceptions

- As at the end of May 2024, Council did not have an overweight position to any single ADI. Overall, the portfolio is well diversified across the entire credit spectrum, including some exposure to unrated ADIs.
- A full list of counterparty holdings is available on page 9 of the Arlo Advisory comprehensive report (attachment 2).
- Current Yields** Councils Floating Rate Notes are currently yielding around 5.68% FYTD with unrealised capital gains of approximately \$545k based on current market valuations.
- The CFS Global Credit Fund** holds a diverse range of securities across the global credit market. It remains very well diversified by issuer to mitigate default risk. It invests in nearly 600 corporate bonds from issuers in various countries and industry sectors. Any spread contraction going forward allows credit and

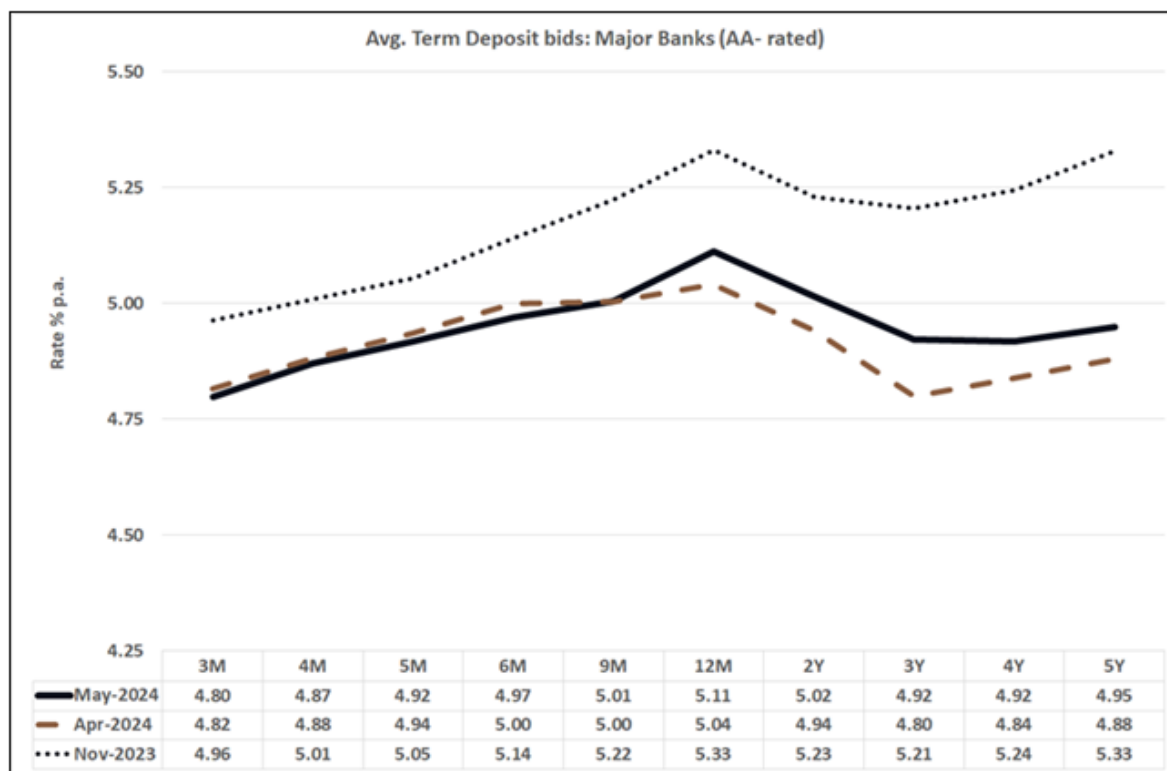
asset-backed holdings to enjoy significant capital gains. With a running yield of around +5.25% per annum, Council will continue to hold this fund.

- 22. **Council’s term deposit portfolio** (63% of the portfolio) was yielding 4.82% p.a. at month-end, with a weighted average duration of around 467 days or 1.25 years.

In May, risk assets rebounded despite inflation data continuing to challenge expectations for when central banks will begin easing monetary policy. In response, global bond yields remain elevated and have been volatile in recent months.

Over May, the average deposit rates offered by the major banks at the short end (up to 9 months) remained relatively flat. In the medium-term (1-3 years), the average bids from the major banks rose between 7-12bp, reflective of the market positioning a ‘higher-for-longer’ period where official interest rates may remain stagnant for the foreseeable future. The deposit curve remains inverse with markets still factoring in rate cuts in future years.

Graph 2: Term Deposit Yields



Source: Imperium Markets

- 23. Council engages Arlo Advisory for assistance in all investment matters relating to advice, risk, and portfolio weighting. Arlo monitor the portfolio daily and conduct a monthly health check review. This confirms that Council’s portfolio is being conducted in accordance with the Act, the Regulation, and the Investment Policy.
- 24. Detailed investment performance commentary in relation to each investment product /type and counterparty, can be found in the Arlo Advisory comprehensive report attached (**Attachment 2**).

Certification of Investments

25. I hereby certify the investments for the month of May 2024 have been made in compliance with the Act, the Regulations, Council's Investment Policy, and the adviser's recommendations.

John Angilley, Executive Director, Finance & Information

CONSULTATION & TIMING

Stakeholder Consultation

26. The following stakeholder consultation has been undertaken in relation to this matter:

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
31 May 2024	Arlo Advisory	All Investments are within Policy guidelines and supported by Councils independent advisor. Refer Arlo Comprehensive Report	All Investments are within Policy limits and reconcile to the General Ledger as at 31-May 2024	John Angilley Executive Director, Finance & Information Bruce MacFarlane Treasury & Tax Accountant

Councillor Consultation

27. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
N/A	N/A	N/A	N/A	N/A

LEGAL IMPLICATIONS FOR COUNCIL

28. There are no legal implications resulting from this report.

FINANCIAL IMPLICATIONS FOR COUNCIL

29. As of 31 May 2024, cumulative interest income outperformed the year-to-date budget by approximately **\$458k**.




Overall actual interest is tracking strongly versus budget despite some monthly volatility.

Bruce MacFarlane
Treasury Tax & Accounts Payable Manager

John Angilley
Executive Director Finance & Information

Gail Connolly
Chief Executive Officer

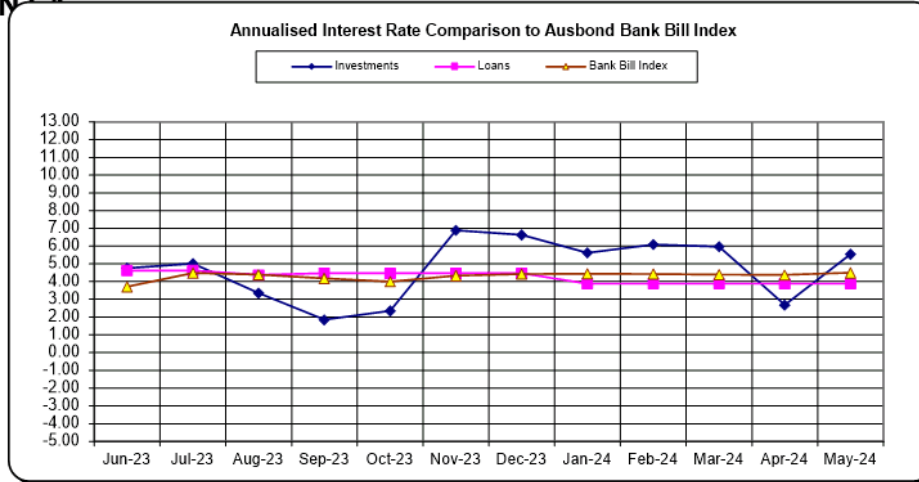
ATTACHMENTS:

- | | | |
|---|--|----------|
| 1  | Investment and Loans Performance Graph May 2024.pdf | 1 Page |
| 2  | Arlo Advisory Comprehensive Investment Report -May 2024 .pdf | 36 Pages |
| 3  | List of Council Investments by maturity May 2024.pdf | 9 Pages |

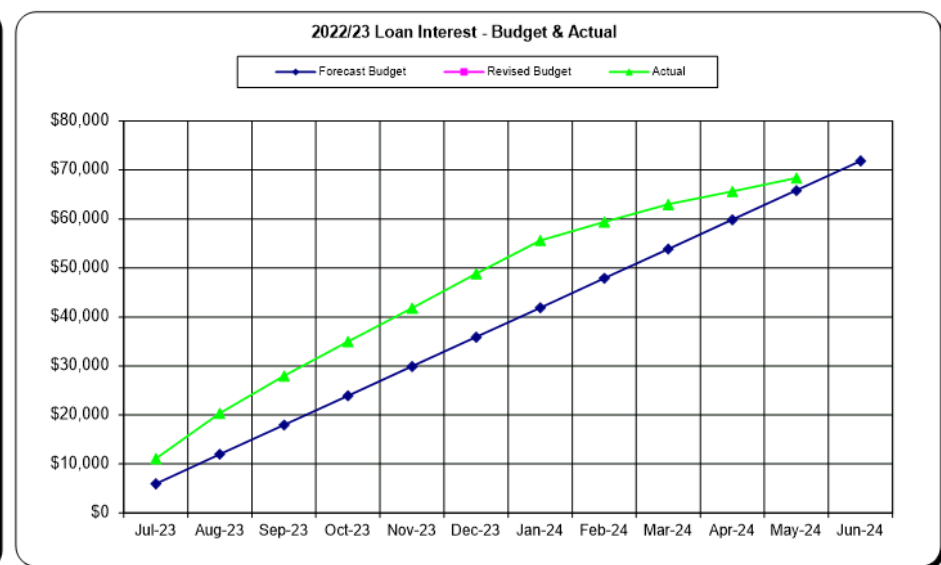
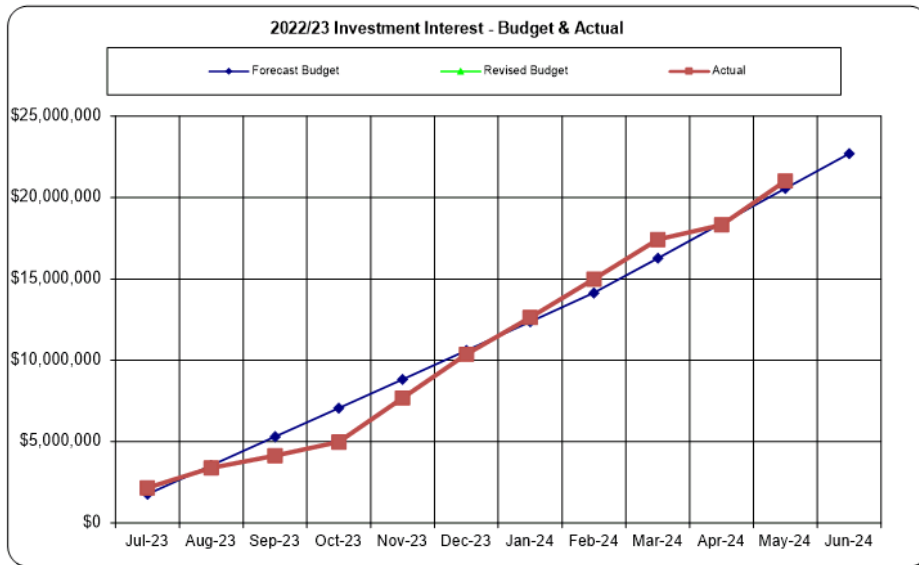
REFERENCE MATERIAL

ATTACHMENT 1

CL..... Governance & Corporate



Investments and Loans Interest - Year to Date Budget Performance





Monthly Investment Review



**CITY OF
PARRAMATTA**

May 2024

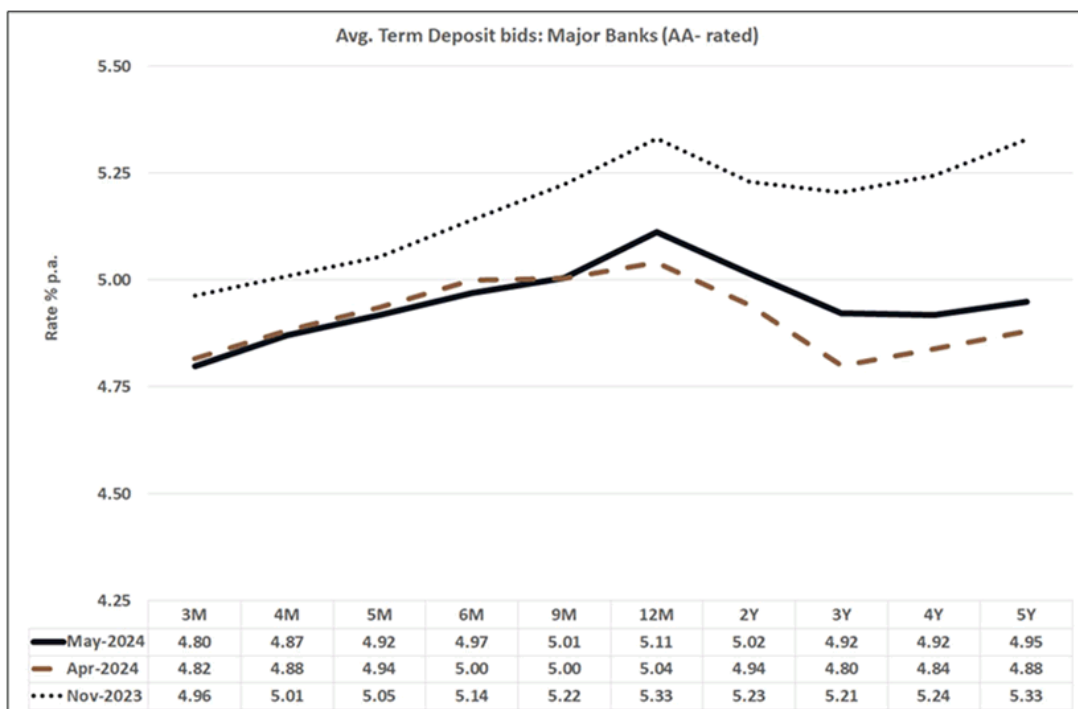
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125 Middle Harbour Road, East Lindfield NSW 2070



Market Update Summary

In May, risk assets rebounded despite inflation data continuing to challenge expectations for when central banks will begin easing monetary policy. In response, global bond yields remain elevated and have been volatile in recent months.

Over May, the average deposit rates offered by the major banks at the short-end (up to 9 months) remained relatively flat. In the medium-term (1-3 years), the average bids from the major banks rose between 7-12bp, reflective of the market positioning a 'higher-for-longer' period where official interest rates may remain stagnant for the foreseeable future. The deposit curve still remains inverse with markets still factoring in rate cuts in future years.



Source: Imperium Markets

With a global economic downturn and interest rate cuts being priced over the next 12 months, investors should consider diversifying and taking an 'insurance policy' against a potentially lower rate environment by investing across 2-5 year fixed deposits, targeting rates above 5% p.a. (small allocation only).



City of Parramatta Council's Portfolio Summary

Term Deposits

Term Deposits (fixed and floating) account for around 62% of the total investment portfolio at month-end. Council's term deposit portfolio was yielding 4.82% p.a. at month-end, with a weighted average duration of around 467 days or ~1¼ years. Where liquidity permits, we recommend maintaining this duration in the long-run.

Senior FRNs

Council's senior floating rate notes (FRNs) make up around 12½% of the total investment portfolio at month-end. The market valuation of Council's FRNs rose around **+0.09% (actual)** in May (or **+\$68,443 in dollar terms**).

Summary	April 2024	May 2024	Net Flow (\$)	Monthly Change %
Face Value	\$73,550,000	\$73,550,000	\$0	+0.00%
Market Value	\$73,944,954	\$74,013,398	\$68,443	+0.09%

We highlight that Council's FRNs are senior ranked assets and high in the bank capital structure. We expect that, if held to maturity, the FRNs will pay back its original face value (\$100.00), along with its quarterly coupons throughout the life of the security. That is, we do not expect Council to lose any capital or interest payments from its current holding in its senior FRNs given all banks continue to maintain high capital buffers as required by APRA.

At month-end, Council's FRNs are now marked at an **unrealised capital gain of +\$463,502** (noting some were purchased at a slight discount to par in the secondary market).

BBB rated senior FRNs

As per all FRNs, we have no issues with Council's investments in "BBB" rated senior FRNs given all counterparties continue to hold robust balance sheets with high levels of capital. On a mark-to-market basis, collectively they rose around **\$12,873 in dollar terms or +0.10% (actual)** for the month.

Summary	April 2024	May 2024	Net Flow (\$)	Monthly Change %
Face Value	\$12,300,000	\$12,300,000	\$0	+0.00%
Market Value	\$12,368,516	\$12,381,390	\$12,873	+0.10%

At month-end, Council's "BBB" rated FRNs are now marked at an **unrealised capital gain of ~\$81,494**.



Senior Bonds

Since September 2020, Council has an outstanding \$27m placed in Northern Territory Treasury Corporation (NTTC) fixed bonds rated AA- (same as the domestic major banks), locking in yields between 0.90%-1.40% p.a. The weighted average yield on these investments was 1.09% p.a., with a current weighted average duration of 1.44 years.

We believe these investments were sensible at the time of investment given the unprecedented low rate environment and the RBA's forward guidance at the time of investment (no rate rises "until at least 2024"). We reiterate that the NTTC bonds are a 'retail' offering and not 'wholesale' issuances. Given the lack of liquidity and high penalty costs if they were to be sold/redeemed prior to the maturity date, they are considered to be a hold-to-maturity investment and will be marked at par value (\$100.00) throughout the term of investment.

During August 2021, Council purchased \$600k in the ING (AAA) covered fixed bond at a yield of 1.16% p.a. This is likely to be held for the entire term given the rate hike cycle over the past two years. Given it is now trading at a significant discount to par, we recommend buying additional units if available, to average-in at a more attractive yield. Separately, recently, Council purchased fixed bonds with BoQ (BBB+) and Judo (BBB-) Bank at discounted values – these are likely to result in capital gains as they mature and were originally purchased between 5.36%-6.60% yields.

TCorp Long-Term Growth Fund

The NSW TCorp Fund accounts for ~6½% of Council's total investment portfolio. **The Fund returned +1.22% (actual) for the month of May following an additional investment of \$5m during the month.** Domestic and international shares rebounded in May, continuing their recent trend in gains.

Summary	Apr 2024	May 2024	Investment (\$)	Net Return (\$)	Net Return (%)
Market Value	\$32,738,043	\$38,156,894	\$5,000,000	-\$899,092	-2.67%

Global markets have been affected by US rate cut uncertainties and higher bond yields, amid sticky readings of inflation. With neither financial markets nor the real economy screaming for rate cuts, central banks are looking at recent inflation data with cautious. The inflation speed bump has rattled confidence, and sovereign markets will need to see hard evidence that this spike in inflation is indeed a technical spike and not something more persistent.

The Fund should be looked at with a long-term view, with a minimum holding period of +7 years. Given the exposure to the volatile asset of shares, Council should expect to see, on average, a negative month once every 3 months over a long-term holding period.



CFS Global Credit Income

The CFS Global Credit Income Fund accounts for around 2½% of Council's total investment portfolio. **The Fund returned +0.74% (actual) in May**, as the market valuation of the fund's assets in global credit securities increased during the month.

Summary	Apr 2024	May 2024	Difference (\$)	Difference (%)
Market Value	\$15,708,452	\$15,825,394	+\$116,942	+0.74%

The Fund holds a diverse range of securities across the global credit market. It remains very well diversified by issuer in order to mitigate default risk. It invests in nearly 600 corporate bonds from issuers in various countries and industry sectors. Any spread contraction going forward allows credit and asset-backed holdings to enjoy significant capital gains.

With a running yield of around +5¼% p.a., we recommend Council retains this "grandfathered" Fund given the alternative to invest in cash and deposits (Council's approval list) are yielding lower.

Cash Accounts

Cash accounts make up around 8% of Council's investment portfolio at month-end. Council's cash accounts are likely to yield up to 0.15% p.a. (at most) above the official cash rate over coming years i.e. yield up to 4.50% p.a. at current yields. Short-dated term deposits will continue to outperform overnight cash accounts in most cases so we recommend keeping cash levels at a bare minimum to meet ongoing liquidity requirements.



Council's Budgeted Income for FY2023-2024

Council's budgeted income for FY2023-2024 has been revised to \$22.7m. Based on an average total investment portfolio size of around \$480m, that equates to a budgeted yield of around 4.73% for the current financial year.

For the financial year to date, the cumulative interest revenue earned was roughly \$457k above the revised budgeted income. In the upcoming financial year, we exercise caution given the volatility from the TCorp Long-Term Growth Fund during any month (fluctuations can be up or down \$1m on any month).

Month-End	Cumulative Budget	Cumulative Investment Revenue	Difference (\$)
Jul 2023	\$1,766,667	\$2,157,596	\$390,929
Aug 2023	\$3,533,333	\$3,384,092	-\$149,241
Sep 2023	\$5,300,000	\$4,137,027	-\$1,162,973
Oct 2023	\$7,066,667	\$4,976,807	-\$2,089,860
Nov 2023	\$8,833,333	\$7,682,940	-\$1,150,393
Dec 2023	\$10,600,000	\$10,367,665	-\$232,335
Jan 2024	\$12,366,667	\$12,629,655	\$262,988
Feb 2024	\$14,133,333	\$14,971,968	\$838,635
Mar 2024	\$16,274,999	\$17,419,131	\$1,144,132
Apr 2024	\$18,416,665	\$18,323,716	-\$92,949
May 2024	\$20,558,331	\$21,016,198	\$457,867
Jun 2024	\$22,700,000		

We remain cautious given that risks remain to the downside, particularly if there is another selloff in equities and/or bonds as the market factors in a global economic downturn.



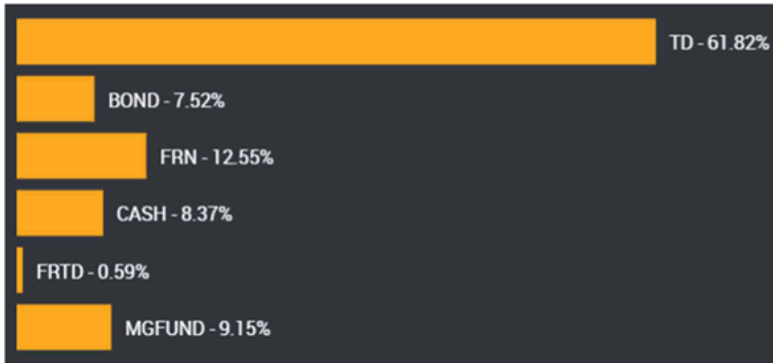
Council’s Portfolio & Compliance

Asset Allocation

As at the end of May 2024, the portfolio was mainly directed to fixed and floating rate term deposits (62%). The remaining portfolio is directed to FRNs (13%), overnight cash accounts (8%), bonds (8%), and the managed funds with CFS Global Credit Income Fund and NSW T-Corp Long Term Growth Fund (9%, combined).

Senior FRNs remain relatively attractive as spreads have generally widened over the past 2 years. New issuances may be considered again on a case by case scenario. In the interim, staggering a mix of fixed deposits between 9-12 months to 3 years remains a more optimal strategy to maximise returns over a longer-term cycle.

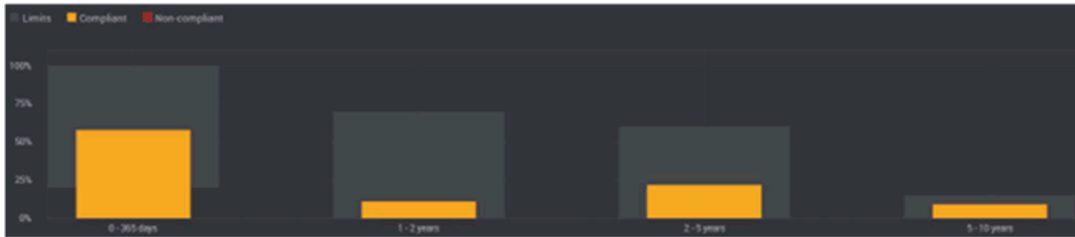
With interest rate cuts and a global economic downturn being priced in coming years, investors can choose to allocate a small proportion of longer-term funds and undertake an insurance policy against any potential future rate cuts by investing across 2-5 year fixed deposits, locking in and targeting yields above 5% p.a.





Term to Maturity

Overall, the portfolio remains well diversified from a maturity perspective with around 24% of assets directed to medium-term assets (2-5 years). All minimum and maximum criteria meet within the Policy guidelines:



Where liquidity permits, we recommend new surplus funds be directed to 1-5 year horizons given this is where the most attractive value can be found. We suggest this be allocated to any remaining attractive fixed term deposits or newly issued FRNs (refer to respective sections below).

Compliant	Horizon	Invested (\$)	Invested (%)	Min. Limit (%)	Max. Limit (%)	Available (\$)
✓	0 - 365 days	\$306,680,411	51.99%	20%	100%	\$283,202,104
✓	1 - 2 years	\$102,895,203	17.44%	0%	70%	\$310,022,558
✓	2 - 5 years	\$142,150,008	24.10%	0%	60%	\$211,779,501
✓	5 - 10 years	\$38,156,894	6.47%	0%	15%	\$50,325,484
		\$589,882,515	100.00%			



Counterparty

As at the end of May 2024, Council did not have an overweight position to any single ADI. Overall, the portfolio is well diversified across the entire credit spectrum, including some exposure to the unrated ADIs.

Compliant	Issuer	Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	BoQ Covered	AAA	\$904,058	0.15%	50.00%	\$294,037,199
✓	Bendigo Covered	AAA	\$5,226,033	0.89%	50.00%	\$289,715,224
✓	Suncorp Covered	AAA	\$551,875	0.09%	50.00%	\$294,389,383
✓	ING Covered	AAA	\$804,103	0.14%	50.00%	\$294,137,154
✓	ANZ	AA-	\$12,608,518	2.14%	40.00%	\$223,344,488
✓	CBA	AA-	\$11,404,958	1.93%	40.00%	\$224,548,048
✓	NAB	AA-	\$70,950,143	12.03%	40.00%	\$165,002,863
✓	Northern Territory	AA-	\$30,000,000	5.09%	40.00%	\$205,953,006
✓	Westpac	AA-	\$3,500,000	0.59%	40.00%	\$232,453,006
✓	Citibank NA	A+	\$1,001,191	0.17%	25.00%	\$146,469,438
✓	Macquarie	A+	\$2,437,402	0.41%	25.00%	\$145,033,227
✓	Suncorp	A+	\$20,269,084	3.44%	25.00%	\$127,201,545
✓	UBS AG	A+	\$5,802,585	0.98%	25.00%	\$141,668,044
✓	CFS Global CI	A	\$15,825,394	2.68%	25.00%	\$131,645,235
✓	ICBC	A	\$100,054,320	16.96%	25.00%	\$47,416,309
✓	ING Bank Aus.	A	\$25,002,486	4.24%	25.00%	\$122,468,143
✓	Rabo. Aus.	A	\$84,800,000	14.38%	25.00%	\$62,670,629
✓	BoQ	A-	\$21,113,150	3.58%	25.00%	\$126,357,478
✓	Bendigo-Adelaide	A-	\$3,126,912	0.53%	25.00%	\$144,343,717
✓	AMP Bank	BBB+	\$8,672,769	1.47%	15.00%	\$79,809,608
✓	Aus. Unity Bank	BBB+	\$4,000,000	0.68%	15.00%	\$84,482,377
✓	Bank Australia	BBB+	\$4,223,121	0.72%	15.00%	\$84,259,257
✓	Bank of Us	BBB+	\$26,000,000	4.41%	15.00%	\$62,482,377
✓	Great Southern	BBB+	\$2,508,975	0.43%	15.00%	\$85,973,402
✓	Heritage	BBB+	\$2,115,336	0.36%	15.00%	\$86,367,041
✓	Newcastle	BBB+	\$1,523,763	0.26%	15.00%	\$86,958,614
✓	P&N Bank	BBB+	\$16,800,000	2.85%	15.00%	\$71,682,377
✓	Police Bank	BBB+	\$4,000,000	0.68%	15.00%	\$84,482,377
✓	QT Mutual Bank	BBB+	\$1,000,747	0.17%	15.00%	\$87,481,630
✓	Auswide Bank	BBB	\$15,000,000	2.54%	15.00%	\$73,482,377
✓	Judo Bank	BBB	\$16,489,250	2.80%	15.00%	\$71,993,127
✓	MyState	BBB	\$3,000,000	0.51%	15.00%	\$85,482,377
✓	QBank	BBB	\$5,009,448	0.85%	15.00%	\$83,472,929



Compliant	Issuer	Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	Arab Bank Aus.	Unrated	\$5,000,000	0.85%	0.85%	\$0
✓	Bank of Sydney	Unrated	\$5,000,000	0.85%	0.85%	\$0
✓	Move Bank	Unrated	\$5,000,000	0.85%	0.85%	\$0
✓	Police CU	Unrated	\$4,000,000	0.68%	0.85%	\$1,000,000
✓	Summerland Bank	Unrated	\$2,000,000	0.34%	0.85%	\$3,000,000
✓	Unity Bank	Unrated	\$5,000,000	0.85%	0.85%	\$0
✓	TCorpIM LTG	Unrated	\$38,156,894	6.47%	10.00%	\$20,831,358
			\$589,882,515	100.00%		

In early April 2024, BoQ and Bendigo-Adelaide were upgraded by S&P from BBB+ to A-. Separately, several other regional banks were upgraded from BBB to BBB+, as well as BBB- to BBB. This has resulted in increased capacity to invest in some of these individual institutions from a counterparty perspective, as well as the aggregate "BBB" rated category (see Credit Quality section).



Domestic versus International

Noting Council's (internationally) demographic ratepayer base, we summarise where its investments are currently placed:

ADI Category by APRA / Country of Region	Amount Invested	Percentage
Australian Owned ADI	\$308,687,771	52.33%
Australia	\$308,687,771	52.33%
Branches of Foreign Bank	\$106,858,096	18.12%
China	\$100,054,320	16.96%
Switzerland	\$5,802,585	0.98%
United States	\$1,001,191	0.17%
Foreign Subsidiary Banks	\$120,354,361	20.40%
Jordan	\$5,000,000	0.85%
Lebanon	\$5,000,000	0.85%
Netherlands	\$110,354,361	18.71%
Global [^]	\$53,982,288	9.15%
International	\$53,982,288	9.15%
Total	\$589,882,515	100.00%

Source: <https://www.apra.gov.au/register-of-authorised-deposit-taking-institutions>

[^]Global: The NSW TCorpIM LTGF and CFS Global Credit Income Fund invests in hundreds of underlying securities globally, from which the portfolio composition is likely to change regularly.

Overall, approximately 52% of Council's total investment portfolio is placed with domestic ADIs, while the remaining 48% is placed with international banks and corporate entities. In response to global financial crisis (GFC), the Financial Stability Board (FSB) came up with a range of financial metrics to ascertain which banks were effectively deemed "too big to fail". A list of Globally Systemic Important Banks (G-SIBs) was developed, in which these banks required to hold much higher levels of capital compared to their smaller peers to ensure their financial stability under various stress test scenarios (e.g. another GFC).

Council's exposure to the international banks are generally with such Globally Systemic Important Banks (G-SIBs), including ICBC (China), ING Bank and Rabobank (Netherlands), UBS (Switzerland) and Citibank (US).

Overall, we have no concerns with Council's exposure to international banks given they are largely considered to be globally systematic important banks that are 'too big to fail'.



Fossil Fuel Investments

What is Council's current exposure to institutions that fund fossil fuels?

Using the following link <http://www.marketforces.org.au/banks/compare>, based on the Council's investment portfolio balance as at 31/05/2024 (\$589.88m), we can roughly estimate that ~52% of the investments have some form of exposure. Council's exposure is summarised as follows:

Counterparty	Credit Rating	Funding Fossil Fuel
BoQ Covered	AAA	Yes
Bendigo Covered	AAA	No
Suncorp Covered	AAA	No
ING Covered	AAA	Yes
ANZ	AA-	Yes
CBA	AA-	Yes
NAB	AA-	Yes
Northern Territory	AA-	Yes
Westpac	AA-	Yes
Citibank NA	A+	Yes
Macquarie	A+	Yes
Suncorp	A+	No
UBS AG	A+	No
CFS Global Credit^^	A	Yes
ICBC	A	No
ING Bank Australia	A	Yes
Rabobank Australia	A	Yes
BOQ	A-	No
Bendigo-Adelaide	A-	No
AMP Bank	BBB+	Yes
Aus. Unity Bank	BBB+	No
Bank Australia	BBB+	No
Bank of Us	BBB+	No
Great Southern	BBB+	No
Heritage	BBB+	No
Newcastle	BBB+	No
P&N Bank	BBB+	No
Police Bank	BBB+	No
QT Mutual Bank	BBB+	No
Auswide Bank	BBB	No
Judo Bank	BBB	No
MyState	BBB	No
QBank	BBB	No
Arab Bank Aus.	Unrated	No
Bank of Sydney	Unrated	No
Move Bank	Unrated	No
Police CU	Unrated	No
Summerland Bank	Unrated	No
Unity Bank	Unrated	No
T-CorplM LTG Fund^^	Unrated	Yes

^^The underlying exposure in these managed funds includes the domestic major banks.

Source: <https://www.marketforces.org.au/info/compare-bank-table/>



Summary	Amount	Invested %
Yes	\$305,815,688	52%
No	\$284,066,827	48%
	\$589,882,515	100%

Transition to investments without major exposure to fossil fuels

Council has not made a decision to divest from the current portfolio of investments which have exposure to fossil fuels. To do so would have unfavourable implications to the credit quality, rating and interest income forecasts.

However, where possible, and within the ministerial and policy guidelines, Council will continue to favour newly issued fossil fuel free investment products, providing it does not compromise the risk and return profile.

In time it is Council's intention to move to a more balanced portfolio which has less exposure to fossil fuels, providing it is prudent to do so.

What would be implications on our portfolio credit rating?

By adopting a free fossil fuel policy or an active divestment strategy, this would eliminate the major banks rated "AA-" as well as some other "A" rated banks (Citi, Macquarie and ING). Council would be left with a smaller sub-sector of banks to choose to invest with.

What would be risks and implications on Council's portfolio performance?

Some implications include:

- High concentration risk – limiting Council to a selected number of banks;
- Increased credit/counterparty risk;
- May lead to a reduction in performance (e.g. most of the senior FRN issues are with the higher rated ADIs);
- Underperformance compared to other Councils which could result in a significant loss of income generated – could be in excess of hundreds of thousands of dollars per annum.

It may actually be contrary to Council's primary objective to preserve capital as the investment portfolio's risk would increase (all things being equal). Council may not be maximising its returns – this is one of the primary objectives written in the Investment Policy.



Credit Quality

Following the most recent adopted Policy, all aggregate ratings categories are currently within the Policy limits:

Compliant	Credit Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	AAA Category	\$7,486,069	1%	100%	\$582,396,446
✓	AA Range or Major Banks	\$128,463,620	22%	100%	\$461,418,896
✓	A Category	\$279,432,524	47%	80%	\$192,473,489
✓	BBB Category	\$110,343,409	19%	30%	\$66,621,345
✓	Unrated ADI Category	\$26,000,000	4%	10%	\$32,988,252
✓	TCorpIM Funds	\$38,156,894	6%	25%	\$109,313,735
		\$589,882,515	100.00%		

The portfolio remains well diversified across the entire credit spectrum, including some exposure to the unrated ADI sector. There is high capacity to invest in the higher rated ADIs (A or higher), with some capacity to invest in the “BBB” rated category.



Performance

Council's performance (actual returns) for the month ending May 2024 is summarised as follows:

Performance (Actual)	1 month	3 months	6 months	FYTD	1 year	2 years	3 years
Official Cash Rate	0.36%	1.08%	2.16%	3.91%	4.26%	3.47%	2.34%
AusBond Bank Bill Index	0.37%	1.10%	2.20%	4.01%	4.32%	3.48%	2.32%
PCC Internal Benchmark*	0.47%	1.20%	2.87%	4.92%	5.38%	4.53%	3.07%
PCC Cash Portfolio	0.38%	1.14%	2.28%	4.14%	4.51%	3.71%	2.60%
PCC T/D Portfolio	0.41%	1.13%	2.16%	3.69%	3.95%	3.12%	2.51%
PCC FRN Portfolio	0.47%	1.40%	2.80%	5.19%	5.62%	4.74%	3.65%
PCC Bond Portfolio	0.19%	0.46%	0.85%	1.34%	1.43%	1.27%	1.20%
PCC Credit Fund	0.74%	1.91%	4.39%	7.95%	8.97%	6.18%	3.41%
PCC TCorp Growth Fund	1.22%	0.60%	7.90%	9.43%	11.53%	7.88%	4.66%
PCC's Total Portfolio	0.46%	1.18%	2.68%	4.35%	4.75%	3.69%	2.69%
Rel. Perf. (BBI)	0.08%	0.08%	0.49%	0.34%	0.43%	0.22%	0.37%
Rel. Perf. (Int. Bench.)	-0.02%	-0.03%	-0.19%	-0.57%	-0.63%	-0.83%	-0.38%

*The Internal Benchmark returns are based on Council's individual benchmarks across the various asset classes it invests within its own portfolio. The following individual benchmarks are used for each asset class that Council invests in:

Cash: RBA Cash Rate

Term Deposits: Deposit benchmark based on Council's weighted average duration using multiple ADIs average monthly rate

FRNs: AusBond Credit FRN Index

CFS Global Credit Income Fund: AusBond Credit Index

NSW TCorpIM Long-Term Growth Fund: Fund's return itself

For the month of May, the total investment portfolio (including cash) provided a return of +0.46% (actual) or +5.54% p.a. (annualised), outperforming the AusBond Bank Bill Index return of +0.37% (actual) or +4.50% p.a. (annualised), whilst underperforming Council's internal benchmark return of +0.47% (actual) or +5.73% p.a. (annualised).

The longer-term outperformance continues to be anchored by the handful of longer-dated deposits, as well as the FRNs locked in at attractive margins, boosted by the strategic sales implemented over the past few years. This is now reflected in the longer-term returns with the FRN portfolio now ahead of fixed term deposits over 1-3 year time periods (also driven recently during the RBA's rate hike cycle).



The annualised returns as of May 2024 are shown in the following table:

Performance (% p.a.)	1 month	3 months	6 months	FYTD	1 year	2 years	3 years
Official Cash Rate	4.35%	4.35%	4.35%	4.26%	4.26%	3.47%	2.34%
AusBond Bank Bill Index	4.50%	4.43%	4.43%	4.36%	4.32%	3.48%	2.32%
PCC Internal Benchmark*	5.73%	4.85%	5.81%	5.35%	5.38%	4.53%	3.07%
PCC Cash Portfolio	4.60%	4.60%	4.60%	4.51%	4.51%	3.71%	2.60%
PCC T/D Portfolio	4.89%	4.54%	4.36%	4.01%	3.95%	3.12%	2.51%
PCC FRN Portfolio	5.68%	5.67%	5.66%	5.66%	5.62%	4.74%	3.65%
PCC Bond Portfolio	2.31%	1.84%	1.69%	1.46%	1.43%	1.27%	1.20%
PCC Credit Fund	9.13%	7.81%	8.94%	8.67%	8.97%	6.18%	3.41%
PCC TCorp Growth Fund	15.35%	2.42%	16.38%	10.29%	11.53%	7.88%	4.66%
PCC's Total Portfolio	5.54%	4.74%	5.43%	4.74%	4.75%	3.69%	2.69%
Rel. Perf. (BBI)	1.04%	0.32%	0.99%	0.37%	0.43%	0.22%	0.37%
Rel. Perf. (Int. Bench.)	-0.19%	-0.11%	-0.39%	-0.62%	-0.63%	-0.83%	-0.38%



Recommendations for Council

Term Deposits

As at the end of May 2024, Council's **deposit** portfolio was yielding **4.82% p.a.** (up 36bp from the previous month), with a weighted average duration of around 467 days (~1¼ years).

There is growing belief that interest rate cuts and a global economic downturn maybe delivered in the coming year and so locking in rates above 5% p.a. across 1-5 year tenors may provide some income protection against a lower rate environment over coming years.

We recommend Council maintains the average duration around 12 months (or slightly longer) over the long-term.

Please refer to the section below for further details on the Term Deposit market.

Securities

Primary (new) Senior **FRNs** (with maturities between 3-5 years) continue to be appealing (particularly for those investors with portfolios skewed towards fixed assets) and should be considered on a case by case scenario. Please refer to the section below for further details on the FRN market.

Council FRNs – Recommendations for Sale/Switches

We will inform Council when there is an opportunity to sell out of any future sub-optimal FRNs and switch into a higher yielding complying asset. This strategy has worked very well as Council has ultimately boosted the overall returns of the investment portfolio (up to hundreds of thousands of dollars in previous financial years). There will be an opportunity to switch/sell out of the following FRN(s) in coming months, ideally switching into a newly issued attractive FRN:

Issuer	Rating	Maturity Date	ISIN	Face Value	Trading Margin	Capital Price (\$)	~Unrealised Gain (\$)
Suncorp	AAA	17/10/2025	AU3FN0072617	\$800,000	+45.5bp	\$100.513	\$4,103
Citibank	A+	17/11/2024	AU3FN0051561	\$1,000,000	+51.5bp	\$100.119	\$1,191
BoQ	AAA	14/05/2025	AU3FN0054086	\$900,000	+53.5bp	\$100.451	\$4,058
BoQ	A-	30/10/2024	AU3FN0051272	\$1,000,000	+54.5bp	\$100.183	\$1,827
UBS	A+	30/07/2025	AU3FN0055307	\$3,250,000	+60.0bp	\$100.263	\$8,557



This strategy has boosted overall returns and will continue to do so going forward. The current financial year's realised gains are shown as follows:

Issuer	Rating	Maturity Date	ISIN	Face Value	Trading Margin	Capital Price (\$)	Realised Gain (\$)
NAB	AA-	21/01/2025	AU3FN0052510	\$2,000,000	+53.0bp	\$100.345	\$6,900
Suncorp	A+	30/07/2024	AU3FN0049144	\$2,000,000	+59.0bp	\$100.192	\$4,800
NAB	AA-	30/05/2025	AU3FN0069373	\$2,000,000	+57.0bp	\$100.548	\$9,316
Suncorp	AAA	24/04/2025	AU3FN0053880	\$700,000	+71.0bp	\$100.498	\$3,486
Bendigo	BBB+	06/09/2024	AU3FN0050019	\$1,750,000	+76.0bp	\$100.151	\$2,642
Total Realised Gains FY2023-2024							\$27,144

Council's Senior Fixed Bonds

Since September 2020, Council placed parcels in NTTC (AA-) fixed bonds as follows:

Investment Date	Maturity Date	Principal	Rate % p.a. [^]	Remaining Term (Yrs)	Interest Paid
24/11/2020	16/12/2024	\$1,000,000	0.90%	0.55	Annually
16/02/2021	16/06/2025	\$1,000,000	0.90%	1.04	Annually
16/02/2021	15/06/2026	\$5,000,000	1.00%	2.04	Annually
12/05/2021	17/06/2024	\$3,000,000	0.80%	0.05	Annually
12/05/2021	16/06/2025	\$3,000,000	1.10%	1.04	Annually
12/05/2021	15/06/2026	\$3,000,000	1.30%	2.04	Annually
20/05/2021	16/06/2025	\$3,500,000	1.10%	1.04	Annually
09/09/2021	16/12/2024	\$2,500,000	0.90%	0.55	Semi-Annually
09/09/2021	15/12/2026	\$5,000,000	1.40%	2.54	Semi-Annually
Totals / Wgt. Avg.		\$27,000,000	1.09%	1.44 yrs	

At the time of investment, these investments were relatively attractive especially after the rate cut delivered in early November 2020 to 0.10% and its subsequent forward guidance on official interest rates (no rate rises "until at least 2024"). The NTTC bonds are a 'retail' offering and not 'wholesale' issuances. Given the lack of liquidity and high penalty costs if they were to be sold/redeemed prior to the maturity date, they are considered to be a hold-to-maturity investment and will be marked at par value (\$100.00) throughout the term of investment.



Separately, Council also purchased into the following fixed bonds. Where attractive, Council may consider purchasing additional units in these securities in the secondary market to 'average-in' a better overall purchase price.

Issuer	Rating	Maturity Date	ISIN	Face Value	Purchase Yield	Current Yield	Unrealised Gain / Loss (\$)
ING	AAA	19/08/2026	AU3CB0282358	\$600,000	1.16%	4.96%	-\$46,379
BoQ	A-	06/09/2024	AU3CB0296168	\$1,500,000	5.45%	5.35%	+\$9,359
BoQ	A-	06/09/2024	AU3CB0284149	\$2,600,000	5.36%	5.38%	+\$2,868
BoQ	A-	30/04/2029	AU3CB0308955	\$8,000,000	5.36%	5.47%	-\$40,224
Judo	BBB-	26/09/2025	AU3CB0292480	\$2,000,000	6.60%	6.79%	-\$3,870



CFS Global Credit Income Fund

For the month of May, the CFS Global Credit Income Fund returned +0.74% (actual), outperforming the AusBond Bank Bill Index return of +0.37% (actual), and the AusBond Credit Index return of +0.70% (actual).

Credit markets remain largely bullet proof, where spreads are within touching distance of historic lows, and where investors remain attracted by the resilient fundamentals and attractive all-in-yields.

Although it has been a relatively volatile environment for credit over the past few years, it has been one of Council's best performing assets over the longer-term. The portfolio continues to accumulate high running-income in excess of the benchmark across all corporate and financial sectors. The Fund holds a diverse range of securities across the global credit market. It remains very well diversified by issuer in order to mitigate default risk. It invests in nearly 600 corporate bonds from issuers in various countries and industry sectors. Any spread contraction going forward allows credit and asset-backed holdings to enjoy significant capital gains.

With a running yield of ~5¼% p.a., we recommend Council to retain this investment given the alternative investments in complying fixed interest products are largely earning below this rate of return.



NSW T-CorpIM Growth Fund

The Growth Fund returned +1.22% (actual) for the month of May. Council placed an additional investment of \$5m during the month. Both domestic shares (S&P ASX 200 Accumulation Index +0.92%) and international shares (MSCI World ex-Australia +4.26%) rebounded during the month. Bonds also provided modest returns, contributing to the positive return (AusBond Composite Bond Index added +0.39%).

Q1 inflation in the US (and other countries including Australia) has been larger and broader based than expected. This has taken place against a background of continued economic resilience. The consequence is that financial markets, led by the US have repriced forward rate cut expectations much lower. Earlier this year, expectations were confident for a June rate cut by the US Federal Reserve (Fed), but this was gradually pushed back to September and now expectations are debating whether a cut will take place even before year end.

Global markets have been affected by US rate cut uncertainties and higher bond yields, amid sticky readings of inflation. With neither financial markets nor the real economy screaming for rate cuts, central banks are looking at recent inflation data with cautious. The inflation speed bump has rattled confidence, and sovereign markets will need to see hard evidence that this spike in inflation is indeed a technical spike and not something more persistent.

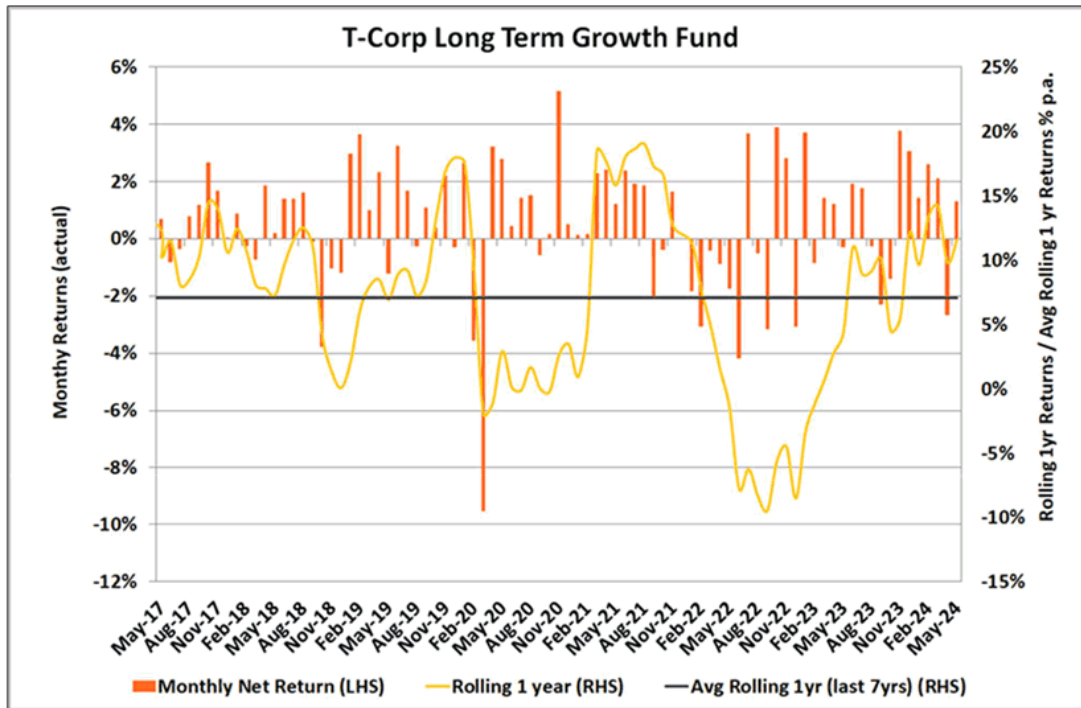
Overall, we remain cautious on the future performance of the T-Corp Growth Fund given the high volatility associated with a diversified growth fund, which generally allocates a range of 60%–80% in domestic and international shares. Investors are seeking relief from the elevated levels of inflation and remain hopeful that rate cuts will be delivered over the next 12 months.

As we mentioned in recent months, with shares reaching their all-time highs, and with official rates at or seemingly close to their cyclical peak, investors may choose to partially de-risk their position in the Fund. With complying defensive fixed interest assets such as term deposits (which also does not incur any mark-to-market volatility) still being offered around the 5¼%–5½% level for 5 years from a handful of ADIs, investors may take the opportunity to partially or redeem altogether from the TCorp LTGF noting it's long-term returns has been just under 7% p.a. The risk premium has certainly narrowed coming out of the pandemic period (when official rates were down to emergency levels).

For those willing to hold, the Fund should be looked at with a long-term view, with a minimum holding period of +7 years (some view it as a perpetual long-term investment). Given the exposure to the volatile asset of shares, Council should expect to see, on average, a negative month once every 3 months over long-term time periods.



Since Inception	T-Corp Long Term Fund
Negative Months	144 (~1 in 3 months)
Positive Months	275
Total Months	419 (34.92 yrs)
Average Monthly Return	+0.65% (actual)
Median Monthly Return	+1.02% (actual)
Lowest 1 year Rolling Return	-21.12% p.a. (Nov 2008)
Highest 1 year Rolling Return	+29.89% p.a. (Jan 1994)





Term Deposit Market Review

Current Term Deposits Rates

As at the end of May, we see value in the following:

ADI	LT Credit Rating	Term	Rate % p.a.
ING	A	5 years	5.35%
ING	A	4 years	5.26%
ING	A	2 years	5.25%
ING	A	3 years	5.20%
Westpac	AA-	2 years	5.13%
Bank of Us	BBB+	2 years	5.12%
Suncorp	A+	2 years	5.11%
Australian Military	BBB+	2 years	5.11%
NAB	AA-	2 years	5.05%
Suncorp	A+	3 years	5.03%

The above deposits are suitable for investors looking to maintain diversification and lock-in a slight premium compared to purely investing short-term.

For terms under 12 months, we believe the strongest value is currently being offered by the following ADIs (we stress that rates are indicative, dependent on daily funding requirements and different for industry segments):



ADI	LT Credit Rating	Term	Rate % p.a.
P&N Bank	BBB+	12 months	5.40%
Rabobank	A	12 months	5.37%
ING	A	12 months	5.31%
Bank of Us	BBB+	12 months	5.25%
NAB	AA-	12 months	5.25%
BankVIC	BBB+	12 months	5.25%
Westpac	AA-	12 months	5.24%
Suncorp	A+	12 months	5.23%
Suncorp	A+	9 months	5.21%
NAB	AA-	10-11 months	5.20%
NAB	AA-	6-9 months	5.15%
BoQ	A-	6-12 months	5.10%
NAB	AA-	3-4 months	5.00%

If Council does not require high levels of liquidity and can stagger a proportion of its investments across the longer term horizons (1-5 years), it will be rewarded over a longer-term cycle. Investing a spread of 12 months to 3 year horizons is likely to yield, on average, up to ¼-½% p.a. higher compared to those investors that entirely invest in short-dated deposits (under 6-9 months).

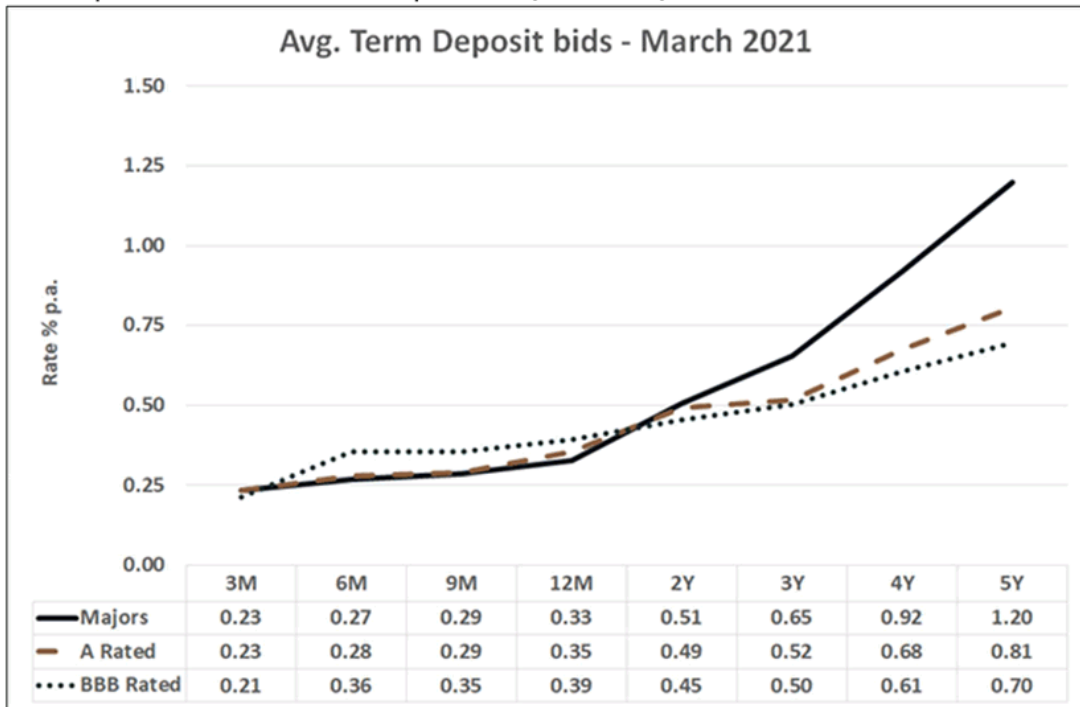
With a global economic slowdown and interest rate cuts being priced over the next few years, investors should strongly consider diversifying by allocating some longer term surplus funds and undertake an insurance policy by investing across 2-5 year fixed deposits and locking in rates above 5% p.a. This will provide some income protection with central banks now potentially looking to cut rates in 2025.



Term Deposits Analysis

Pre-pandemic (March 2020), a 'normal' marketplace meant the lower rated ADIs (i.e. BBB category) were offering higher rates on term deposits compared to the higher rated ADIs (i.e. A or AA rated). But due to the cheap funding available provided by the RBA via their Term Funding Facility (TFF) during mid-2020, allowing the ADIs to borrow as low as 0.10% p.a. fixed for 3 years, those lower rated ADIs (BBB rated) did not require deposit funding from the wholesale deposit. Given the higher rated banks had more capacity to lend (as they have a greater pool of mortgage borrowers), they subsequently were offering higher deposit rates. In fact, some of the lower rated banks were not even offering deposit rates at all. As a result, most investors placed a higher proportion of their deposit investments with the higher rated (A or AA) ADIs over the past three years.

Term Deposit Rates – 12 months after pandemic (March 2021)



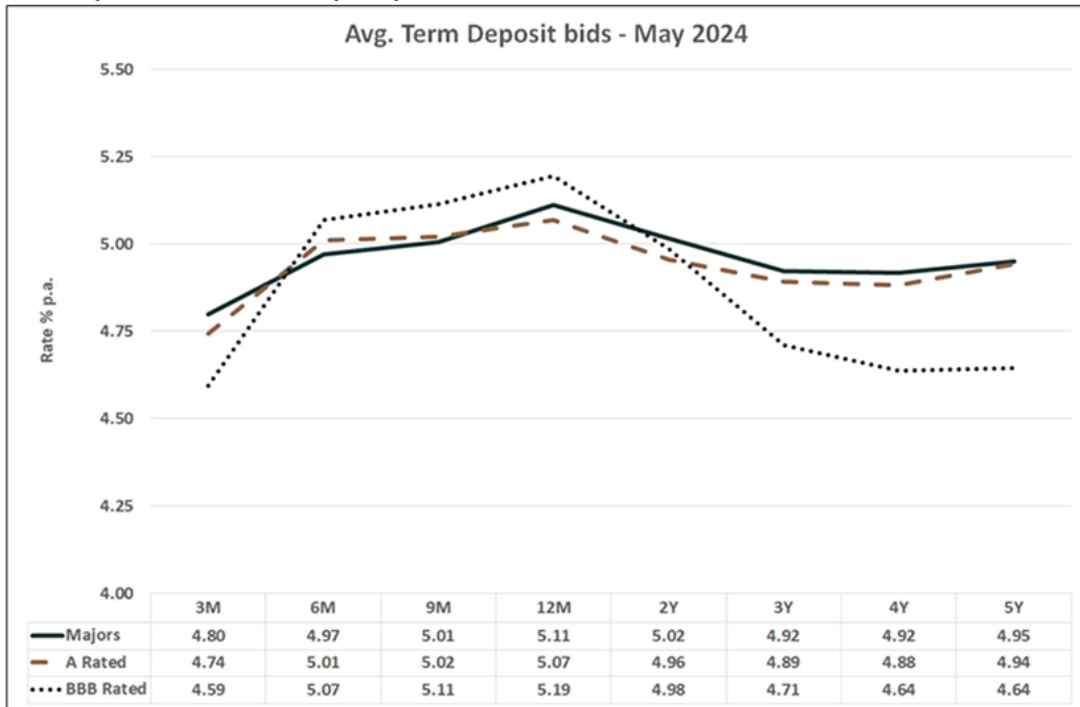
Source: Imperium Markets

The abnormal marketplace experienced during the pandemic is starting to reverse as the competition for deposits slowly increases, partially driven by the RBA's term funding facility coming to an end. In recent months, we have started to periodically see some of the lower rated ADIs ("A" and "BBB" rated) offering slightly higher rates compared to the domestic major banks ("AA" rated) on different parts of the curve (i.e. pre-pandemic environment). Some of this has been attributed to lags in adjusting their deposit rates as some banks (mainly the lower rated ADIs) simply set their rates for the week.



Going forward, Council should have a larger opportunity to invest a higher proportion of its funds with the lower rated institutions (up to Policy limits), from which the majority are not lending to the Fossil Fuel industry or considered 'ethical'. We are slowly seeing this trend emerge, although the major banks always seem to react to volatility more quickly than the rest of the market, as was the case again this month:

Term Deposit Rates – Currently (May 2024)



Source: Imperium Markets

Regional & Unrated ADI Sector

Ratings agency S&P has commented that "mergers remain compelling for mutuals lenders" in providing smaller lenders greater economies of scale and assisting them in being able to price competitively and will see "the banking landscape will settle with a small number of larger mutual players". S&P expects that consolidation to continue over the next two years.

We remain supportive of the regional and unrated ADI sector (and have been even throughout the post-GFC period). They continue to remain solid, incorporate strong balance sheets, while exhibiting high levels of capital – typically, much higher compared to the higher rated ADIs. Some unrated ADIs have up to 25-40% more capital than the domestic major banks, and well above the Basel III requirements.

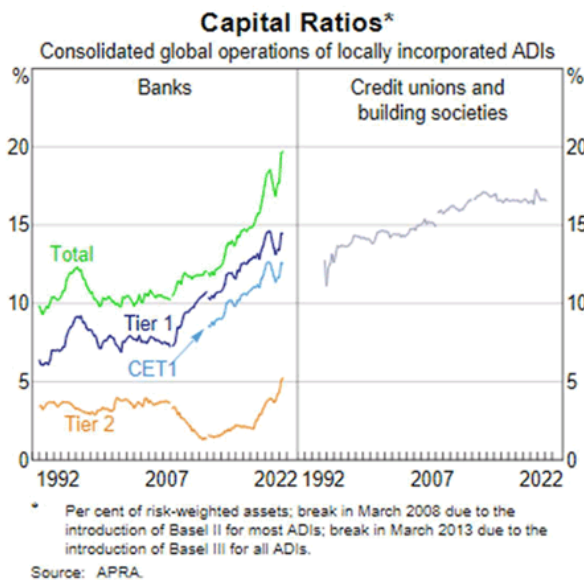
Overall, the lower rated ADIs (BBB and unrated) are generally now in a better financial position than they have been historically (see the Capital Ratio figure below). The financial regulator, APRA has noted that



the Common Equity Tier 1 capital of Australian banks now exceeds a quarter of a trillion dollars. It has increased by \$110 billion, or more than 70%, over the past decade. Over the same time, banks’ assets have grown by 44%. Some of the extra capital is supporting growth in the banking system itself but clearly, there has been a strengthening in overall resilience and leverage in the system is lower.

We believe that deposit investments with the lower rated ADIs should be considered going forward, particularly when they offer ‘above market’ specials. Not only would it diversify the investment portfolio and reduce credit risk, it would also improve the portfolio’s overall returns. The lower rated entities are generally deemed to be the more ‘ethical’ ADIs compared to the higher rated ADIs.

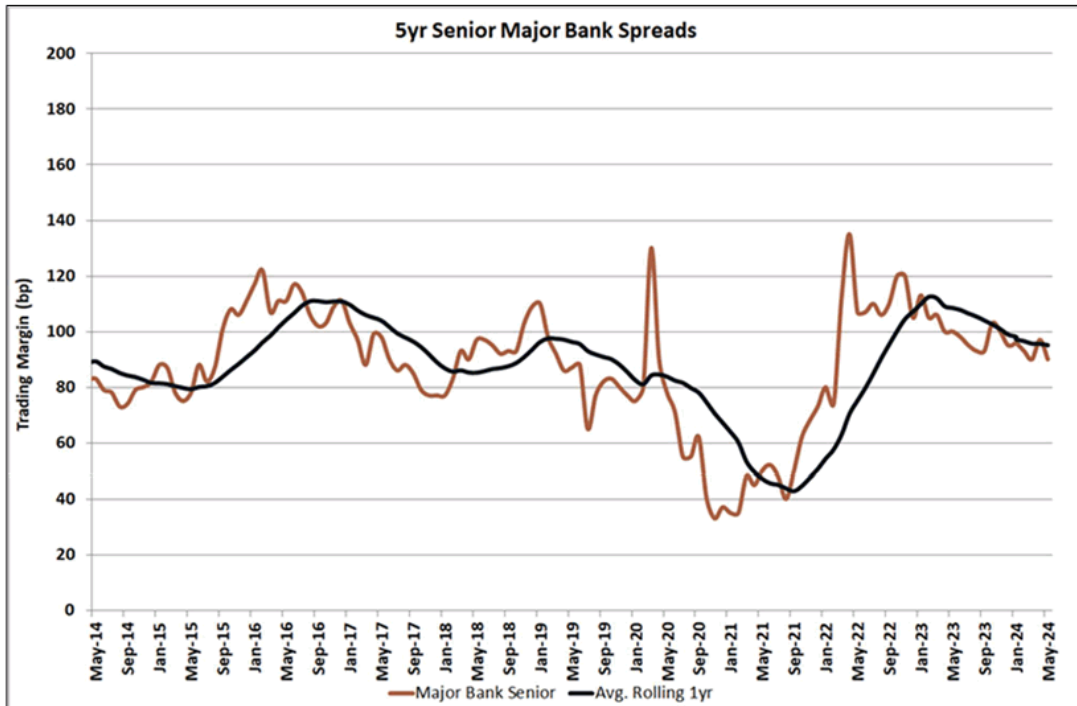
In the current environment of high regulation and scrutiny, all domestic (and international) ADIs continue to carry high levels of capital. There is minimal (if any) probability of any ADI defaulting on their deposits going forward – this was stress tested during the GFC and the pandemic period. APRA’s mandate is to “protect depositors” and provide “financial stability”.





Senior FRNs Market Review

Over May, amongst the senior major bank FRNs, physical credit securities tightened by around 7bp at the 5 year part of the curve. During the month, NAB (AA-) issued a 3 year senior deal at +70bp, whilst WBC (AA-) issued a 5 year senior issue at +88bp. Major bank senior securities remain at fair value on a historical basis (5yr margins around +90bp level).



Source: IBS Capital

There was very little notable issuances during the month apart from Bendigo & Adelaide’s (A-) 3 year senior security at +100bp and a small private placement from Bank of Us (BBB+) for 1 year at +95bp. Amongst the “A” rated sector, the securities tightened by around 3-10bp at the longer-end of the curve, whilst the “BBB” rated sector remained flat at the 3 year part of the curve. Overall, credit securities are looking much more attractive given the widening of spreads over the past 2 years and as more primary issuances become available. FRNs will continue to play a role in investors’ portfolios mainly on the basis of their liquidity and the ability to roll down the curve and gross up returns over ensuing years (in a relatively stable credit environment).



Senior FRNs (ADIs)	31/05/2024	30/04/2024
"AA" rated – 5yrs	+90bp	+97bp
"AA" rated – 3yrs	+68bp	+66bp
"A" rated – 5yrs	+105bp	+115bp
"A" rated – 3yrs	+85bp	+88bp
"BBB" rated – 3yrs	+160bp	+160bp

Source: IBS Capital

We now generally recommend switches ('benchmark' issues only) into new primary issues, out of the following senior FRNs that are maturing:

- On or before mid-2026 for the "AA" rated ADIs (domestic major banks);
- On or before mid-2025 for the "A" rated ADIs; and
- Within 6–9 months for the "BBB" rated ADIs (consider case by case).

Investors holding onto the above senior FRNs ('benchmark' issues only) in their last few years are now generally holding sub optimal investments and are not maximising returns by foregoing realised capital gains. In the current challenging economic environment, any boost in overall returns should be locked in when it is advantageous to do so, particularly as switch opportunities become available.



Senior Fixed Bonds – ADIs (Secondary Market)

With global inflation still high by historical standards, this has seen a significant lift in longer-term bond yields over the past 2 years (valuations have fallen) as markets have reacted sharply.

This has resulted in some opportunities in the secondary market. We currently see value in the following fixed bond lines, with the majority now being marked at a significant discount to par (please note supply in the secondary market may be limited on any day):

ISIN	Issuer	Rating	Capital Structure	Maturity Date	~Remain. Term (yrs)	Fixed Coupon	Indicative Yield
AU3CB0278174	UBS	A+	Senior	26/02/2026	1.74	1.1000%	5.22%
AU3CB0280030	BoQ	A-	Senior	06/05/2026	1.93	1.4000%	5.35%
AU3CB0299337	Bendigo	A-	Senior	15/05/2026	1.95	4.7000%	5.27%
AU3CB0296168	BoQ	A-	Senior	27/01/2027	2.66	4.7000%	5.34%
AU3CB0308955	BoQ	A-	Senior	30/04/2029	4.92	5.3580%	5.45%



Economic Commentary

In May, risk assets rebounded despite markets pushing back their expectations with regards to the timing of the easing cycle by central banks.

Across equity markets, the S&P 500 Index rose +4.80% over the month, whilst the NASDAQ surged +6.88%. Europe's main indices also experienced gains, led by Germany's DAX (+3.16%), UK's FTSE (+1.61%) and France's CAC (+0.10%).

The US Fed kept rates on hold for the sixth meeting in a row, warning that there had been a lack of further progress towards their 2% inflation target. Fed Chair Powell also commented however *"it's unlikely that the next policy rate move will be a hike"*. US Fed Chair Powell repeated his view that he and most Fed officials do not anticipate having to resume interest rate rises but that patience is required before they can be cut, saying *"we're just going to have to see where the inflation data fall out"*.

US core CPI for April came in at +0.3% m/m as expected, with headline a touch lower at +0.3% vs +0.4% expected. On an annual basis, core CPI ticked down to +3.6% y/y, down from +3.8% y/y in March. The annual headline rate also fell to +3.4% y/y in April, from +3.5% y/y in March.

Canada CPI came in at +2.7% y/y in April (which was lower than market expectations) and was down from +2.9% y/y in March.

UK headline CPI was +2.3% y/y in April, decreasing from +3.3% y/y in March. Core inflation also slowed to +3.9% y/y in April from +4.2% y/y in March.

European Q1 GDP surprised a little stronger, while April inflation was broadly in line. Q1 GDP growth rose +0.3% q/q (+0.1% expected) for annual growth of +0.4% y/y.

As expected, the RBNZ left the Official Cash Rate unchanged at 5.50% at its May meeting. The central bank flagged it now expects to keep rates high for longer amid some signs of sticky inflation.

Sweden's Riksbank cut rates by 25bp as expected as markets going into the meeting were 64% priced for a cut.

The MSCI World ex-Aus Index rose +4.26% for the month of May:

Index	1m	3m	1yr	3yr	5yr	10yr
S&P 500 Index	+4.80%	+3.56%	+26.26%	+7.87%	+13.91%	+10.62%
MSCI World ex-AUS	+4.26%	+3.27%	+23.23%	+5.16%	+11.16%	+7.42%
S&P ASX 200 Accum. Index	+0.92%	+1.16%	+12.93%	+6.80%	+7.83%	+7.78%

Source: S&P, MSCI



Domestic Market

The RBA kept rates on hold at 4.35% in its meeting in May, as universally expected. They still see trimmed mean inflation at +2.6% y/y by mid-2026. Staff still assess policy as being “restrictive” based on financial indicators and ongoing easing in growth of aggregate demand.

The monthly CPI Indicator for April printed higher than expected at +3.6% y/y (consensus +3.4%) and +3.5% in March. Importantly, core measures also printed higher than expected. The CPI excluding volatile items and holiday travel was +4.1% y/y.

The Q1 wage price index (WPI) growth was 0.1% below expectations at +0.8% q/q and +4.1% y/y (consensus +0.9%/+4.2%). By sector, private sector wages growth was +0.8% q/q, and public sector wages growth was just +0.5% after +1.4% q/q in Q4.

The seasonally adjusted unemployment rate rose by 0.2% to 4.1% in April, up from a revised 3.9% in March. Employment rose by around 38,000 people and the number of unemployed grew by 30,000 people, leading to an uplift in the participation rate, increasing to 66.7% (by 0.1%).

April retail sales rose +0.1% m/m (consensus +0.2% m/m).

The February trade balance narrowed to \$5.0bn, its lowest since November 2020. The February surplus was revised down to \$6.6bn from \$7.3bn. In the month, exports were little changed (+0.1%) while imports rose +4.2%.

Dwelling approvals were +1.9% higher in March, but private house and apartment approvals were a bit stronger, up +3.8% and +3.6%.

The Australian dollar rose +1.72%, finishing the month at US66.37 cents (from US65.25 cents the previous month).

Credit Market

The global credit indices marginally tightened across the board in May. They are now back to their levels in early 2022 (prior to the rate hike cycle from most central banks):

Index	May 2024	April 2024
CDX North American 5yr CDS	51bp	52bp
iTraxx Europe 5yr CDS	52bp	55bp
iTraxx Australia 5yr CDS	65bp	73bp

Source: Markit



Fixed Interest Review

Benchmark Index Returns

Index	May 2024	April 2024
Bloomberg AusBond Bank Bill Index (0+YR)	+0.37%	+0.35%
Bloomberg AusBond Composite Bond Index (0+YR)	+0.39%	-1.98%
Bloomberg AusBond Credit FRN Index (0+YR)	+0.50%	+0.48%
Bloomberg AusBond Credit Index (0+YR)	+0.70%	-0.91%
Bloomberg AusBond Treasury Index (0+YR)	+0.35%	-2.03%
Bloomberg AusBond Inflation Gov't Index (0+YR)	-0.30%	-1.82%

Source: Bloomberg

Other Key Rates

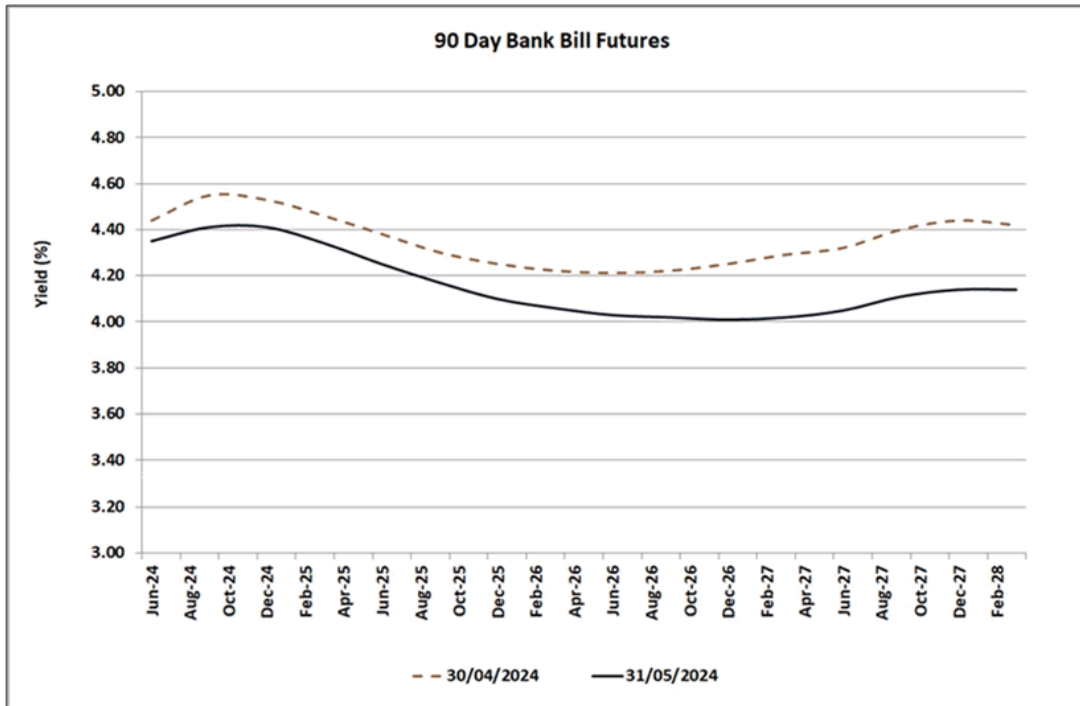
Index	May 2024	April 2024
RBA Official Cash Rate	4.35%	4.35%
90 Day (3 month) BBSW Rate	4.35%	4.41%
3yr Australian Government Bonds	4.05%	4.03%
10yr Australian Government Bonds	4.41%	4.42%
US Fed Funds Rate	5.25%-5.50%	5.25%-5.50%
2yr US Treasury Bonds	4.89%	5.04%
10yr US Treasury Bonds	4.51%	4.69%

Source: RBA, ASX, US Department of Treasury



90 Day Bill Futures

Bill futures fell across the board this month, following the movement in bond markets. Markets continue to push back their expectations of when the first rate cut will be delivered, resulting in a flattening of the curve.



Source: ASX

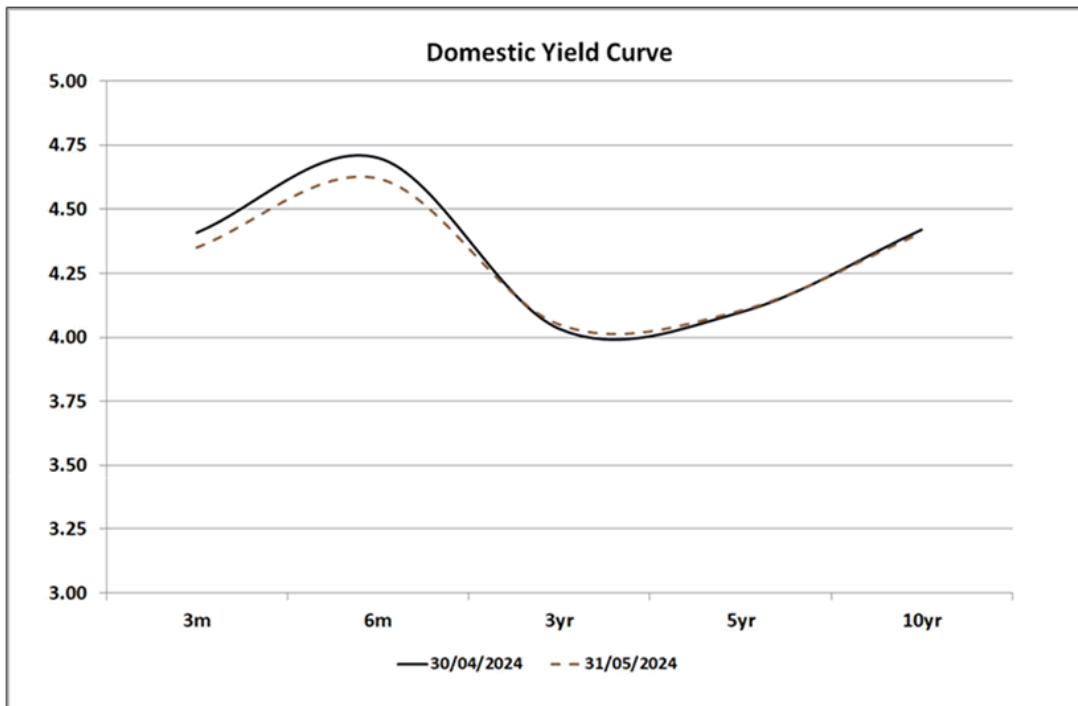


Fixed Interest Outlook

As per the minutes of the US Fed May meeting, policymakers concluded recent data had not increased their confidence that inflation was moving sustainably toward the 2% target to begin cutting rates. Monetary policy is currently considered “well-positioned” and further tightening is only required if inflation surprises to the upside.

Domestically, the RBA May meeting minutes stated inflation had eased more slowly than anticipated and that “risks around inflation had risen somewhat...Given this, members agreed that it was difficult either to rule in or rule out future changes in the cash rate target.” As is the case with most central banks at the moment, the RBA is waiting for current economic data to show a clear trend before taking any decisive action.

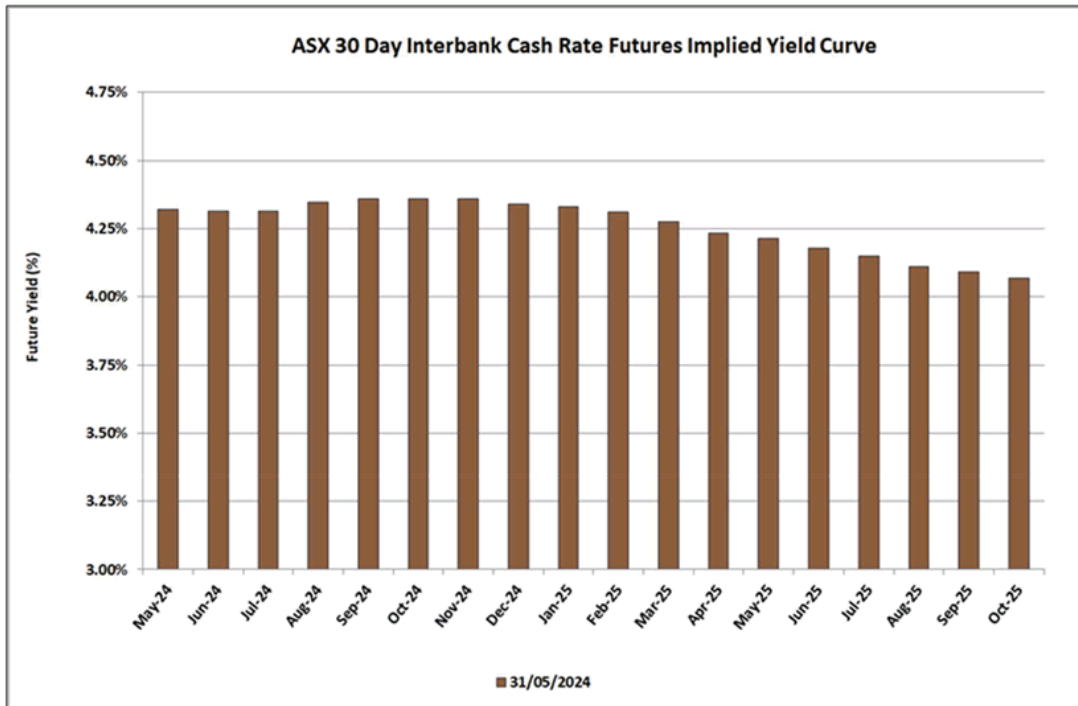
Over the month, longer-term yields remained relatively flat at the very long end of the curve (remains an inverse yield curve):



Source: ASX, RBA



For the time being, the consensus from the broader market is that we have reached the peak of the interest rate cycle. With inflation remaining sticky, financial markets have pushed back their expectations of rate cuts, with the first cut pencilled in for early-mid 2025.



Source: ASX

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Investment Report

01/05/2024 to 31/05/2024



Portfolio Valuation as at 31/05/2024

Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Westpac	AA-	FRTD	GENERAL	Quarterly	06/06/2019	06/06/2024	5.3333	3,500,000.00	3,500,000.00	44,492.87	15,853.78
Suncorp	A+	TD	GENERAL	At Maturity	19/09/2023	13/06/2024	5.2000	4,000,000.00	4,000,000.00	145,884.93	17,665.75
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	12/05/2021	17/06/2024	0.8000	3,000,000.00	3,000,000.00	23,145.21	2,038.36
Unity Bank	Unrated	TD	GENERAL	At Maturity	21/11/2023	20/06/2024	5.4500	2,500,000.00	2,500,000.00	72,044.52	11,571.92
Unity Bank	Unrated	TD	GENERAL	At Maturity	21/11/2023	27/06/2024	5.4500	2,500,000.00	2,500,000.00	72,044.52	11,571.92
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	04/07/2024	5.4500	4,000,000.00	4,000,000.00	106,909.59	18,515.07
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	11/07/2024	5.4500	4,000,000.00	4,000,000.00	106,909.59	18,515.07
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	18/07/2024	5.4500	4,000,000.00	4,000,000.00	106,909.59	18,515.07
Bank of Us	BBB+	TD	GENERAL	At Maturity	05/12/2023	25/07/2024	5.4700	4,000,000.00	4,000,000.00	107,301.92	18,583.01
Auswide Bank	BBB	TD	GENERAL	At Maturity	14/12/2023	01/08/2024	5.4600	3,000,000.00	3,000,000.00	76,290.41	13,911.78
Auswide Bank	BBB	TD	GENERAL	At Maturity	14/12/2023	08/08/2024	5.4600	3,000,000.00	3,000,000.00	76,290.41	13,911.78
JUDO BANK	BBB	TD	GENERAL	At Maturity	15/02/2024	15/08/2024	5.1800	4,500,000.00	4,500,000.00	68,333.42	19,797.53
Commonwealth Bank	AA-	TD	GENERAL	Semi-Annual	11/08/2023	15/08/2024	5.5000	4,000,000.00	4,000,000.00	91,616.44	18,684.93
Commonwealth Bank	AA-	TD	GENERAL	Semi-Annual	16/08/2023	22/08/2024	5.5000	3,000,000.00	3,000,000.00	68,712.33	14,013.70
AMP Bank	BBB+	TD	GENERAL	At Maturity	15/12/2023	05/09/2024	5.2500	2,000,000.00	2,000,000.00	48,616.44	8,917.81
ICBC Sydney Branch	A	TD	GENERAL	Annual	13/09/2022	12/09/2024	4.4000	2,300,000.00	2,300,000.00	72,642.19	8,595.07
Bank of Sydney	Unrated	TD	GENERAL	At Maturity	19/12/2023	19/09/2024	5.4700	3,000,000.00	3,000,000.00	74,182.19	13,937.26
Bank of Sydney	Unrated	TD	GENERAL	At Maturity	19/12/2023	26/09/2024	5.4700	2,000,000.00	2,000,000.00	49,454.79	9,291.51





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Suncorp	A+	TD	GENERAL	At Maturity	12/01/2024	03/10/2024	5.1700	4,000,000.00	4,000,000.00	79,887.12	17,563.84
Police Credit Union SA	Unrated	TD	GENERAL	At Maturity	12/01/2024	10/10/2024	5.1800	4,000,000.00	4,000,000.00	80,041.64	17,597.81
AMP Bank	BBB+	TD	GENERAL	Annual	13/10/2022	17/10/2024	4.7500	2,000,000.00	2,000,000.00	60,383.56	8,068.49
ICBC Sydney Branch	A	TD	GENERAL	Annual	21/10/2021	21/10/2024	1.3000	4,000,000.00	4,000,000.00	31,627.40	4,416.44
JUDO BANK	BBB	TD	HORWOOD	At Maturity	22/04/2024	24/10/2024	5.2100	5,000,000.00	5,000,000.00	28,547.95	22,124.66
AMP Bank	BBB+	TD	GENERAL	At Maturity	21/12/2023	24/10/2024	5.1000	1,500,000.00	1,500,000.00	34,163.01	6,497.26
Great Southern Bank	BBB+	FRN	GENERAL	Quarterly	24/10/2019	24/10/2024	5.4905	1,751,443.75	1,750,000.00	10,003.24	8,160.54
ICBC Sydney Branch	A	TD	GENERAL	Annual	29/10/2021	29/10/2024	1.6500	1,000,000.00	1,000,000.00	9,719.18	1,401.37
BOQ	A-	FRN	GENERAL	Quarterly	30/10/2019	30/10/2024	5.5086	1,001,827.00	1,000,000.00	4,829.46	4,678.54
JUDO BANK	BBB	TD	HORWOOD	At Maturity	22/04/2024	31/10/2024	5.2100	5,000,000.00	5,000,000.00	28,547.95	22,124.66
Australian Unity Bank	BBB+	TD	GENERAL	At Maturity	16/01/2024	07/11/2024	5.1600	4,000,000.00	4,000,000.00	77,470.68	17,529.86
MyState Bank	BBB	TD	GENERAL	At Maturity	09/11/2023	14/11/2024	5.5600	3,000,000.00	3,000,000.00	93,682.19	14,166.58
ICBC Sydney Branch	A	TD	GENERAL	Annual	15/11/2021	14/11/2024	1.7900	3,000,000.00	3,000,000.00	29,277.53	4,560.82
ICBC Sydney Branch	A	TD	GENERAL	Annual	09/11/2021	14/11/2024	1.6800	3,000,000.00	3,000,000.00	28,306.85	4,280.55
Citibank, N.A.	A+	FRN	GENERAL	Quarterly	15/11/2019	14/11/2024	5.2503	1,001,191.00	1,000,000.00	2,589.19	2,589.19
ICBC Sydney Branch	A	TD	GENERAL	Annual	19/11/2021	21/11/2024	1.7500	4,750,000.00	4,750,000.00	44,181.51	7,059.93
Police Bank	BBB+	TD	GENERAL	At Maturity	16/01/2024	05/12/2024	5.1600	4,000,000.00	4,000,000.00	77,470.68	17,529.86
ICBC Sydney Branch	A	TD	GENERAL	Annual	13/12/2021	12/12/2024	1.8600	3,000,000.00	3,000,000.00	26,141.92	4,739.18
ICBC Sydney Branch	A	TD	GENERAL	Annual	10/12/2021	12/12/2024	1.8200	4,000,000.00	4,000,000.00	34,505.21	6,183.01





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	01/10/2021	16/12/2024	1.0000	3,000,000.00	3,000,000.00	13,890.41	2,547.95
Northern Territory Treasury	AA-	BOND	GENERAL	Semi-Annual	09/09/2021	16/12/2024	0.9000	2,500,000.00	2,500,000.00	10,417.81	1,910.96
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	24/11/2020	16/12/2024	0.9000	1,000,000.00	1,000,000.00	4,167.12	764.38
ICBC Sydney Branch	A	TD	GENERAL	At Maturity	24/04/2024	19/12/2024	5.2200	4,000,000.00	4,000,000.00	21,738.08	17,733.70
AMP Bank	BBB+	TD	GENERAL	At Maturity	20/12/2023	19/12/2024	5.2500	3,000,000.00	3,000,000.00	70,767.12	13,376.71
Suncorp	A+	TD	GENERAL	At Maturity	09/02/2024	09/01/2025	5.1600	4,000,000.00	4,000,000.00	63,899.18	17,529.86
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	12/01/2024	16/01/2025	5.2600	4,000,000.00	4,000,000.00	81,277.81	17,869.59
ICBC Sydney Branch	A	TD	HORWOOD	At Maturity	22/04/2024	23/01/2025	5.3000	5,000,000.00	5,000,000.00	29,041.10	22,506.85
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	17/01/2024	23/01/2025	5.2600	3,500,000.00	3,500,000.00	68,596.16	15,635.89
ICBC Sydney Branch	A	TD	HORWOOD	At Maturity	22/04/2024	30/01/2025	5.3000	5,000,000.00	5,000,000.00	29,041.10	22,506.85
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	18/01/2024	30/01/2025	5.2600	3,500,000.00	3,500,000.00	68,091.78	15,635.89
ING Bank (Australia) Ltd	A	TD	GENERAL	At Maturity	19/01/2024	06/02/2025	5.2200	4,000,000.00	4,000,000.00	76,655.34	17,733.70
Bank of Us	BBB+	TD	GENERAL	At Maturity	21/05/2024	13/02/2025	5.3200	5,000,000.00	5,000,000.00	8,016.44	8,016.44
P&N Bank	BBB+	TD	GENERAL	At Maturity	27/05/2024	20/02/2025	5.2700	3,300,000.00	3,300,000.00	2,382.33	2,382.33
Rabobank Australia Limited	A	TD	GENERAL	At Maturity	27/05/2024	06/03/2025	5.2500	3,300,000.00	3,300,000.00	2,373.29	2,373.29
Move Bank	Unrated	TD	GENERAL	Annual	15/03/2024	13/03/2025	5.2500	2,000,000.00	2,000,000.00	22,438.36	8,917.81
Summerland Bank	Unrated	TD	GENERAL	At Maturity	13/03/2024	13/03/2025	5.2000	2,000,000.00	2,000,000.00	22,794.52	8,632.88





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Auswide Bank	BBB	TD	GENERAL	At Maturity	10/04/2024	20/03/2025	5.1300	3,000,000.00	3,000,000.00	21,925.48	13,070.96
Move Bank	Unrated	TD	GENERAL	At Maturity	15/03/2024	27/03/2025	5.2500	2,000,000.00	2,000,000.00	22,438.36	8,917.81
Auswide Bank	BBB	TD	GENERAL	At Maturity	10/04/2024	03/04/2025	5.1300	3,000,000.00	3,000,000.00	21,925.48	13,070.96
Auswide Bank	BBB	TD	GENERAL	At Maturity	10/04/2024	10/04/2025	5.1300	3,000,000.00	3,000,000.00	21,925.48	13,070.96
Move Bank	Unrated	TD	GENERAL	At Maturity	12/04/2024	17/04/2025	5.2000	1,000,000.00	1,000,000.00	7,123.29	4,416.44
ICBC Sydney Branch	A	TD	HORWOOD	At Maturity	22/04/2024	24/04/2025	5.2500	5,000,000.00	5,000,000.00	28,767.12	22,294.52
Arab Bank Australia	Unrated	TD	HORWOOD	At Maturity	22/04/2024	24/04/2025	5.2500	5,000,000.00	5,000,000.00	28,767.12	22,294.52
ICBC Sydney Branch	A	TD	GENERAL	Annual	22/04/2022	24/04/2025	3.6800	15,000,000.00	15,000,000.00	60,493.15	46,882.19
ICBC Sydney Branch	A	TD	GENERAL	At Maturity	01/05/2024	01/05/2025	5.3200	2,000,000.00	2,000,000.00	9,036.71	9,036.71
BOQ	AAA	FRN	GENERAL	Quarterly	14/05/2020	14/05/2025	5.4403	904,058.10	900,000.00	2,414.60	2,414.60
ICBC Sydney Branch	A	TD	GENERAL	At Maturity	02/05/2024	15/05/2025	5.3500	7,000,000.00	7,000,000.00	30,780.82	30,780.82
ICBC Sydney Branch	A	TD	GENERAL	Annual	02/05/2024	15/05/2025	5.3500	25,000,000.00	25,000,000.00	109,931.51	109,931.51
NAB	AA-	TD	GENERAL	Annual	12/05/2021	15/05/2025	1.0500	3,000,000.00	3,000,000.00	1,639.73	1,639.73
Rabobank Australia Limited	A	TD	GENERAL	At Maturity	20/05/2024	22/05/2025	5.3400	6,000,000.00	6,000,000.00	10,533.70	10,533.70
RACQ Bank	BBB+	FRN	GENERAL	Quarterly	23/05/2022	23/05/2025	5.5850	1,000,747.00	1,000,000.00	1,377.12	1,377.12
Rabobank Australia Limited	A	TD	GENERAL	At Maturity	29/05/2024	05/06/2025	5.3700	2,000,000.00	2,000,000.00	882.74	882.74
P&N Bank	BBB+	TD	GENERAL	At Maturity	30/05/2024	12/06/2025	5.4000	4,000,000.00	4,000,000.00	1,183.56	1,183.56
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	20/05/2021	16/06/2025	1.1000	3,500,000.00	3,500,000.00	37,128.77	3,269.86





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	12/05/2021	16/06/2025	1.1000	3,000,000.00	3,000,000.00	31,824.66	2,802.74
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	16/02/2021	16/06/2025	0.9000	1,000,000.00	1,000,000.00	8,679.45	764.38
Rabobank Australia Limited	A	TD	GENERAL	At Maturity	31/05/2024	19/06/2025	5.3600	5,000,000.00	5,000,000.00	734.25	734.25
UBS AG	A+	FRN	GENERAL	Quarterly	30/07/2020	30/07/2025	5.2786	3,258,557.25	3,250,000.00	15,040.39	14,570.38
QBANK	BBB	TD	GENERAL	Annual	26/07/2023	31/07/2025	5.8200	2,000,000.00	2,000,000.00	99,179.18	9,886.03
P&N Bank	BBB+	TD	GENERAL	At Maturity	11/08/2023	14/08/2025	5.3000	3,000,000.00	3,000,000.00	128,506.85	13,504.11
QBANK	BBB	TD	GENERAL	Annual	21/08/2023	21/08/2025	5.4100	2,000,000.00	2,000,000.00	84,484.93	9,189.59
ICBC Sydney Branch	A	TD	GENERAL	Annual	24/08/2022	25/08/2025	4.7500	2,000,000.00	2,000,000.00	73,397.26	8,068.49
ICBC Sydney Branch	A	TD	GENERAL	Annual	09/09/2022	11/09/2025	4.5200	3,500,000.00	3,500,000.00	114,424.11	13,436.16
JUDO BANK	BBB	BOND	GENERAL	Semi-Annual	14/12/2023	26/09/2025	6.4000	1,989,250.00	2,000,000.00	23,495.89	10,871.23
Suncorp	AAA	FRN	GENERAL	Quarterly	17/10/2022	17/10/2025	5.2391	804,103.20	800,000.00	5,167.33	3,559.72
Bendigo and Adelaide	AAA	FRN	GENERAL	Quarterly	11/11/2022	11/11/2025	5.3204	4,016,480.00	4,000,000.00	11,078.09	11,078.09
Bank Australia	BBB+	FRN	GENERAL	Quarterly	22/12/2022	24/11/2025	5.9403	1,306,834.10	1,300,000.00	1,692.58	1,692.58
ICBC Sydney Branch	A	FRN	GENERAL	Quarterly	19/01/2023	19/01/2026	5.3925	1,504,320.00	1,500,000.00	9,529.21	6,869.90
Suncorp	A+	TD	GENERAL	Annual	19/01/2024	22/01/2026	5.0500	4,000,000.00	4,000,000.00	74,158.90	17,156.16
Bank of Us	BBB+	TD	GENERAL	Annual	09/02/2024	12/02/2026	4.9700	5,000,000.00	5,000,000.00	76,932.88	21,105.48
NAB	AA-	TD	GENERAL	At Maturity	04/03/2021	05/03/2026	1.3400	3,000,000.00	3,000,000.00	130,512.33	3,414.25
Rabobank Australia Limited	A	TD	HORWOOD	Annual	22/04/2024	23/04/2026	5.1000	10,000,000.00	10,000,000.00	55,890.41	43,315.07





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
P&N Bank	BBB+	TD	GENERAL	Annual	28/04/2023	28/04/2026	4.8000	4,500,000.00	4,500,000.00	19,528.77	18,345.21
Rabobank Australia Limited	A	TD	GENERAL	Annual	02/05/2024	04/05/2026	5.2500	14,000,000.00	14,000,000.00	60,526.03	60,526.03
NAB	AA-	TD	GENERAL	Annual	12/05/2021	14/05/2026	1.3000	3,000,000.00	3,000,000.00	2,030.14	2,030.14
Bendigo and Adelaide	A-	FRN	GENERAL	Quarterly	15/05/2023	15/05/2026	5.6200	2,015,658.00	2,000,000.00	5,235.07	5,235.07
Rabobank Australia Limited	A	TD	GENERAL	Annual	21/05/2024	21/05/2026	5.2200	5,000,000.00	5,000,000.00	7,865.75	7,865.75
NAB	AA-	TD	GENERAL	Annual	20/05/2021	21/05/2026	1.3000	3,500,000.00	3,500,000.00	1,495.89	1,495.89
Rabobank Australia Limited	A	TD	GENERAL	Annual	31/05/2024	28/05/2026	5.2500	5,000,000.00	5,000,000.00	720.55	720.55
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	12/05/2021	15/06/2026	1.3000	3,000,000.00	3,000,000.00	37,610.96	3,312.33
Northern Territory Treasury	AA-	BOND	GENERAL	Annual	16/02/2021	15/06/2026	1.0000	5,000,000.00	5,000,000.00	48,219.18	4,246.58
ING Bank (Australia) Ltd	AAA	BOND	GENERAL	Semi-Annual	19/08/2021	19/08/2026	1.1000	551,874.60	600,000.00	1,862.47	560.55
Macquarie Bank	A+	FRN	GENERAL	Quarterly	14/09/2023	14/09/2026	5.1945	2,407,010.40	2,400,000.00	26,982.94	10,588.24
BOQ	A-	BOND	HORWOOD	Semi-Annual	07/05/2024	27/10/2026	2.1000	2,409,271.80	2,600,000.00	4,936.44	4,637.26
QBANK	BBB	FRN	GENERAL	Quarterly	01/12/2023	01/12/2026	5.9875	1,009,448.00	1,000,000.00	15,091.78	5,085.27
Northern Territory Treasury	AA-	BOND	GENERAL	Semi-Annual	09/09/2021	15/12/2026	1.4000	5,000,000.00	5,000,000.00	32,410.96	5,945.21
Commonwealth Bank	AA-	FRN	GENERAL	Quarterly	14/01/2022	14/01/2027	5.0554	1,301,193.40	1,300,000.00	8,462.60	5,581.72
BOQ	A-	BOND	GENERAL	Semi-Annual	05/10/2023	27/01/2027	4.7000	1,475,593.50	1,500,000.00	23,950.68	5,987.67
Bendigo and Adelaide	A-	FRN	GENERAL	Quarterly	27/01/2023	27/01/2027	5.7611	1,111,254.10	1,100,000.00	5,729.53	5,382.29





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Heritage and Peoples Choice Limited	BBB+	FRN	GENERAL	Quarterly	08/02/2024	08/02/2027	5.9787	2,115,336.30	2,100,000.00	8,255.52	8,255.52
Great Southern Bank	BBB+	FRN	GENERAL	Quarterly	09/02/2023	09/02/2027	6.0275	757,531.50	750,000.00	2,848.61	2,848.61
Bank Australia	BBB+	FRN	GENERAL	Quarterly	22/02/2023	22/02/2027	5.8850	1,406,245.40	1,400,000.00	2,257.26	2,257.26
ING Bank (Australia) Ltd	A	FRN	GENERAL	Quarterly	22/03/2024	22/03/2027	5.2997	1,002,486.00	1,000,000.00	10,309.01	4,501.12
Rabobank Australia Limited	A	TD	HORWOOD	Annual	22/04/2024	22/04/2027	5.0800	10,000,000.00	10,000,000.00	55,671.23	43,145.21
Suncorp	A+	FRN	GENERAL	Quarterly	24/11/2023	24/05/2027	5.4403	1,764,283.50	1,750,000.00	2,086.69	2,086.69
ANZ Bank	AA-	FRN	GENERAL	Quarterly	04/11/2022	04/11/2027	5.6117	4,057,304.00	4,000,000.00	15,989.50	15,989.50
NAB	AA-	FRN	GENERAL	Quarterly	25/11/2022	25/11/2027	5.5350	1,724,442.60	1,700,000.00	1,288.97	1,288.97
Bank Australia	BBB+	FRN	GENERAL	Quarterly	21/02/2024	21/02/2028	6.0426	1,510,041.00	1,500,000.00	2,731.59	2,731.59
ANZ Bank	AA-	FRN	GENERAL	Quarterly	31/03/2023	31/03/2028	5.4042	1,514,866.50	1,500,000.00	14,435.88	6,884.80
Rabobank Australia Limited	A	TD	HORWOOD	Annual	22/04/2024	27/04/2028	5.1300	10,000,000.00	10,000,000.00	56,219.18	43,569.86
Bendigo and Adelaide	AAA	FRN	GENERAL	Quarterly	16/06/2023	16/06/2028	5.5039	1,209,553.20	1,200,000.00	13,571.26	5,609.45
Commonwealth Bank	AA-	FRN	GENERAL	Quarterly	17/08/2023	17/08/2028	5.2950	3,018,237.00	3,000,000.00	6,528.08	6,528.08
ANZ Bank	AA-	FRN	GENERAL	Quarterly	11/09/2023	11/09/2028	5.2756	3,518,032.00	3,500,000.00	41,482.12	15,662.26
NAB	AA-	FRN	GENERAL	Quarterly	16/11/2023	16/11/2028	5.3842	4,133,812.70	4,100,000.00	9,676.81	9,676.81
UBS AG	A+	FRN	GENERAL	Quarterly	24/11/2023	24/11/2028	5.7903	2,544,027.50	2,500,000.00	3,172.77	3,172.77
ING Bank (Australia) Ltd	A	TD	GENERAL	Annual	19/01/2024	19/01/2029	5.1800	4,000,000.00	4,000,000.00	76,067.95	17,597.81
ANZ Bank	AA-	FRN	GENERAL	Quarterly	05/02/2024	05/02/2029	5.3717	3,518,315.50	3,500,000.00	13,392.46	13,392.46





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
ING Bank (Australia) Ltd	A	TD	GENERAL	Annual	09/02/2024	09/02/2029	5.0500	5,000,000.00	5,000,000.00	78,171.23	21,445.21
Newcastle Greater Mutual Group Ltd	BBB+	FRN	GENERAL	Quarterly	14/02/2024	14/02/2029	6.2203	1,523,763.00	1,500,000.00	4,601.32	4,601.32
Suncorp	A+	FRN	GENERAL	Quarterly	19/03/2024	19/03/2029	5.3285	2,504,800.00	2,500,000.00	27,007.47	11,313.94
NAB	AA-	FRN	GENERAL	Quarterly	22/03/2024	22/03/2029	5.2497	3,509,432.50	3,500,000.00	35,741.11	15,605.27
P&N Bank	BBB+	TD	GENERAL	Annual	16/04/2024	16/04/2029	5.1400	2,000,000.00	2,000,000.00	12,955.62	8,730.96
Rabobank Australia Limited	A	TD	HORWOOD	Annual	19/04/2024	19/04/2029	5.1600	5,000,000.00	5,000,000.00	30,394.52	21,912.33
Rabobank Australia Limited	A	TD	HORWOOD	Annual	22/04/2024	26/04/2029	5.2000	5,000,000.00	5,000,000.00	28,493.15	22,082.19
BOQ	A-	BOND	HORWOOD	Semi-Annual	30/04/2024	30/04/2029	5.3000	7,939,696.00	8,000,000.00	37,172.60	36,010.96
Rabobank Australia Limited	A	TD	GENERAL	Annual	29/04/2024	30/04/2029	5.3900	4,500,000.00	4,500,000.00	21,929.18	20,600.14
BOQ	A-	FRN	HORWOOD	Quarterly	30/04/2024	30/04/2029	5.6886	8,286,762.00	8,250,000.00	41,144.94	39,859.16
Macquarie Bank	A+	CASH	GENERAL	Monthly	31/05/2024	31/05/2024	4.6000	30,391.41	30,391.41	118.28	118.28
NAB	AA-	CASH	GENERAL	Monthly	31/05/2024	31/05/2024	4.6000	49,082,455.67	49,082,455.67	220,514.14	220,514.14
CFS WGCIF	A	FUND	GENERAL	Monthly	30/06/2016	05/06/2027	0.0000	15,825,394.04	15,825,394.04	-	-
NSWTC IM LTGF	Unrated	FUND	GENERAL	Annual	31/10/2017	05/06/2029	0.0000	38,156,893.73	38,156,893.73	-	-
AMP Bank	BBB+	CASH	GENERAL	Monthly	31/05/2024	31/05/2024	4.8000	172,769.17	172,769.17	701.56	701.56
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	31/05/2024	31/05/2024	4.6000	85,527.74	85,527.74	335.60	335.60
TOTALS							589,882,515.16	589,753,431.76	5,329,674.34	1,925,121.85	



REPORTS TO COUNCIL - FOR NOTATION

ITEM NUMBER	12.2
SUBJECT	Update Report - Status of Council Policies and Documents for the Delivery of Public Art
REFERENCE	F2024/00282 - D09408747
REPORT OF	Senior Officer - Cultural Projects & Public Art
PREVIOUS ITEMS	8.3 - Preparation of a Public Art Strategy for City of Parramatta - Council - 11 Sep 2023 6:30PM

CSP THEME: Innovative, Thriving and Welcoming

WORKSHOP/BRIEFING DATE: NIL

PURPOSE:

To update Council regarding existing (and upcoming) Council policies and documents that will inform the delivery of high-quality public art projects for the City of Parramatta and the preparation of a Public Art Strategy.

RECOMMENDATION

1. That Council notes the existing Council policies and documents used to inform the delivery of high-quality public art in the city:
 - 1.1. Interim Public Art Guidelines for Developers (2015)
 - 1.2. Public Art Policy (2017)
 - 1.3. Public Art Inventory, Asset and Maintenance Register
 - 1.4. First Nations Strategy (2024).
2. That Council notes the draft documents currently under development that provide further strategic guidance to inform the delivery of high-quality public art:
 - 2.1. Draft Parramatta 2050
 - 2.2. Draft Cultural Strategy
 - 2.3. Draft Parramatta Arts and Cultural Precinct Masterplan
 - 2.4. Draft Destination Management Plan
3. That Council notes documents 1.1 - 1.3 above are scheduled for review, with funding and resourcing allocated for completion and submission to Council (1.1 and 1.2) in 2024/25 financial year.
4. That, Council notes following review of the existing documents and completion of the draft documents, a report will be submitted to Council on the effectiveness of this suite of documents in delivering high-quality public art projects and the preparation of a Public Art Strategy.

BACKGROUND

1. Over the last two years, Council has delivered high-quality public art projects for Parramatta Square, Phive and Parramatta Aquatic Centre. These projects were

- delivered under the guidance of current policies, strategies and documents. Additionally a project-specific Arts Plan was produced by Council for each public artwork commission, determining the thematic approach and project parameters.
2. The majority of public art projects delivered by the City of Parramatta form part of larger infrastructure projects and are initiated as part of the overall delivery plan for such projects.
 3. Draft *Parramatta 2050* is a significant guiding document that will shape the arts and cultural ambitions of Council, including the delivery of high-quality public art. Noting that former Lord Mayor Councillor Pandey established the concept for the development of a Parramatta 2050 strategy and Lord Mayor Esber is continuing this work.
 4. A number of policies, strategies and documents that inform delivery of high-quality public art are due for completion in FY 2024/25 as follows:
 - a. Parramatta 2050
 - b. Cultural Strategy
 - c. Parramatta Arts & Culture Precinct Masterplan
 - d. Destination Management Plan
 - e. Public Art Policy 2017 (review and update).
 - f. Interim Public Art Guidelines for Developers (review and update).
 5. The completion of the new documents and review of existing policies will assist in informing the Council resolution from September 2023, wherein staff are preparing a scope, costings and timeframe for the development of a Public Art Strategy for the City of Parramatta. Understandably, this scope cannot be finalised until such time as the data, research and policy work identified in the critical documents and policies above has been completed in 2024/25.

ISSUES/OPTIONS/CONSEQUENCES

6. A future Public Art Strategy would require alignment with above documents. Hence, the above policies, strategies and documents must be completed prior to the commencement of a draft Public Art Strategy.
7. Council does not have an annual budget to commission public art projects. To-date, funding of public art projects has been derived from financial contributions related to infrastructure projects, including Parramatta Square, for example.
8. There is no current funding or resource allocation in the 2024/25 budget for the preparation of a separate Public Art Strategy. Should the Council be satisfied with the outcome of the review and completion of the documents identified elsewhere in this report, Council could allocate appropriate funds in future budgets for the preparation of the Strategy after the scope and delivery timeframe is known.

CONSULTATION & TIMING

Stakeholder Consultation

9. The following stakeholder consultation has been undertaken in relation to this matter:

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
6 May 2024	External Consultant from Element Consulting	Recommend a review of all relevant strategic documents to determine if a Public Art Strategy is required.	Noted	PAS and Cultural Services/ Community and Culture/ Suzanne Buljan
13 May 2024	External Consultant from Sophie Lieberman Consulting	Review and analysis of all relevant strategic documents to determine if a Public Art Strategy is required.	Noted	PAS and Cultural Services/ Community and Culture/ Suzanne Buljan

Councillor Consultation

10. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
29 May 2024	Councillor Pandey	Not applicable	Scheduled meeting did not proceed due to Councillor availability.	PAS and Cultural Services/ Community and Culture/ David Moutou, Sophia Kouyoumdjian and Suzanne Buljan

LEGAL IMPLICATIONS FOR COUNCIL

11. There are no legal implications for Council associated with this report.

FINANCIAL IMPLICATIONS FOR COUNCIL

12. This report is a status update report only with no financial impacts on the budget.

Sophia Kouyoumdjian
Director Parramatta Artist Studios & Cultural Services

David Moutou
Acting Executive Director Community Services

Gail Connolly
Chief Executive Officer

ATTACHMENTS:

REFERENCE MATERIAL

REPORTS TO COUNCIL - FOR NOTATION

ITEM NUMBER	12.3
SUBJECT	Status Update - CBD Footpaths Audit and Pavement Replacement Program (Peer Review)
REFERENCE	F2024/00282 - D09352562
REPORT OF	Coordinator Infrastructure Asset Plan

CSP THEME: Accessible

WORKSHOP/BRIEFING DATE: OCM DECEMBER 2023

PURPOSE:

To provide Council with an update on the peer review being undertaken of the CBD Footpaths Audit and to inform Council of the detailed re-inspection process being undertaken to collect meaningful data, required to accurately prioritise footpath works.

RECOMMENDATION

That Council note the status update report on the progress of the CBD Footpath Audit peer review work.

BACKGROUND

1. Parramatta's CBD has been subjected to significant redevelopment and infrastructure works over many years. Disturbance to Council's road infrastructure assets has been predominantly due to major service utility upgrades across the entire CBD, significant State rail infrastructure projects such as the Parramatta Light Rail (PLR) and Sydney Metro, iconic precinct redevelopment works such as Centenary Square, Parramatta Square, Civic Link and Parramatta River Foreshore/Square as well as the construction of many new and refurbished buildings across the CBD.
2. These works have had direct or indirect impacts on Council's infrastructure assets including the use of heavy construction machinery and haulage throughout the CBD.
3. It has been challenging for Council's asset officers and managers to keep disturbed sites safe, reinstate where possible and maintain these sites during times of unprecedented change. It is now an opportune time to begin repairing the significant disturbance around the CBD given the large backlog of restoration orders and deferred programmed renewals, due to the abovementioned development activity.
4. In June 2023 a footpath condition assessment was completed and formed part of a report considered at the December 2023 meeting of Council. Concerns were raised with the accuracy of some elements of the audit and the CEO was requested to provide further information to Council on the results of the audit.

ISSUES/OPTIONS/CONSEQUENCES

5. In February 2024 Council staff examined the footpaths to verify the audit results and recommendations. During the inspection, inaccuracies were identified that affected the audit outcomes. Additionally, footpaths with significant defects which require restoration works were discovered but had been omitted from the original audit or were inaccurate.
6. In April 2024, the Executive Director engaged an independent consultant to conduct a comprehensive peer review of the original footpath audit and to incorporate the omitted restoration works into the audit.
7. Following a high-level review of the original audit, it was recommended that the peer review incorporate the following scope to accurately register all footpath attributes within the CBD:
 - Establish a footpath database with attributes.
 - Re-inspect (by foot) approximately 80 streets (approximately 400 blocks), including precincts such as Parramatta Square and Centenary Square.
 - Capture all required attributes including location, length, width, area, existing pavement type, defect types, severity and restorations.
 - Conduct a prioritisation of all the streets, based on the above assessment.
 - Compare findings to the original audit.
 - Consider required corrections (inclusions/exclusions) to the original audit and prepare a draft CBD Footpath Renewal List.
 - Confirm paving requirements/types as per Public Domain Guidelines, cost estimates and renewal budgets.
 - Apply weightings to the rankings based on Council footpath prioritisation criteria,
8. Since the engagement of the peer review, a customised Prioritisation Tool with associated methodology based on several assessment criteria such as Current Condition, Pedestrian Safety Risk, Traffic Volume and Nearby Facilities has been developed. It is used to gather detailed information, beyond just condition rating, for objectively scoring and prioritising each block from the highest overall score (greatest need for improvement) to the lowest.
9. A qualified asset inspection officer has been assigned to the City of Parramatta Council and has commenced assessment on foot inspecting the footpaths within the CBD.
10. Whilst recording and assessing the extent of the defects present within each block, the qualified inspector has made an overall assessment, based on engineering judgement and experience, and selects a suitable treatment option to rectify the defects.
11. At this stage, the following has been identified:
 - Status quo (do nothing) – routine maintenance only. This includes repairing localised defects as well as attending to any immediate/urgent repairs.
 - Restoration – permanently restoring utility disturbance. This includes restoring any temporary works undertaken by utility companies utilising available fees paid to Council via restoration orders and approvals.

- Renewal – ‘like for like’ replacement. This includes larger areas of improvements as well as restoring large areas affected by large or multiple restorations.
- Capital Upgrade – replace existing pavement in accordance with the CBD Paving Strategy of Council’s Public Domain Guidelines.

12. At the time of writing this status report, approximately 55% of the total blocks within the CBD have been inspected. It is estimated that the inspections will be completed by end August 2024 (weather permitting).

13. A final detailed report will be tabled at a Council Meeting on the findings and recommendations of the peer review when complete.

CONSULTATION & TIMING

14. There was no stakeholder consultation undertaken in relation to this matter.

LEGAL IMPLICATIONS FOR COUNCIL

15. There are no legal implications for Council associated with this report.

FINANCIAL IMPLICATIONS FOR COUNCIL

16. This is a status report only.

George Bounassif
Executive Director City Assets and Operations

Amit Sharma
A/ Executive Director - Finance and Information

Gail Connolly
Chief Executive Officer

ATTACHMENTS:

REFERENCE MATERIAL

REPORTS TO COUNCIL - FOR COUNCIL DECISION

24 JUNE 2024

13.1	Casual Vacancy in Civic Office - Resignation of Councillor Daniele Siviero (Application to Minister for Local Government to Dispense with By-Election).....	100
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REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER	13.1
SUBJECT	Casual Vacancy in Civic Office - Resignation of Councillor Daniele Siviero (Application to Minister for Local Government to Dispense with By-Election)
REFERENCE	F2024/00282 - D09491711
REPORT OF	Group Manager Office of the Lord Mayor and CEO

CSP THEME: Accessible

WORKSHOP/BRIEFING DATE: Nil

PURPOSE:

Councillor Daniele (Dan) Siviero has resigned his role as a councillor at the City of Parramatta, effective from 5pm on Friday 14 June 2024.

Council is required to resolve to either fill the casual vacancy by conducting a by-election or apply to the Minister for Local Government to dispense with the need to conduct a by-election and not fill the vacancy.

RECOMMENDATION

That Council make an application to the Minister for Local Government for an Order that the second vacancy that has now occurred in the office of councillor at City of Parramatta Council not be filled.

BACKGROUND

1. Councillor Dan Siviero has resigned effective from 5pm on Friday 14 June 2024. This has resulted in a casual vacancy in the civic office of councillor.

ISSUES/OPTIONS/CONSEQUENCES

2. Presented below are options that Council could consider when determining whether or not to fill the casual vacancy.

Option 1: Hold a By-Election

3. Section 294 of the *Local Government Act 1993* provides:

(1) *This section applies if a casual vacancy occurs in the office of a councillor, including a mayor elected by the electors of an area, within 18 months before the date specified for the next ordinary election of the councillors for the area.*

2) *If such a casual vacancy occurs in the office of a councillor (but not the office of a mayor elected by the electors), the Minister may, on the application of the council:*

(a) *order that the vacancy not be filled, or*

(b) *order the holding on a stated day of a by-election to fill the vacancy and revoke any earlier order made under paragraph (a).*

4. Council could request the Minister for Local Government to hold a by-election. The NSW Electoral Commission has advised that the cost of holding a by-election would be in the vicinity of \$500,000.
5. Under section 292(a), a by-election to fill a casual vacancy in the office of a councillor is to be held on a Saturday that falls not later than 3 months after the vacancy occurs, ie: before 14 September 2024.
6. If Council resolves to hold a by-election, the vacancy is unlikely to be filled by a new councillor as it takes approximately three months for the NSW Electoral Commissioner to organise a by-election, and the local government election is approximately three months away.
7. Given the unlikely event of the Electoral Commission organising a by-election before the ordinary election of councils on 14 September 2024, it is recommended that Council make an application to the Minister to dispense with the need to hold a by-election to fill the casual vacancy, avoiding any waste of resources.

Option 2: Dispense with a By-Election

8. Council could under section 294(a) of the *Local Government Act 1993* provides:
 - (1) *This section applies if a casual vacancy occurs in the office of a councillor, including a mayor elected by the electors of an area, within 18 months before the date specified for the next ordinary election of the councillors for the area.*
 - 2) *If such a casual vacancy occurs in the office of a councillor (but not the office of a mayor elected by the electors), the Minister may, on the application of the council.*
 - (a) *order that the vacancy not be filled, or...*
9. The next ordinary election for local government in NSW will be held on Saturday 14 September 2024 (in approximately three months).
10. Council may apply to the Minister for Local Government to dispense with the need to hold a by-election in circumstances where a casual vacancy occurs in the 18 months prior to the next ordinary election.
11. Given the circumstances, particularly the approximate cost of \$500,000 to ratepayers, and given the unlikely event of the Electoral Commission organising a by-election before the ordinary election of councils on 14 September 2024, it is recommended that Council make an application to the Minister to dispense with the need to hold a by-election to fill the casual vacancy, avoiding any waste of resources.
12. Whilst section 291A of the *Local Government Act 1993* provides:
 - (1) *This section applies to a casual vacancy in the office of a councillor if:*
 - (a) *the casual vacancy occurs within 18 months after the date of the last ordinary election of the councillors for the area, and*

(b) the council has at its first meeting following that ordinary election of councillors, by resolution, declared that any such casual vacancy is to be filled by a countback of votes cast at the last election for that office.

13. At the 10 January 2022 Council meeting, Council took into consideration section 291A as provided below:

(a) That the City of Parramatta Council, pursuant to Section 291A of the Local Government Act 1993 (the Act), declares that casual vacancies occurring in the office of a Councillor within 18 months after the last ordinary election of Councillors for the Council on 4 December 2021 are to be filled by a countback of votes cast at that election for the office in accordance with Section 291A of the Act.

(b) That Council delegate authority to the Chief Executive Officer to negotiate, finalise and execute all documents and agreements with the NSW Electoral Commission in connection with this matter.

(c) Further, that the Chief Executive Officer notify the NSW Electoral Commission of the Council's decision within seven (7) days of the decision.

14. However, this option is not available to Council as the casual vacancy did not occur within 18 months after the 4 December 2021 local government election.

CONSULTATION & TIMING

Stakeholder Consultation

15. Under section 294 of the *Local Government Act 1993* there is no statutory requirement for the Council to consult with the community prior to resolving to either conduct or not conduct a by-election.

LEGAL IMPLICATIONS FOR COUNCIL

16. To dispense with the by-election, the Minister must make an Order that the vacancy not be filled.

FINANCIAL IMPLICATIONS FOR COUNCIL

17. Should Council resolve to apply to the Minister to dispense with holding a by-election, there will be no unbudgeted expenses if such an application is approved.

18. Should Council resolve to fill the vacancy by holding a by-election the cost would be \$500,000 which is currently unbudgeted. Funding would need to be sourced from Council's general reserve.

Roxanne Thornton

Group Manager Office of the Lord Mayor and CEO

Gail Connolly

Chief Executive Officer

ATTACHMENTS:

REFERENCE MATERIAL

REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER	13.2
SUBJECT	Preparation of Concept Plan - Proposed Closure of Eleanor Street, Rosehill to Create Open Space
REFERENCE	F2024/00282 - D09467134
REPORT OF	Group Manager Parks & Open Space

CSP THEME: Fair

WORKSHOP/BRIEFING DATE: Nil

PURPOSE:

To update Council on the progress to formally close and rezone to open space (public recreation) that portion of Eleanor Street, Rosehill (located between Penelope Lucas Lane and James Ruse Drive) to enable the creation of additional local open space and parkland in Rosehill.

RECOMMENDATION

- (a) That Council approve the preparation of a concept plan to transform the portion of Eleanor Street, Rosehill (located between Penelope Lucas Lane and James Ruse Drive) into a public open space area.
- (b) That the concept plan be prepared in consultation with Rosehill ward Councillors and be used to consult the community about the proposal.
- (c) That \$25,000 be allocated from the current 2023/2024 Rosehill Ward Initiative budget to fund the preparation of the concept plan and community consultation.
- (d) That the outcome of the community consultation be reported to Council.

BACKGROUND

1. At the 10 July 2023 Ordinary Meeting of Council, Council resolved:

“That the CEO investigate and report back to Council the potential to formally close and rezone to open space (public recreation) that portion of Eleanor Street, Rosehill (located between Penelope Lucas Lane and James Ruse Drive) to enable the creation of additional local open space and parkland in the southern part of Rosehill.”

2. During the COVID-19 global pandemic, local residents utilised this part of Eleanor Street for recreational purposes during lockdown. The street functioned as a local park and was heavily utilised by children for outdoor play and activities.
3. Currently, the portion of Eleanor Street east of Penelope Lucas Lane, Rosehill is a dead-end and is closed to traffic where it adjoins James Ruse Drive.
4. The closed section has been constructed as a cul-de-sac and landscaping has been installed to prevent vehicles from accessing James Ruse Drive. There are

no existing vehicle accessways or driveways to residential properties from this part of the street.



Photo 1: Eleanor Street landscaped cul-de-sac

ISSUES/OPTIONS/CONSEQUENCES

5. Council staff have investigated the feasibility to transform Eleanor Street east of Penelope Lucas Lane, Rosehill into open space and have considered the following:
 - a. Technical investigations to ensure vehicular manoeuvrability and pedestrian safety is maintained at the terminus of Eleanor Street
 - b. Land zoning permissibility
 - c. Road closure process
 - d. Approximate cost of conversion to public open space
 - e. Level of required embellishment
 - f. Funding source options
 - g. Delivery timeframe.
6. Technical investigations to ensure vehicular manoeuvrability and pedestrian safety are maintained at the terminus of Eleanor Street.
 - a. Council's Traffic and Transport Team advised of no issues with the proposed new open space noting that the proposal would remove a small number of on-street parking spaces. Formal closure of this part of the road to create new parkland will need to be advertised in the local newspaper and be approved by Council through the Parramatta Traffic Committee (PTC) process.
 - b. The approval process through the Traffic Committee would take approximately 6 months. It will require to be advertised in a newspaper for 28 days with the preparation of a Traffic Management Plan (TMP) for

approval by Transport for NSW (TfNSW). Following TfNSW approval the TMP is required to be referred to the PTC meeting for approval.

- c. Costings, for the newspaper notification is between \$1000 to \$2000. Preparation of the advertisement and TNP will be undertaken utilising existing staff resources.
7. Land zoning permissibility.
- a. Council's Land Use Planning team advises a potential rezoning of the land to facilitate conversion to public open space, will not necessarily be required from a land use permissibility perspective. The section of Eleanor Street East of Penelope Lucas Lane is currently zoned R3 Medium Density Residential under Parramatta Local Environmental Plan (PLEP) 2023. Its conversion to public open space would not require a rezoning to RE1 Public Recreation as 'recreation areas' are permitted with consent within the current zone.
 - b. Despite there being no need to rezone this land from a permissibility perspective, should this be desired to enable the park to be identified as public open space on the PLEP 2023 Land Zoning Map, then a rezoning could potentially be undertaken as part of a future housekeeping amendment to PLEP 2023.
 - c. There is no cost associated with this future action from a land use planning perspective if the land is simply converted to open space and no rezoning occurs. Note, that embellishment costs would need to be borne by the Parks section of Council.
 - d. Should a formal rezoning be pursued as part of a future LEP housekeeping amendment then any costs associated with the procedural component of the rezoning process would be absorbed by the City Planning and Design Directorate's budget.
8. Road closure process
- a. Council's Asset Planning team advises that road closures can take up to 12-18 months depending on which services are located within the area and depending on any objections/feedback from the adjoining owners and members of the public. Estimated costs for a permanent road closure are \$12,000.
9. Cost for conversion to public open space
- a. Council's Capital Project team has estimated an approximate cost of \$500,000 for a permanent conversion of the site to a park which does not include the regulatory costs identified above. This estimate includes \$25,000 to develop a concept plan and community consultation.
 - b. With the embellishment and activation of the reserve an increase in the service level Council provides will be required. Approximately \$5,100 per annum will need to be allocated to operational budgets.

10. Level of embellishment

- a. The site is surrounded by R4 (High Density Residential), R3 (Medium Density Residential) and MU1 (Mixed Use) zones, with an increasing proportion of residents living in apartments without access to backyards. It also adjoins James Ruse Drive, being a high traffic volume road, and would be subject to some overshadowing during the winter months due to nearby building heights.
- b. The embellishment level should reflect the recreational capacity of this space resulting from its relatively small size as well as proximity to both private dwellings and James Ruse Drive. It should incorporate infrastructure that facilitates passive recreational uses, which are less likely to create noise impacts, whilst activating the space to maximise opportunities for nearby apartment dwellers to enjoy the outdoors, both as individuals and in small groups.
- c. This could be achieved through the provision of seating, tables, and minor recreational elements such as chess tables. Planter boxes with shade tolerant plants complemented by murals incorporated into the existing road surface, this could appropriately reflect the urban character of the space whilst recognising the limited sunlight access available to sustain a potentially high wear turf surface during the winter period.

11. Funding source options

- a. The project has not been identified under the Outside-CBD Contributions Plan 2021 and would not currently be eligible to utilise developer contributions. Funding would be required to be allocated from general revenue or sought from future State and federal grant opportunities as they arise.

12. Delivery timeframe

- a. Approximately 24 months (2 years) will be required to enable delivery including all approvals (road closure/Traffic Committee), community consultation and delivery of physical works.
- b. It is recommended that after the concept plan is prepared and community support is received, Council commence the formal road closure process (18 months) whilst Council officers simultaneously seek grant funding for a variety of sources to fund construction of the project.

13. Total estimated cost

- a. The cost to prepare the concept plan and consult (\$25,000) close the road (\$12,000) and transform the space into open space while retaining the current land use zoning (\$500,000) is approximately \$540,000. Additional costs would be incurred if Council wishes to reclassify and rezone the space.
- b. The recurrent operational cost to maintain the space would be approximately \$5,000 per annum.

14. Prior to any further investigation being undertaken, it is proposed to develop a high-level concept plan and consult the community. The concept plan can also be used to source grant funding.

CONSULTATION & TIMING

Stakeholder Consultation

15. The following stakeholder consultation has been undertaken in relation to this matter:

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
2023	Traffic and Transport	Included in report	Included in report	Parks & Open Spaces, City Assets & Operations
2024	Land Use Planning	Included in report	Included in report	Parks & Open Spaces, City Assets & Operations
	Capital Projects	Included in report	Included in report	Parks & Open Spaces, City Assets & Operations

Councillor Consultation

16. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
31/5/24	Ward Councillors were consulted about the proposed funding from the Rosehill Ward Initiative Budget	Clr Prociv, Clr Noack and Clr Siviero have approved funding from their Ward Initiative budget.	Council Officers support this initiative.	Executive Director City Assets and Operations

LEGAL IMPLICATIONS FOR COUNCIL

17. There are no legal implications associated with this report.

FINANCIAL IMPLICATIONS FOR COUNCIL

18. The cost to develop a concept plan and consult the community is \$25,000. It is proposed to fund this from the 2023/24 Rosehill Ward Initiative budget.

Terry Johnson
Group Manager Parks & Open Space

George Bounassif
Executive Director City Assets and Operations

Gail Connolly
Chief Executive Officer

ATTACHMENTS:

There are no attachments for this report.

REFERENCE MATERIAL

REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER	13.3
SUBJECT	Adoption of Late Night Trading DCP Amendments to Parramatta DCP 2023
REFERENCE	F2024/00282 - D08992836
REPORT OF	Land Use Planning Manager

CSP THEME: THRIVING

WORKSHOP/BRIEFING DATE: 21 AUGUST 2023, 15 NOVEMBER 2023, 20 MAY 2024

PURPOSE:

The purpose of this report is to seek Council's adoption of the Late Night Trading Development Control Plan (DCP) controls.

RECOMMENDATION

- (a) That Council adopts the amended Late Night Trading Development Control Plan (DCP) controls at **Attachment 1** for finalisation and publishing in Parramatta DCP 2023.
- (b) That Council notify the public authorities and stakeholders who made submissions during the public exhibition of the draft Late Night Trading DCP controls; as well as the Department of Planning, Industry and Environment, Office of the 24 hour Commissioner, Liquor & Gaming NSW, NSW Police, Environment Protection Agency and Parramatta Liquor Accord, that the DCP controls have been finalised and adopted.
- (c) That Council delegate authority to the Chief Executive Officer to:
 - i. Make any changes of a minor, administrative and/or non-policy nature to the endorsed Late Night Trading DCP controls that may arise during the plan finalisation process; and
 - ii. Finalise the 'User Guide for Businesses' in accordance with this Report and create a template Plan of Management, with both to be published on Council's website.
- (d) That Council approve the immediate rescission of the CBD Small Bars Policy (Policy 348).
- (e) That Council consider as part of the 2025/26 Budget process the preparation of an acoustic study in the CBD when the Parramatta Light Rail is fully operational to understand the acoustic character of the CBD to inform whether the controls in the DCP should be further reviewed.
- (f) That Council endorses the commencement of investigations and early engagement on a Special Entertainment Precinct in the Parramatta CBD, around Parramatta Square and Church Street "Eat Street", with the results to be reported back to Council in 2025.

BACKGROUND

1. Exhibition of draft Development Control Plan (DCP) controls for late trading premises occurred in late 2021/22 and the outcomes of the exhibition were reported to the 8 August 2022 Council Meeting. At this meeting Council resolved to defer a decision on the recommendation of the report pending a workshop with Councillors. Workshops with Councillors were held on 24 August 2022 and 28 August 2023.
2. The need for DCP controls for late trading premises was first identified in the *Parramatta Night City Framework 2020-2024* (the Framework) which sets out Council's vision for shaping Parramatta into a night city through the prioritisation of the nighttime economy. The Framework identified planning for a future 24-hour CBD as a key focus area, with specific actions for DCP controls, extension of trading hours and acoustic management measures. Council's *Economic Development Strategy 2023-2032* also champions a safe, thriving, and diverse night time economy.

NEED FOR PLANNING CONTROLS AND STRATEGIC ALIGNMENT

3. Vibrant and active late night trading areas aligns with the direction the NSW Treasury is encouraging in the [24-Hour Economy Strategy 2020](#) and also the work of the 24hr Economy Commissioner to encourage and support night time economy businesses and promote Sydney as a global 24-hour economy through the NSW Government Vibrancy Reforms passed in NSW Parliament in November 2023. Parramatta CBD's 'Purple Flag' accreditation - Australia's second location to be recognised – meaning standards for the management of the night-time economy have been demonstrated aligns with this direction.
4. Securing Parramatta's position as Western Sydney's only global city is the long-term strategic vision of the City of Parramatta Council as set out in the draft [Parramatta 2050](#) which is currently on public exhibition. This vision aims to establish Parramatta as a city that offers a world of opportunities. The Late Night Trading DCP controls support this aim – particularly the game changing initiative *The Epicentre of Creativity* by fostering a diverse 24-hour nighttime economy with appropriate safeguards and controls to monitor and balance amenity considerations.
5. Council currently does not have a specific set of controls in *Parramatta DCP 2023* for late trading premises and applications are wholly merit assessed on a case-by-case basis. The new draft DCP controls for late trading premises that Council is being asked to adopt for inclusion in Parramatta DCP 2023 at **Attachment 1** will have the following benefits:
 - a. Provide certainty for new business operators and existing business operators seeking to expand their offerings, as well as the community, organisations and Council assessment and compliance officers.
 - b. Clarify for existing venue and business operators, particularly within the CBD, that Council values the contribution that well managed existing late night trading premises make to the social, cultural and economic activity of the LGA, and that:
 - i. Current operators are not impacted by the new DCP controls.

- ii. Modification applications will continue to be merit assessed unless a proponent requests to have their application assessed against the Late Night Trading DCP controls.
 - c. Streamline the DA process.
 - d. Encourages a range of uses that contribute to the nighttime economy such as retail and business services (for example, book stores, convenience stores, hairdressers and art galleries); as well as more traditional night time activities such as entertainment uses, restaurants and bars, including those with outdoor spaces.
 - e. Champion the development of a safe, thriving and diverse night time economy where these exist within the LGA and promote Parramatta CBD as a 24-hour city.
 - f. Promote a shared responsibility for the acoustic environment within the CBD between 'receivers' of noise as well as 'emitters' of noise from licenced and non-licensed uses.
6. Once adopted, the Late Night Trading DCP controls will more comprehensively and holistically manage late night trading uses in Parramatta as well as better support Council's vision to create a diversified night time economy; and will therefore supersede the *Parramatta CBD Small Bars Policy* (adopted by Council in 2017). This redundant Council policy (Policy 348) should be rescinded, with this recommendation supported at the Policy Review Committee on 23 May 2023. A copy of the CBD Small Bars Policy can be found at **Attachment 5**.
7. Other updates that will happen once the Late Night Trading DCP controls are adopted include:
- a. The existing notation on Section 10.7 planning certificates applied to properties within a draft Late Night Trading Area advising of potential amenity impacts that should be reasonably expected when living in a vibrant and diverse commercial or mixed-use City Centre will be updated.
 - b. A 'User Guide for Businesses' will be finalised consistent with the endorsed LNT DCP controls and made available on Council's website, along with a template Plan of Management to assist proponents and the community.

PREVIOUS REPORT TO COUNCIL ON 8 AUGUST 2022 - POST EXHIBITION OUTCOMES

8. The [8 August 2022 Council report \(Item 13.9\)](#) outlined the results of the public exhibition of the draft Late Night Trading DCP controls held between 6 December 2021 to 31 January 2022. In summary, 74% of submissions indicated support for the controls, with 24% not in support and 2% unsure.
9. Some amendments to the draft DCP controls were recommended in response to the main themes raised in the submissions including amendments to the noise categories, trading hours within the Late Night Trading Areas (LNTAs), and other minor changes.
10. The Council officer recommendation of this report was that Council approve the revised DCP controls for finalisation and inclusion in Parramatta DCP; however Council [resolved](#) to, '*... defer consideration of the Draft Late Night Trading Development Control Plan to an urgent Councillor Workshop*'.

COUNCILLOR WORKSHOP OUTCOMES AND FEEDBACK FROM THE PARRAMATTA LIQUOR ACCORD

11. Two action items for Council officers were raised by Councillors at the workshop on 24 August 2022 – one, to explore amendments to the controls to make the merit assessment process clearer; and two, meet with the Parramatta Liquor Accord to clarify their concerns with the post exhibition amendments to the DCP controls. This meeting with the Accord occurred on 12 October 2022.
12. A further workshop with Councillors was held on 21 August 2023 with one action item, being a request to review the controls for trial periods. Subsequent meetings were also held with the Parramatta Liquor Accord on 28 August 2023 and 23 May 2024. Key Issues raised included trial period controls and application of these controls to existing businesses.
13. Having considered the issues raised at these workshops and stakeholder meetings as well as the recent NSW Government Vibrancy Reforms (outlined below), some amendments to the draft controls are proposed. The key changes are discussed in later sections of this report.

NSW GOVERNMENT VIBRANCY REFORMS

Liquor Licensing Reform Options Discussion Paper

14. In late 2022 the NSW Government released the Liquor Licensing Reform Options Discussion Paper (Discussion Paper) and Attachments with options to support a vibrant and safe 24-hour economy including standard trading hours in a liquor license for the sale of liquor by a business (as guided by the Liquor Act 2007).
15. A few submitters on the LNT DCP controls raised concern about the lack of alignment of the trading hours in the DCP with the trading hours in a Liquor License. The overarching objective of the Late Night Trading DCP is to govern the use of a site for both licensed and non-licensed late night uses, having consideration for its context, and the protection of the environment as guided by the EP&A Act 1979.
16. The Discussion Paper supports this objective making clear that trading hours for the sale of liquor as set by a liquor license - including any special license condition for a 6-hour closure period - is distinct from any development consent conditions that set a venue's business trading hours, with a venue's business trading hours continuing to be a Council responsibility (as guided by the EP&A Act 1979). As such, there is no requirement to align venue trading hours in the DCP with those in the Liquor Act 2007.

24-Hour Economy Legislation (Vibrancy Reforms) Amendment Act 2023

17. Following the release of the Discussion Paper, the 24-Hour Legislation Liquor Amendment (Vibrancy Reforms) Bill 2023 was passed by the NSW Parliament on 30 November 2023. The reforms support a 24-hour economy and introduce changes to encourage live music and performance, and improve processes related to the night time economy.

18. The Bill passed by Parliament included amendments to a number of the instruments including the Liquor Act 2007 and Regulation 2018; the Environmental Planning & Assessment Act 1979 and Regulation 2021; Gaming and Liquor Administration Regulation 2016; Local Government Act 1993; and Protection of the Environment Operations (General) Regulation 2022.
19. The bulk of the legislative changes commenced on 23 December 2023 with other changes commencing in the first and second quarters of this year (see Figure 1). The matters most relevant to Council's LNT DCP controls are discussed in Table 1 below.

Table 1: Relationship of specific State Government Vibrancy Reforms with the proposed Late Night Trading DCP controls

State Government Vibrancy Reform	Late Night Trading DCP controls
Introduction of standard trading hours in a Liquor Licence issued to an operator for licensed venues for retail liquor sales under the Liquor Act 2007.	<p>Consistent. Trading hours in the DCP apply to the 'operation' of the venue for both licenced and non-licenced uses and are included in the conditions of the DA consent.</p> <p>As discussed above, trading hours for the sale of liquor as set by a liquor licence is distinct from a DA condition that set a venue's business trading hours with these continuing to be a Council responsibility (as guided by the EP&A Act 1979).</p>
Support for live music, creative and cultural spaces by exemption from the six-hour closure period (when liquor cannot be sold or supplied, generally from 4am to 10am) for live music performance or other arts or cultural events.	The DCP controls do not impact upon the sale of liquor from a venue, this is governed by the Liquor Act 2007. Existing conditions of consent relating to operating hours would continue to apply, unless formally amended.
Acoustic controls for licensed venues are imposed by councils through the development consent process rather than by Liquor & Gaming NSW or the Independent Liquor & Gaming Authority following the passing of the Liquor Amendment (24-hour Economy) Act 2020.	<p>Consistent. The acoustic controls in the DCP apply to Late Night Trading Areas (LNTA's) in the Parramatta City Centre and aim to manage noise emanating from licenced and non-licenced venues ('emitters') and control the transmission of noise into nearby new 'receivers' (residential and commercial premises etc). This shared responsibility for emitters and receivers to manage the noise environment balances the desired levels of vibrancy in the CBD and a reasonable and commensurate level of amenity for sensitive uses.</p> <p>Outside of identified LNTA's in the Paramatta City Centre, noise impacts for all uses are governed by the NSW Environmental Protection Authority Noise Policy for Industry 2017.</p> <p>There is no requirement to align the noise requirements that were once included in a Liquor Licence with those in the DCP; and existing emitter uses will continue to operate under their current DA consent conditions.</p>
Noise complaints related to entertainment sound emanating from licensed premises are to be solely regulated by Liquor & Gaming NSW through the <i>Liquor Act 2007</i> (Disturbance of quiet and good order of neighbourhood).	Consistent. Complaints about intrusive noise from non-licenced and licenced premises, other than entertainment noise emanating from licensed premises, is regulated by Council.
Revised framework for establishing "Special Entertainment Precincts"	Consistent. Special Entertainment Precincts, if established within Parramatta, will not be

	hindered by the DCP controls. See further discussion later in this report.
Allowing outdoor dining on private land and at registered clubs using the Codes SEPP's complying development pathway.	Consistent. The DCP controls do not inhibit outdoor dining applications via the Codes SEPP complying or exempt pathways..

Figure 1: NSW Government's Timeline for the roll out of the Vibrancy Reforms



PROPOSED AMENDMENTS TO THE DRAFT LATE NIGHT TRADING DCP CONTROLS

20. The draft amended controls that Council is being asked to approve for adoption at **Attachment 1** respond to the issues raised in the submissions received during the exhibition period, the proposed amendments reported to Council on 8 August 2022, as well as the post exhibition matters discussed above including stakeholder meetings and the gradual release of the NSW Government Vibrancy Reforms starting in December last year (see Figure 1 above). The more significant amendments to the controls are as follows:

21. **#1: Late Night Trading Area Categories** - Council officers were asked to recognise the special characteristics and underlying zoning of some areas.

Table 2: Comparison of the exhibited and proposed changes to the Late Night Trading Area categories

LNTA categories – across the LGA (see Attachment 3)	
<p>Exhibited controls: LNTAs applied to the Parramatta City Centre as well as some strategic and local centres across the LGA and included four (4) LNTA categories – City Centre LNTA 1, City Centre LNTA 2, Urban Centre LNTA 3, and Local Centre LNTA 4.</p>	<p>Proposed amendments: Remove LNTA's from strategic and local centres, and only apply the LNTA categories to the Parramatta City Centre (see further discussion below); with consequential amendments to delete 'Local Centre LNTA 4' category as none existed in the CBD and amend the name and description of Urban Centre LNTA 3 to 'City Centre LNTA 3' to reflect that this category no longer applies outside the CBD.</p> <p>Rationale: The large variation in context and character means the merit assessment process can better consider the varied conditions outside the CBD. This is detailed in Section 1.2 of the DCP.</p>
LNTA categories – within the CBD (see Figure 2)	

<p>Exhibited controls: Church Street (Auto Alley) identified as LNTA Category 1.</p>	<p>Proposed amendment: Amend Church Street (Auto Alley) to LNTA Category 3. Refer to Figure 2.</p> <p>Rationale: Better reflects adjacent low intensity uses, and the and current and expected late night trading offerings. The CBD Planning Proposal identified this area for expansion of the commercial core in the long term, and the appropriateness of the LNTA category can be reviewed in the future if needed.</p> <p>Note: Minor amendment also to the site on the corner of Church and Parkes Streets to accurately align the LNTA 1 category to the property boundary (see red circle in Figure 2)</p>
<p>Exhibited controls: 180 George Street (Meriton site) identified as LNTA Category 3.</p>	<p>Proposed amendment: Amend 180 George Street to LNTA Category 2. Refer to Figure 2</p> <p>Rationale: Better reflects this large mixed use development with a cluster of restaurants on the ground level and its proximity to light rail and the ferry.</p>

Figure 2: Proposed Late Night Trading Area (LNTA) categories in Parramatta CBD, as the exhibited version. Attachment 3 contains the LNTA map as exhibited and enlarged versions of the maps below.



22. **#2: Trading hours** - Council officers were asked to reconsider the base and extended trading hours. Refer to Figure 2 for the locations of the LNTA areas referred to in this table.

Table 3: Comparison of the exhibited and proposed changes to the Late Night Trading Area trading hours

LNTA trading hours – high and low impact <i>indoor uses</i>	
Exhibited controls: <ul style="list-style-type: none"> - LNTA 1 base hours until 2am - LNTA 2 extended hours until 3am - LNTA 3 extended hours until 2am 	Proposed amendments: <ul style="list-style-type: none"> - Base hours for LNTA 1 now 24hrs - Extended hours for LNTA's 2 and 3 now 24hrs Rationale: Better reflects the desire for a 24hr city, with the extended hours subject to new, longer trial periods (see below).
LNTA trading hours – high and low impact <i>outdoor uses</i>	
Exhibited controls: <ul style="list-style-type: none"> - LNTA 1 base hours until 11pm and extended hours until 3am - LNTA 2 base hours until 10pm and extended hours until midnight. - LNTA 3 base hours starting at 10am and extended hours until 2am. 	Proposed amendments: <ul style="list-style-type: none"> - For LNTA's 1 and 2, base hours now midnight, and extended hours 24 hrs - For LNTA 3, base hours now starting at 6am Rationale: Better reflects the intent for a 24hr city, with the extended hours subject to new, longer trial periods (see below). Extending the hours in the morning for LNTA 3 enables operators to cater to a breakfast market.
LNTA trading hours – high and low impact <i>outdoor uses adjacent to the Parramatta River</i>	
Exhibited controls: <ul style="list-style-type: none"> - LNTA 2 extended hours until 10pm. 	Proposed amendments: For LNTA's 1, 2 and 3, <u>base and extended hours now 10pm</u> . If longer hours sought, subject to a trial and merit assessed. Rationale: Protects sensitive uses from noise transmission across the water while providing opportunity for businesses to demonstrate noise attenuation measures where longer hours sought.

23. **#3: Clarification of standards for trial periods for venues.** Council officers were asked to consider:

- amending the controls to make clear when a trial period is required; and removing trial periods or extending the length of the trial period to support the financial investment of venue operators and enabling a business to demonstrate good practices across the seasons.
- Streamlining the process for the removal of the trial period condition of consent and making the extended hours subject to the trial period the new base operating hours through a process other than a modification of consent application (section 4.55 of *the Environmental Planning and Assessment Act 1979*).

Table 4: Comparison of the exhibited and proposed changes to the trial periods for extended trading hours

Length of the trial period for extended trading hours, application of the control and planning pathway for DA's for trial periods.	
Exhibited controls: <ul style="list-style-type: none"> - Length of trial 12 months - For all emitter premises (new and existing) within a LNTA, extended trading hours beyond base hours subject to a trial. - Out of area proposals, merit assessed for inclusion of a trial. - Modification DA required to formalise extended trading hours. 	Proposed amendment: <p><u>For new emitter premises within a LNTA</u>, any extended trading hours beyond base trading hours to be subject to a trial. Length of trial: 1st trial – 24 months, 2nd trial – 5 years.</p> Rationale: Extending the length of the trial period where extended hours are sought has the following benefits: <ul style="list-style-type: none"> - Greater certainty on investment decisions - Allows time for businesses to refine operations and demonstrate good management practices - Length of the trial period aligns with many other councils across Sydney (see Attachment 4).

	<p>At the end of the trial period, provided there are no issues, extended hours become base hours (subject to a modification DA).</p> <p><u>For existing premises (whether inside a LNTA or not) and new premises outside a LNTA that are subject to a merit assessment, these may also be subject to a trial period with the length of the trial to be determined by Council as part of the merit assessment. See also #5 for existing emitter premises.</u></p>
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24. **#4: Clarification of standards for noise mitigation measures.** Council officers were asked to consider aligning the DCP acoustic controls with the noise conditions typically applied to a Liquor Licence by Liquor and Gaming NSW.

Response: As discussed above, the Vibrancy Reforms make clear that acoustic controls for licensed and non-licensed and venues are imposed by councils through the development consent; and the lead regulator for noise complaints related to entertainment sound emanating from licensed premises is Liquor and Gaming NSW. For other noise complaints, councils are the regulator. Since the passing of the 24 hour Economy Act, L&G NSW has no longer applied noise conditions on a liquor licence. The Acoustic controls in Section 4 of the DCP will apply to applications within LNTA’s for new emitters and for existing emitters proposing significant modifications. Some minor amendments are proposed to these controls in response to trading hours. The NSW Environmental Protection Authority Noise Policy for Industry 2017 will continue to govern existing emitter premises within LNTA’s proposing minor works and all uses outside of identified LNTA’s in the Paramatta City Centre.

25. **#5: Mechanisms to support existing venue operators and practices.** Council officers were asked to consider how it could be made clearer in the DCP that an existing emitter premises with a current approval (whether or not they were in a LNTA) could continue operating with their existing conditions of consent, and a current consent would be considered when a premises lodges a new application.

Response: The DCP have been amended to include a table and explanatory text in *Section 1.1 Application of this Section of the DCP* to clarify the controls that apply for the different development categories and the matters for consideration in a merit assessment. This table is provided below (Table 5). A Savings Provision is also included which states inter alia that the DCP controls do not apply retrospectively, which means a premises with a current approval can continue operating with their existing conditions of consent.

Table 5: Application of the LNT DCP controls to new and existing emitter and receiver premises.

Development Category	Within an identified LNTA	Outside an identified LNTA
New Emitter Premises	All controls in this Part of the DCP apply.	<p>Controls in this Part of the DCP do not apply, except the merit assessment criteria.</p> <p>Applications will be assessed on merit and must be consistent with the EPA’s <i>Noise Policy for Industry 2017</i> and / or Liquor & Gaming NSW noise criteria.</p>

Existing Emitter Premises	<p>Controls in this Part of the DCP do not apply, except where,</p> <ul style="list-style-type: none"> - significant changes are proposed via a new development application; or - a proponent requests for the application to be assessed against the controls in Part 10. This must be outlined in their Statement of Environment Effects. <p>Applications for minor changes will be assessed on merit (see merit assessment criteria) and must be consistent with the EPA's <i>Noise Policy for Industry 2017</i> and / or Liquor & Gaming NSW noise criteria.</p>	<p>Controls in this Part of the DCP do not apply, except the merit assessment criteria.</p> <p>Applications will be assessed on merit and must be consistent with the EPA's <i>Noise Policy for Industry 2017</i> and / or Liquor & Gaming NSW noise criteria.</p>
New Receiver Premises	<p>Only the controls in Section 4 – Acoustic Controls in this Part of the DCP apply.</p>	<p>Controls in this Part of the DCP do not apply.</p> <p>Applications will be assessed on merit.</p>
Existing Receiver Premises	<p>Only the controls in Section 4 - Acoustic Controls in this Part of the DCP apply where there is an increase in the intensity of the use or the number of sensitive receivers.</p>	<p>Controls in this Part of the DCP do not apply.</p> <p>Applications will be assessed on merit.</p>

26. The proposed changes to the DCP controls are shown as tracked changes at **Attachment 1**; and further detail about the issues raised in the submissions is available in the Submission summary and responses at **Attachment 2**.
27. In summary, the draft controls as amended are consistent with the original overarching objective of this work which is to position Parramatta as a leading night city which supports a future 24-hour CBD. The controls include appropriate safeguards and provisions to monitor and balance amenity considerations while supporting existing business and the broader vision for Parramatta as a global city that fosters a diverse night time economy, attracts new businesses, and offers a rich variety of experiences to both its residents and visitors.

MATTERS FOR FUTURE CONSIDERATION

28. **Establishing “Special Entertainment Precincts”** in designated areas or streetscapes where later trading hours and favourable sound regulations support live music and performance venues. SEP's are made by councils and identified in an LEP, and local community interests are considered by way of inclusion in a precinct management plan, which must be published by the council. The benefits of SEP's are promotional opportunities and greater certainty for businesses and enhancement of local going out areas. The State Government is due to release guidelines and model templates in the next few months, and in the future Council may want to consider a SEP in the CBD around the Civic Link/ Metro/ light rail/ Parramatta Square / Eat Street area.

29. **Undertaking an acoustic study in the CBD** when the Parramatta Light Rail is fully operational as the background noise levels in the Parramatta CBD are expected to change. A future acoustic study would establish the desired acoustic character and amendments may be required to the Noise Category Cumulative Levels and other acoustic controls within the draft DCP depending on the findings in the study. The undertaking of this study would be subject to 2024/25 budget approval by Council, and if approved would potentially occur in late 2025/ early 2026.
30. **Including strategic and local centres in a LNTA category** in a future revision of the LNT DCP control. The exhibited controls included some centres outside the CBD including for example Epping, Granville and Westmead. The focus of the controls at **Attachment 1** is the Parramatta CBD, which will enable council officers to test and evaluate their effectiveness and adjust the controls as needed before rolling out to other areas.

Stakeholder Consultation

31. The following recent stakeholder consultation has been undertaken in relation to this matter. Previous stakeholder consultation is detailed in **Attachment 6**.

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
12 October 2022	Post - Exhibition Parramatta Liquor Accord per the Action Item from the Councillor Workshop on 24 August 2022 (for details see the Councillor Consultation table below)	Comments about protection of trading hours for existing businesses, trial periods, LNTAs, trading hours and acoustic controls. These comments were largely in line with their formal submission.	Comments were addressed during the meeting, and requests regarding merit-based assessment, trial periods and maximum trading hours were investigated. See Attachment 1 and Attachment 2 of this Council report.	Executive Director, City Planning and Design
28 August 2023	Parramatta Liquor Accord	Comments about protection of trading hours for existing businesses, trial periods, LNTAs, trading hours and acoustic controls.	Comments were addressed during the meeting, and requests regarding trial periods were investigated. See Attachments 1 and 2 of this Council report.	Group Manager, Strategic Land Use Planning
23 May 2024	City of Parramatta Policy Review Committee	Supported the CBD Small Bars Policy being rescinded upon endorsement by Council of the Late Night Trading DCP controls.		Group Manager, City Strategy
23 May 2024	Parramatta Liquor Accord	Comments about protection of trading hours for	Comments were addressed during the meeting, and	Group Manager, City Strategy

		existing businesses, trial periods, LNTAs, trading hours and acoustic controls.	requests regarding trial periods, trading hours and controls applying to existing venues were investigated. See discussion in the Council Report and Attachments 1 and 2 of this Council report.	
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Councillor Consultation

32. The following recent stakeholder consultation has been undertaken in relation to this matter. Previous consultation is detailed in **Attachment 6**.

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
1 August 2022 (Councillor Workshop)	All Councillors were invited	Request for answers to questions and additional documents. Request for additional workshop.	Responses provided to Councillors following the Workshop.	Group Manager, City Strategy
24 August 2022 (Councillor Workshop)	All Councilors invited	Provided responses to matters raised at 1 August 2022 Workshop. Request for senior staff to meet with the Parramatta Liquor Accord. Request for updates to DCP to reflect merit assessment process.	Senior staff met with the Accord on 12 October 2022 and 28 August 2023. DCP has been updated to reflect merit assessment process, see Attachments 1 and 3 .	Executive Director, City Planning and Design
21 August 2023 (Councillor Workshop)	All Councilors invited	Request to review controls for trial periods. Information requested on existing acoustic controls within the Parramatta City Centre DCP. Request to update the Noise Category map to improve its graphical clarity.	Controls for trial periods have been reviewed. See Attachment 3 of this Council report. Information on acoustic controls within the Parramatta City Centre DCP were provided. Noise Category map updated.	Group Manager, Strategic Land Use Planning

20 May 2024 (Councillor Workshop)	All Councillors were invited	Investigate the LNTA categorisation around George Street and Charles Street, and whether this area should be LNTA 2 instead of 3.	Project Team considered this matter as part of the refinement of the draft DCP controls, recommending a site be changed to the LNTA 2 category.	Group Manager, Strategic Land Use Planning
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LEGAL IMPLICATIONS FOR COUNCIL

33. There are no legal implications for Council associated with this report.

FINANCIAL IMPLICATIONS FOR COUNCIL

34. If Council resolves to approve this report in accordance with the recommendation, there are no unbudgeted financial implications for Council's budget.

Robert Cologna

A/ Executive Director City Planning and Design







Amit Sharma

A/ Executive Director - Finance and Information

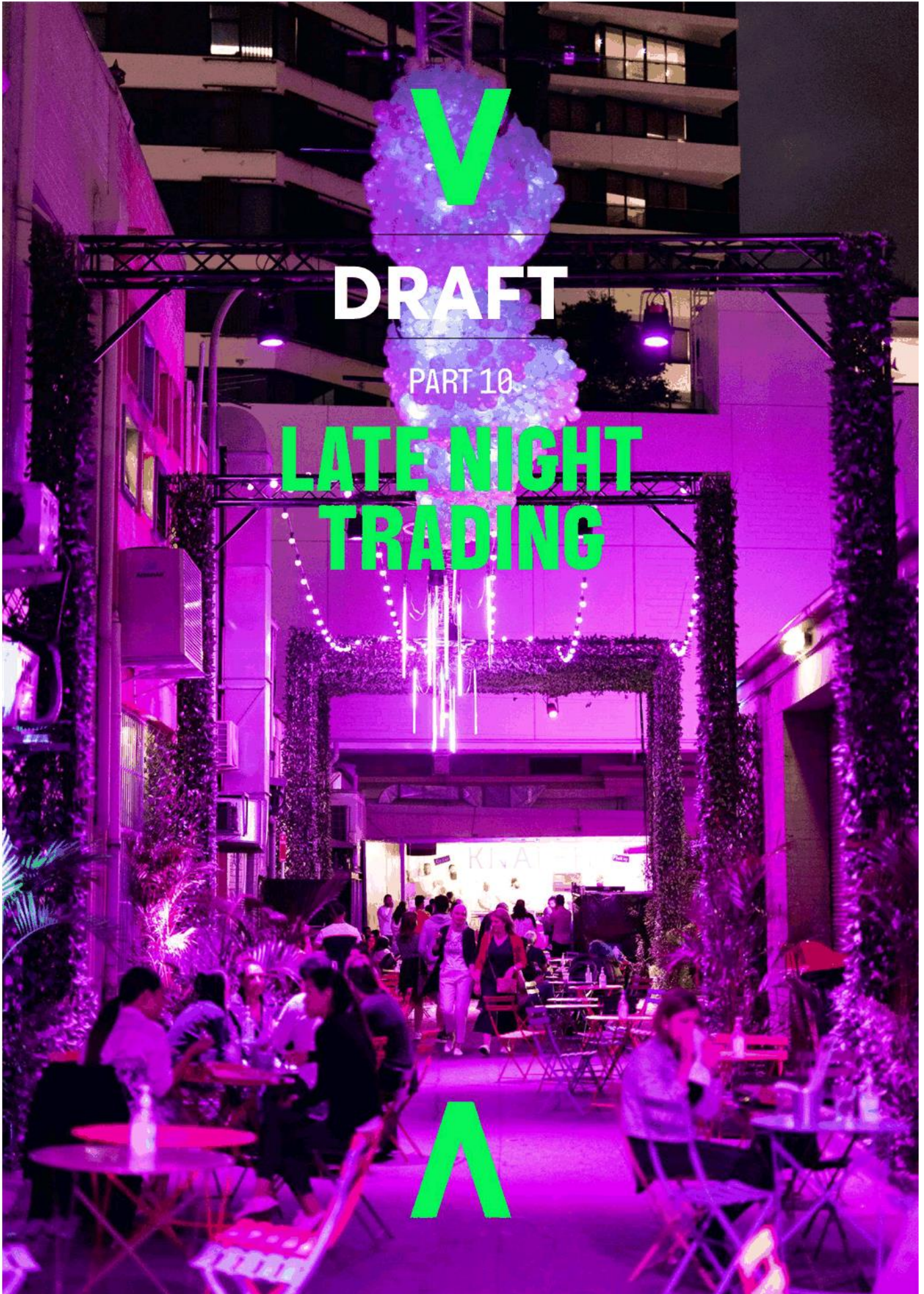
Gail Connolly

Chief Executive Officer

ATTACHMENTS:

 1	Attachment 1: Final Draft Late Night Trading DCP	39
 2	Attachment 2: Summary of Submissions	51
 3	Attachment 3: Comparison of LNTA Maps	3 Pages
 4	Attachment 4: Comparison of Trial Periods with other Sydney Councils	1 Page
 5	Attachment 5: Parramatta CBD Small Bars Policy	8 Pages
 6	Attachment 6: Consultation (in full)	3 Pages

REFERENCE MATERIAL



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Note: Edits in this document shown in Track Changes are for the purpose of the Council report. Insertions are shown in blue underlined text and deletions are shown in red strike-through text

1 LATE NIGHT TRADING

This Part of the DCP will provide businesses, venues and operators with a consistent set of requirements and conditions that will balance community desires for a vibrant nightlife with the amenity of surrounding uses as well as community expectations.

For new developments within the Parramatta City Centre and immediate surrounds, this Part of the DCP also includes acoustic requirements and conditions that need to be considered. In addition to being able to enjoy the amenity of a vibrant and active night city, residents and workers of new buildings adjoining late night trading uses must anticipate a range of factors associated with late night activity, with apartments for example built to protect residents from noise levels that can be expected in a vibrant Parramatta City Centre with a mix of different night time uses.

The night time economy is an important part of the City's economy, cultural and social fabric. The night time economy includes small bars, bars, pubs, clubs, cafes, restaurants, retail shops, performance venues, cultural and sporting events, and cultural spaces which provide for the entertainment and social preferences of residents, workers, students and visitors.

City of Parramatta has an ongoing commitment and statutory duty to ensure a safe, vibrant and inclusive night time economy is facilitated through good management of late trading venues. It is particularly important for applicants of late night trading premises to demonstrate responsible management over time. This commitment should be demonstrated both at the development application stage and throughout the history of the operation of a premises.

All controls in Part 10 – Late Night Trading must be read in conjunction with all other Sections of this DCP. Should there be any inconsistency between this Part and any other Part of this DCP, this Part prevails to the extent of the inconsistency.

Objectives

The City of Parramatta aims to foster the development of a vibrant, diverse and thriving nightlife, one that encourages careful planning and managing of appropriate activities to allow the City to function effectively, both day and night. This includes establishing set areas, hours and management requirements for licensed and non-licensed night time economy uses, and safeguarding the amenity of the Parramatta City Centre where there is a concentration of night time uses. The objectives of this DCP are to:

- O.01. Identify appropriate locations and trading hours for late night trading premises in the Parramatta City Centre.
- O.02. Encourage suitable intensity and growth of late night trading premises in appropriate locations.
- O.03. Ensure that impacts from late night trading premises are managed to protect a reasonable level of amenity for surrounding residential or sensitive land uses, that is commensurate with its context.

- O.04. Identify approaches, responsibilities and standards to managing noise and sound.
- O.05. Ensure that operators of late night trading premises commit to good management practices, to promote a safe night time economy.
- O.06. Provide the opportunity for premises to extend trading hours where they have demonstrated ongoing good management practices during trial periods.
- O.07. Encourage late night trading premises that contribute to vibrancy throughout different times of the night (early evening, twilight, night time and late night), as appropriate to the status of the centres within which it is located.
- O.08. Encourage a broad and inclusive mix of night time uses that reflect the diverse needs of people who work, live and visit City of Parramatta, including dining, drinking, retail, performance, creative and cultural uses.

1.1 Application of this Part of the DCP

The provisions of this Part of the DCP support a night-time economy and apply to various types of development across the City of Parramatta. Development can include and is not limited to small bars, bars, pubs, clubs, cafes, restaurants, retail shops, performance venues, cultural and sporting events, and cultural spaces which provide for the entertainment and social preferences of residents, workers, students and visitors. These types of developments are referred to as 'Emitters' because they can generate Entertainment Noise from activities associated with the Night Time Economy, including music and/or patrons.

The acoustic provisions in this Part of the DCP also apply to 'Receivers' within the Parramatta City Centre and immediate surrounds that may be sensitive to Entertainment Noise such as new residential apartment buildings (excluding hostels), educational facilities including early childhood and child care facilities (CCF), places of public worship, health services facilities, tourist and visitor accommodation (including hostels), and commercial premises.

For Emitter proposals *within* Late Night Trading Areas (LNTA) as shown in Figure 2.1, base and extended operating hours apply as outlined in Section 3.1 Hours of Operation. Operating hours for emitter proposals *outside* of identified Late Night Trading Areas will be merit assessed as outlined below under the heading - 'Merit assessed applications'.

This Section Part of the DCP applies to the Parramatta Local Government Area as outlined in Table 1.1 below:

Table 1.1 – Application of the controls in this Part of the DCP (Part 10X)

Development Category	Within an identified LNTA	Outside an identified LNTA
<u>New Emitter Premises</u>	All controls in this Part of the DCP apply.	Controls in this Part of the DCP do not apply, except the merit assessment criteria (see below). Applications will be assessed on merit and must be consistent with the EPA's Noise Policy for

		<u>Industry 2017 and / or Liquor & Gaming NSW noise criteria.</u>
Existing Emitter Premises	<p>Controls in this Part of the DCP do not apply, except where,</p> <ul style="list-style-type: none"> - <u>significant changes*</u> are proposed via a new development application; or - a proponent requests for the application to be assessed against the controls in Section XPart 10 of this DCP. This must be outlined in their Statement of Environment Effects. <p>Applications for minor changes will be assessed on merit (see merit assessment criteria) and must be consistent with the EPA's <u>Noise Policy for Industry 2017 and / or Liquor & Gaming NSW noise criteria.</u></p>	<p>Controls in this Part of the DCP do not apply, except the merit assessment criteria (see below).</p> <p>Applications will be assessed on merit and must be consistent with the EPA's <u>Noise Policy for Industry 2017 and / or Liquor & Gaming NSW noise criteria.</u></p>
New Receiver Premises **	<p>Only the controls in Section 4 - Acoustic Controls in this Part of the DCP apply.</p>	<p>Controls in this Part of the DCP do not apply. Applications will be assessed on merit.</p>
Existing Receiver Premises **	<p>Only the controls in Section 4 - Acoustic Controls in this Part of the DCP apply where there is an increase in the intensity of the use or the number of sensitive receivers.</p>	<p>Controls in this Part of the DCP do not apply Applications will be assessed on merit.</p>

***Significant changes** means a new development application for comprehensive redevelopments and/or changes from one business to another new and separate business. This will not apply to modifications or minor extensions to an existing use/ business, even if a new development application is required.

*** Receiver Premises** (as also defined in the Glossary in Section 6) refers to receiving uses and can include the following uses: residential accommodation (excluding hostels), educational facilities including early childhood and child care facilities (CCF), places of public worship, health services facilities, tourist and visitor accommodation (including hostels), and commercial premises (excluding retail premises, but including offices as part of industrial premises).

Savings Provision

The controls in this Part of the DCP do not apply retrospectively. Existing emitter premises with current approvals may continue operating within their existing conditions of consent. This DCP will not limit or impact their continued operation under their existing consent.

For existing uses that fall under the category of Receivers, the controls in this Part of the DCP will not affect the conditions of an existing consent.

Merit assessed applications – criteria

Where indicated in Table 1, the matters for consideration as part of a merit assessment for new and existing Emitters Premises include:

- Location and context.
- Appropriate management to ensure minimal impacts to neighbouring properties and the surrounding locality from sound, vibration & light spill.
- Size and patron capacity.
- Plan of Management requirements in Section 5.1
- Safety, security and crime prevention measures.
- Accessibility and frequency of public transport, courtesy buses and the like.
- Social impact of the proposal assessed in accordance with Council's Social Impact Assessment Guidelines 2013.
- Any other relevant legislation or requirements including any other relevant Parts of Parramatta DCP 2023.
- Noise Policy for industry 2017
- Trial periods may be applied to any High Impact, Low Impact, or Non Licensed premises as considered appropriate in the context of the proposal and its location. The length of the trial period to be determined by Council.
- Definitions as included in the Glossary in Section 6 and Emitter Premises Categories in Section 1.2.

New Premises

- 1.—All parts of this chapter of the Development Control Plan apply for:
 - a)—all new development applications for a new High Impact, Low Impact or Non-Licensed premise seeking approval within the LGA.

Existing Premises

- 2.—All parts of this chapter of the Development Control Plan apply for:
 - a)—an existing premise applying for increased hours to base or extended hours.
 - b)—an existing Low Impact premises undergoing refurbishment, redevelopment or expansion which will result in a recategorization to High Impact.
 - c)—an existing Non-Licensed premise undergoing refurbishment, redevelopment or expansion which will result in a recategorization to High Impact premise or Low Impact premise

an existing High Impact, Low Impact or Non-Licensed premise seeking approval for Entertainment Noise **Note:** This chapter of the DCP is not retrospective. For all existing premises, including those making a development application, existing operating hours are

protected and cannot be reduced by this Development Control Plan or through a Development Application made under this Development Control Plan.

Note: Existing uses making no change to operating conditions or changes that do not meet definitions 2. a, b, c, or d specified above; a merit assessment will continue to apply.

Note: For existing premises making no change, a current approval with associated conditions continues to apply. For an existing premise making a new development application, new conditions will apply, as per the Environmental Planning & Assessment Act 1979.

New receivers

3. All parts of this chapter of the Development Control Plan apply for:

all new development applications for a new Receiver development, which are any of the following uses:

residential accommodation (excluding hostels), educational facilities including early childhood and child care facilities (CCF), places of public worship, health services facilities, tourist and visitor accommodation (including hostels), and commercial premises (excluding retail premises, but including offices as part of industrial premises)

Note: This chapter of the DCP is not retrospective. For existing uses that fall under the category of Receivers, no action is required to mitigate the internal acoustic environments of these developments.

Relationship to other Environmental Planning Instruments and Development Control Plans

The Late Night Trading controls generally complement the provisions of the relevant environmental planning instruments as they apply to the City of Parramatta. Where relevant, this DCP should be read in conjunction with parts of the following DCPs;

- Parramatta DCP 2011
- Auburn DCP 2010
- The Hills DCP 2012
- Holroyd DCP 2013
- Hornsby DCP 2013
- Wentworth Point Precinct DCP 2014

Where there is any inconsistency between the relevant DCP and an applicable Local Environmental Plan (LEP), the LEP will prevail.

1.2 Emitter Premises Categories

To categorise the level of impact from certain Emitter uses, the requirements of certain uses that contribute to the night-time economy have been considered. This DCP categorises Emitter premises as: High Impact, Low Impact and Non-licensed. The meaning of each category is outlined below in Table 1.2.

Table 1.2– Emitter premises categories and criteria

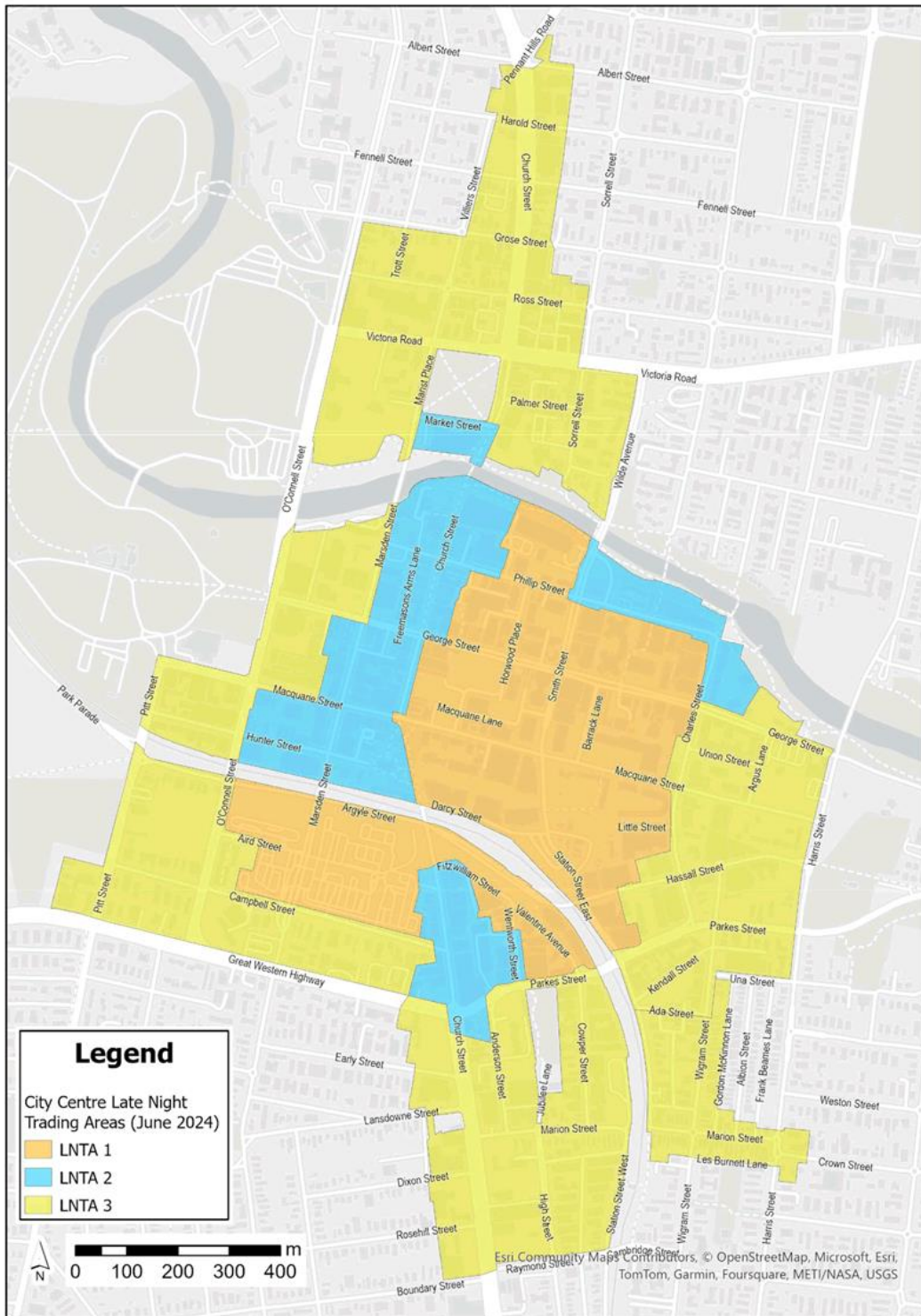
High Impact	<ul style="list-style-type: none"> a) A hotel within the meaning of the <i>Liquor Act 2007</i> that is not designated as a general bar licence; b) A hotel within the meaning of the <i>Liquor Act 2007</i> that has a capacity of more than 120 patrons and is designated as a general bar licence; c) A club within the meaning of the <i>Liquor Act 2007</i>; d) An on-premises licence within the meaning of the <i>Liquor Act 2007</i> where the primary business or activity carried out on the premises is that of a public entertainment venue, nightclub, with a capacity of more than 120 patrons; e) A dedicated entertainment facility, which may be licensed, and includes performance venues, theatres, cinemas, music hall, concert halls, dance halls or other spaces that are primarily for the purpose of performance, creative or cultural uses, with the capacity of more than 250 patrons, but does not include a pub, bar, karaoke bar, small bar, nightclub, adult entertainment venue or registered club; f) A premises that has a capacity of more than 120 patrons, where the primary purpose is the sale or supply of liquor for consumption on the premises; or g) Premises that are used as a karaoke venue where the owner or occupier sells or supplies liquor for consumption on the premises
Low Impact	<ul style="list-style-type: none"> a) Premises that have a capacity of 120 patrons or fewer, where the primary purpose is the sale or supply of liquor for consumption on the premises with a; b) General bar licence; or c) Small bar licence d) An on-premises licence within the meaning of the <i>Liquor Act 2007</i>; e) A premise with special authorisation for a micro-brewery or small distillery, as part of a producer/wholesaler licence, with a capacity of 120 patrons or fewer; f) Any premises where the owner or occupier sells or supplies liquor for consumption on the premises that is not a High Impact Premise; g) Any other commercial premises, other than Non-Licensed premises, which in the opinion of the Council may impact on the amenity and safety of a neighbourhood resulting from its operation at night, including but not limited to, food and drink premises, takeaway food and drink premises, karaoke venues, and stand-alone gyms in buildings with residential accommodation and the like; or h) A dedicated entertainment facility, which may be licensed and includes theatres, cinema, music hall, concert hall, dance hall or other space that is primarily for the purpose of performance, creative or cultural uses, with a capacity of 250 patrons or fewer, but does not include a pub, bar, karaoke bar, small bar, nightclub, adult entertainment venue or registered club.
Non-Licensed	<p>Any retail premises or business premises which does not sell, supply or allow the consumption of liquor on or off the premises or hold any license under the <i>Liquor Act 2007</i>.</p> <p>This may include premises selling groceries, personal care products, clothing, books/stationery, music, homewares, electrical goods and the like, or businesses such as convenience and neighbourhood stores, drycleaners, banks and hairdressers and the like, and stand-alone gyms in commercial or industrial only buildings.</p> <p>It does not include food and drink premises, takeaway food and drink premises, gyms in buildings with residential accommodation, or adult entertainment venue or sex services premises.</p>

2 Late Night Trading Areas

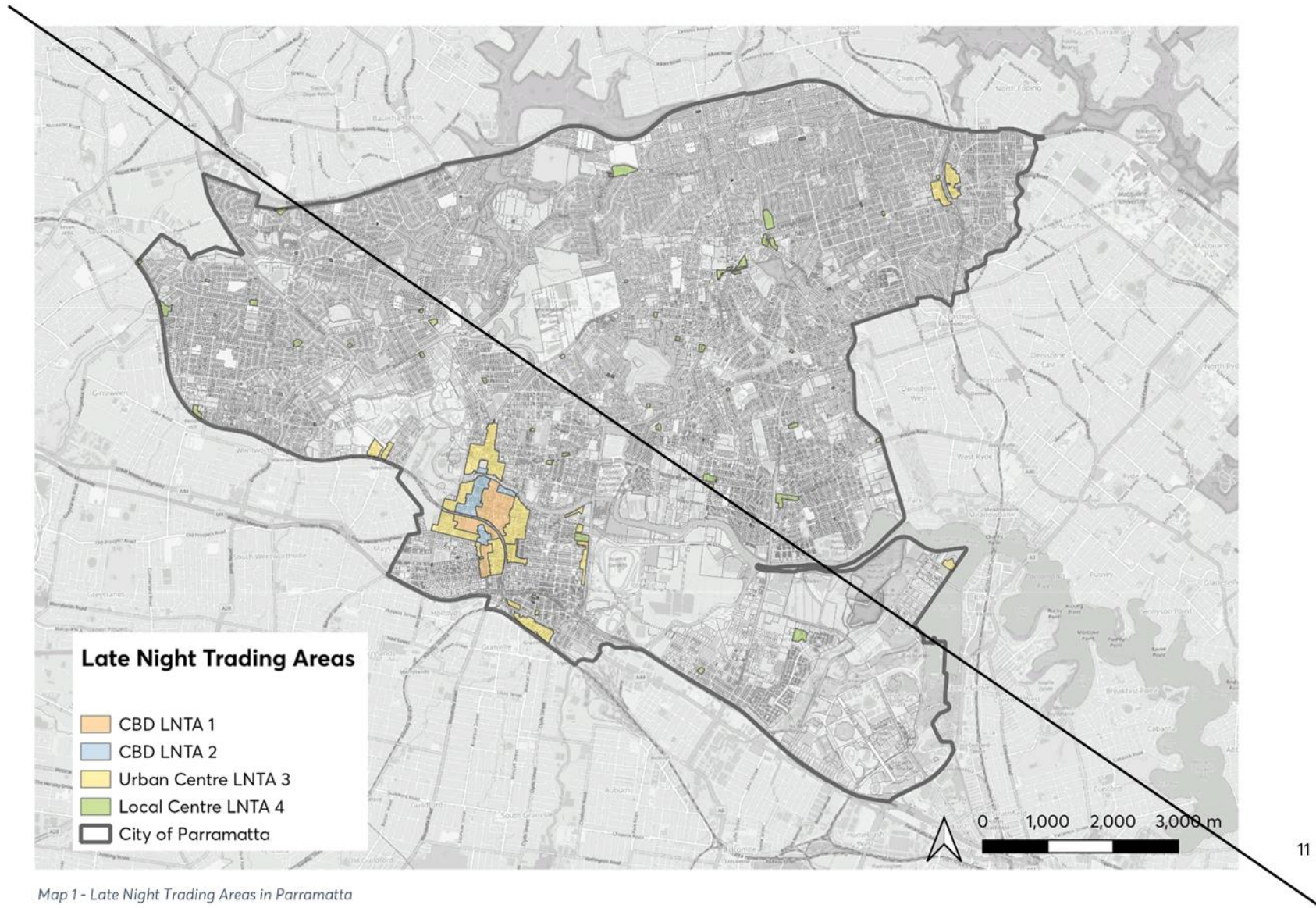
This section describes the Late Night Trading Areas (LNTAs). The LNTAs located within the City of Parramatta are identified on the late night trading area map at Figure 2.1. LNTA's include:

- City Centre CBD LNTA 1
- City Centre CBD LNTA 2
- City Urban-Centre LNTA 3
- Local Centre LNTA 4

Figure 2.1 – Late Night Trading Areas Map Figure 2.1 – Late Night Trading Areas Map



| [Figure 2.1 – Late Night Trading Areas Map](#)



Map 1 - Late Night Trading Areas in Parramatta

2.1 City Centre Late Night Trading Area 1

Zoning and connectivity

City Centre Late Night Trading Area (LNTA) 1 is located within the Parramatta City Centre and is typically zoned E2 Commercial Core. This LNTA also includes the Westfield land holdings and is planned to contain predominantly commercial activity. The area is highly accessible with frequent night and late night rail and bus services from Parramatta Station, which is within the area. Access will be further improved by the Parramatta Light Rail and Sydney Metro West.

Entertainment and Cultural Character

Building on the presence of numerous established food and beverage venues, transformational projects like Parramatta Square, Parramatta Powerhouse and the Civic Link will connect and anchor Parramatta's public and cultural life, providing opportunities to grow and diversify the night time economy in the Parramatta City Centre and attract local, regional and international visitors.

The focus on non-residential development in this LNTA allows for greater venue density and the growth of venues with later hours of operation and of varying intensity. The area can create a balanced network of venues that creates a 24-hour City, with activity in the early evening, twilight, night and late night. The growth of night time activities will cater to different demographics, and include dining, retail, small bars, pubs, live music and performances, arts, theatre and amplified music. The numerous high-quality public spaces also allow the hosting of day and evening outdoor events.

Higher venue density and diversity within a short distance can create vibrant, active private and public spaces. This increases safety through increased pedestrian activity and natural surveillance and can be supported by focused public domain and lighting initiatives. It also creates a spatial arrangement that creates the opportunities for a positive, dynamic exchange between sites and activities.

Desired Level of Vibrancy

Elevated activity levels will also increase the ambient background noise within and adjoining the precinct throughout the night. Noise management controls and approaches will need to account for this higher level of activity and be appropriate for a vibrant entertainment precinct and ensure noise abatement responsibilities are managed fairly between emitters and sensitive uses.

In addition to being able to enjoy the amenity of a vibrant and active night city, residents of new residential apartment buildings within the LNTA and adjoining areas must anticipate a range of factors associated with late night activity, with apartments built to a noise standard commensurate with the current and planned levels of night time activity.

2.2 City Centre Late Night Trading Area 2

Zoning and connectivity

City Centre Late Night Trading Area (LNTA) 2 is located in the Parramatta City Centre and is typically zoned MU1 Mixed Used. The area is planned to enable a mix of uses, including residential apartment buildings above ground and lower level commercial. The area is accessible with frequent night and late night rail and bus, and night ferry, services within a short walk. Access and street activity will be further increased by the Parramatta Light Rail and Sydney Metro West.

Entertainment and Cultural Character

This LNTA contains the important cluster of established eating and drinking venues on and around Church Street ('Eat Street') with an active and vibrant street life based around outdoor dining. It also contains the Parramatta City River Foreshore which attracts people throughout the day and night due to its high level of public amenity. The range of night time activity is expected to grow as the City River Foreshore is transformed through the ongoing delivery of key projects including River Square, Powerhouse Museum, Escarpment Boardwalk, Charles Street Square, Wharf Upgrade and Riverside Theatre Upgrade. The night time economy along Church Street is set to grow as activity increases due to the Parramatta Light Rail, increase in local population and crowds attending Western Sydney Stadium.

The area allows existing and new venues to grow and diversify to reinforce the character of the area, with hours of operation facilitating a high level of indoor and outdoor activity in the early evening, twilight and night time, with some opportunities for growth late night activities, primarily for low impact venues. In addition to reinforcing the dining culture of the area, there are opportunities for uses to diversify to include retail, small bars, live music, arts and theatre. The numerous high-quality public spaces also allow the hosting of day and evening outdoor events.

The existing high venue density and prospective growth of diverse activities within a short distance can create vibrant, active private and public spaces. This increases safety through increased pedestrian activity and natural surveillance and can be supported by focused public domain and lighting initiatives. It also creates a spatial arrangement that creates the opportunities for a positive, dynamic exchange between sites and activities.

Desired Level of Vibrancy

Elevated activity levels will also increase the ambient background noise within the precinct throughout the night. Noise management controls and approaches will need to account for this higher level of activity and be appropriate for the current and future vibrancy and ensure noise abatement responsibilities are managed fairly between emitters and sensitive uses.

In addition to being able to enjoy the amenity of a vibrant and active night city, residents of new residential apartment buildings in adjoining areas must anticipate a range of factors associated with late night activity, with new apartments built to a noise standard commensurate with the current and planned levels of night time activity.

On-premises outdoor activity levels facing the Parramatta River should be limited to suitable times to manage noise travelling across and down the river. It should however be noted

that an expectation should remain of noise emanating from people enjoying the public spaces on the river throughout the evening.

2.3 City Urban Centre Late Night Trading Area 3

Zoning and connectivity

City Centre Late Night Trading Area (LNTA) 3 is located at the outer edge of the Parramatta City Centre Core and is predominantly zoned MU1 Mixed Used but also includes additional commercial and residential zones, particularly around Harris Park. The area includes a large number of residential buildings, but still includes non-residential uses serving both the local population and the wider catchment. The area is still serviced by public transport.

~~Other centres across the LGA that have a range of zoning or are identified for future growth. The areas are all accessible and serviced by existing or planned train stations or light rail. The Urban Centres include:~~

- ~~— CBD: Fringe / peripheral / remaining B4~~
- ~~— Harris Park: B1 and part of R2 (Wigwam Street)~~
- ~~— Epping: B2 Local Centre~~
- ~~— Westmead: B4 Mixed Use~~
- ~~— Granville: B4 Mixed Use~~
- ~~— Wentworth Point: B1 and part~~

Entertainment and Cultural Character

~~These~~ This LNTA forms part of the City Centre periphery and is predominantly zoned mixed use with some additional commercial and residential zonings. The area includes a large number of residential buildings, but the area still includes non-residential uses serving both the local population and the wider catchment. ~~are mixed-use centres with residential dwellings above or adjacent to ground floor retail and commercial, serving both the local population and a wider catchment.~~

The area can offer a broad range of low impact uses night time uses including restaurants, cafés, small bars, retail uses, and specialised or neighbourhood grocery. Some centres also contain existing high impact venues.

This area has the potential to increase both the quantity and diversify of primarily low impact uses. They are suitable to accommodate high amounts of activity across a range of uses in the early evening, twilight and night time, but not suitable for any significant expansion of late night activity.

Desired Level of Vibrancy

Noise management controls and approaches will need to ensure that the appropriate level of night time activity can be accommodated with minimal impact on the surrounding residential uses.

2.3.4 Local Centre LNTA 4

Zoning and Connectivity

A range of local centres across the LGA that are zoned B1 Neighbourhood Centre and B2 Local Centre, except those identified in Urban Centre LNTA 3. Centres are not serviced by trains, with some having buses services connecting to larger centres and transport hubs.

Entertainment and Cultural Character

Retail centres surrounded by residential areas, primarily serving the local population. They can offer range of low impact uses night time uses including restaurants, cafés, small bars, retail uses, and specialised or neighbourhood grocery. The small size of centres means that generally only one or two night time uses can be accommodated.

They are suitable to accommodate reasonable amounts of activity across a range of uses in the early evening and twilight and night time, some level of low impact activity at night time, but not suitable for any late night activity.

Desired Level of Vibrancy

Noise management controls and approaches will need to ensure that the appropriate level of night time activity can be accommodated with minimal impact on the surrounding residential uses.

3 Trading Hours

This Section identifies base trading hours and requirements for extended trading hours for premises within the ~~three~~ ~~four~~ LNTAs and for premises located outside of these areas. ~~Base trading hours establish the foundational level of vibrancy and entertainment/cultural character for each late night trading area. Extended trading hours will supplement this where appropriate. Maximum allowable trading hours have been established that are considered to represent the desired late night trading character for each area.~~

~~A development application for late night trading will only be granted the maximum trading hours where an application can demonstrate the use of the premises during these hours will satisfy all provisions within this Chapter and result in acceptable impacts upon the surrounding locality.~~

Base hours contained in Section 3.1 are standard operating hours that all late night trading premises within the identified LNTAs can operate to if a development application is approved.

~~Extended hours are operating hours beyond base hours and are subject to trial periods. Extended hours are granted following a merit-based assessment of the development application, where an operator can demonstrate that the extended use of the premises has limited and/or acceptable impacts on the surrounding locality. Where extended hours are sought, all controls within this section must be satisfied, but only where Council has determined that the premises have been (or will be) well managed, including compliance with the Plan of Management and Social Impact Assessment requirements. Extended hours will be considered by Council as maximum operating hours.~~

In cases where ~~social and environmental~~ impacts cannot be effectively managed (as identified in an approved Plan of Management and Statement of Risks and Potential Effects), late night trading will be limited to base hours only. Refer to Section 5 – Premises Impact Management for further information.

~~**Note:** Trading hours approved by Council for a premises are separate to the daily 6-hour closure period required by Section 11A of the Liquor Act 2007 where the sale or service of liquor is prohibited. Unless otherwise permitted by the Independent Liquor & Gaming Authority, this period is from 4am to 10am. Any variation to this closure period must be approved by the Independent Liquor & Gaming Authority and is stipulated in the Liquor License conditions.~~

3.1 Hours of Operation

Objectives

- O.01. Ensure the trading hours are consistent with the desired character of each area.
- O.02. Minimise adverse amenity impacts on nearby residents.
- O.03. Encourage a vibrant night time economy across the Parramatta City Centre.
- O.04. Ensure that residential zones located within the interface to Late Night Trading Areas are reasonably protected.

Controls

- C1. Trading hours are to be consistent with the base and extended hours that apply to each Late Night Trading Area as outlined in 3.1.
- C2. Trading hours beyond the base hours in Table 3.1 are subject to merit assessment and trial periods as set out in Section 3.2.

Note: Where the base hours are set as 24 hours, no merit assessment or trial period is required.

Table 3.1 – Base and extended trading hours

Late Night Trading Area	Venue category & location		Base hours	Extended hours
City Centre LNTA 1	High Impact & Low Impact	Indoor	6am to 2am 24 hours 24 hours	
		Outdoor	6am to 11pm midnight*	6am to 3am 24 hours*
	Non-Licensed	Indoor	24 hours*	
		Outdoor		
City Centre LNTA 2	High Impact & Low Impact	Indoor	6am to 2am	6am to 3am 24 hours
		Outdoor	10am to 10pm	6am to midnight 24 hours*
	Non-Licensed	Indoor	24 hours*	
		Outdoor		
Urban City Centre LNTA 3	High Impact & Low Impact	Indoor	6am to midnight	6am to 2am 24 hours
		Outdoor	10am to 10pm*	6am-10pm to midnight*
	Non-Licensed	Indoor	24 hours*	
		Outdoor		
Local Centre LNTA 4	High Impact & Low Impact	Indoor	10am to 10pm	10am to midnight
		Outdoor	7am to 8pm	7am to 10pm
	Non-Licensed	Indoor	7am to midnight	
		Outdoor		
Outside of Late Night Trading Areas or otherwise described in Part 1.1 above.	Indoor	Merit assessed		
	Outdoor			

* Outdoor areas with a direct frontage to the Parramatta River foreshore will have maximum trading hours until 10pm. Council may consider varying this subject to merit assessment and trial period. Note: Alignment of outdoor and indoor hours can be achieved subject to a trial period.

3.2 Extended Trading Hours and Trial Periods

Approvals for extended trading hours are subject to trial periods. Trial periods are required to enable Council to assess the ongoing management performance of a premise, and its impacts on neighbourhood amenity and safety.

To ensure minimal adverse impacts on neighbourhood amenity and safety, applicants are required to prepare and adhere to a Plan of Management that includes verifiable data/actions regarding operational and contextual aspects of the premises. Should an operator successfully demonstrate good venue management in accordance with an approved Plan of Management and other conditions of consent, extended trading hours may be formalised following the completion of the required trial periods.

Refer to Section 5 – Premises Impact Management for further information.

Objectives

- O.01. Enable Council to monitor and assess the management performance of a premises and its impact on neighbourhood amenity and safety.
- O.02. Provide venue operators the opportunity to demonstrate through compliance with an approved Plan of Management that ~~proposed~~ extended hours will not have an unreasonable impact on surrounding land uses.
- O.03. Consider community to provide feedback on the ~~proposed~~ extended trading hours.

Controls

- C1. Any extended hours beyond base hours will ~~be approved as a reviewable condition and~~ be subject to the following trial periods:
- a) an initial 2 year trial period; and
 - b) a further 5 year trial period (if the first trial period is successful as determined by Council).

Trial periods may be cancelled in the event of poor venue management during the trial period.

Council, at its sole discretion, can make the extended hours permanent if both the first and second trial periods are successful.

Note: The initial trial periods commence ~~from~~ at the date of issue of an occupation certificate. The second trial period will commence at the date of determination of the modified consent to extend the trial period.

- ~~C1.C2.~~ At the completion of ~~each~~ trial period an application to modify the development consent must be lodged to ~~amend the trial period~~ formalise extended trading hours condition. The assessment of the modification application will consider:

- a) assessment of inspections by Councils officers during trial periods;
- b) consideration of Police Incident Register reports;
- c) consideration of formal customer complaints to Council and or Liquor & Gaming NSW investigated and upheld; and
- d) assessment of venue compliance with the approved Plan of Management and other conditions of consent.

C3. Venue operators are required to demonstrate compliance with the approved Plan of Management and any other conditions of consent or relevant legislation. Operators must maintain a level of amenity and safety in the vicinity of the premises which is at an acceptable community standard.

C4. Where a second trial period or permanent extended hours apply, venue operators must review their Plan of Management and make necessary revisions to address concerns raised by Council, NSW Police, Liquor and Gaming NSW, and the community prior to approval by Council.

~~C2. Trial periods may be extended or cancelled in the event of poor venue management during the trial period. The maximum each trial period can be extended for is 12 months for Low Impact and for High Impact premises.~~

~~C3. Extended trading may be permitted at the initial application stage, but only where the Council has determined that the premises have been or will be well managed, including compliance with an approved Plan of Management and sound and noise controls.~~

3.3 Late Night Trading Proposals outside of the identified LNTAs

Out of Area Proposals

~~This Section is used to clarify that late night trading proposals outside of the identified Late Night Trading Areas are still permissible and subject to the provisions outlined within this Section (3.3) of this DCP.~~

~~The controls in this Section apply to late night trading applications for High Impact, Low Impact or Non-Licensed proposals located outside the mapped Late Night Trading Areas in Figure 2.1~~

Objectives

- ~~O.01. To ensure that proposals for late night trading uses that are located outside of the Late Night Trading Areas are merit assessed and considered acceptable.~~
- ~~O.02. To ensure that relevant matters are considered when determining what operating hours and trial periods are considered to be acceptable.~~
- ~~O.03. To ensure that a framework for assessing late night trading applications outside of Late Night Trading Areas is established.~~

Controls

- C1. ~~Proposals for any that include any High Impact, or Low Impact, or Non Licensed premises proposing operating hours between 10pm and 6am that are located outside of the LNTAs shown at Figure 2.1 will be merit assessed. Matters for consideration in this merit assessment include:~~
- ~~• Location and context.~~
 - ~~• Appropriate management to ensure minimal impacts to neighbouring properties and the surrounding locality from sound, vibration & light spill.~~
 - ~~• Size and patron capacity.~~
 - ~~• Plan of Management requirements in Appendix 1 Section 5.1~~
 - ~~• Safety, security and crime prevention measures.~~
 - ~~• Accessibility and frequency of public transport, courtesy buses and the like.~~
 - ~~— Social impact of the proposal assessed in accordance with Council's Social Impact Assessment Guidelines 2013.~~
 - ~~— Any other relevant legislation or requirements including any other relevant Parts of Parramatta DCP 2023.~~
 - ~~— Noise Policy for industry 2017~~
- ~~— For existing approved premises, operating terms and consent conditions of a current approval an existing development consent prevail and will continue to apply.~~
- C2. ~~Trial periods may be applied to any High Impact, Low Impact, or Non Licensed premises as considered appropriate in the context of the proposal and its location.~~

4 Acoustic Controls

These provisions define [the internal and external](#) noise criteria for the regulation of Entertainment Noise within the Paramatta City Centre and immediate surrounds.

Entertainment noise refers to music or patron noise emanating from activities associated with the Night Time Economy.

For areas not in the Paramatta City Centre and immediate surrounds, Liquor and Gaming noise criteria [and/or Noise Policy for Industry](#) applies.

These provisions balance the management and mitigation of noise between emitters and receivers and identify noise sensitive receivers and corresponding internal noise criteria. The acceptable internal noise levels may vary due to a number of factors, including but not limited to different types of receivers, LNTAs, time of day, day of the week. Establishing appropriate internal noise criteria requires consideration of not only the numerical values of acoustic standards, but also the parameters by which these values are measured.

These provisions also define external acoustic environments, or Noise Categories (NC). The external noise environment can impact the viability of noise generating development, the level of vibrancy on the street and the feasibility of a receiver development. Similar to the internal acoustic environment, the external acoustic environment can also vary by area, time of day, and day of the week. Establishing appropriate external criteria requires considerations of both numerical values and also the acoustic parameters by which the values are measured.

The external acoustic environments have also been informed by the desired character and levels of vibrancy within the Parramatta City Centre and immediate surrounds. The Emitter Premises Categories in Section 1.2 do not necessarily correlate with the potential acoustic impact of a premise. The NCs consider that entertainment sound is a desirable aspect of the city soundscape within areas with activity, compared with industrial or mechanical sound.

[This Section applies to noise arising from Entertainment Noise as defined in the Glossary of Terms as noise emanating from activities associated with the Night Time Economy, including music and/or patron noise.](#)

[Regulation of noise sources from mechanical services or road and rail traffic are regulated by other criteria.](#)

4.1 Noise sources to be regulated

Objectives

- O.01. Identify the types of noise sources that will be regulated by the Controls outlined in this Section ~~and~~ where and when the regulations apply.

Controls

C1. Noise arising from Entertainment Noise as defined in the Glossary of Terms as noise emanating from activities associated with the Night Time Economy, including music and/or patron noise, will be regulated as follows:

- a. For the Parramatta City Centre and the immediate surrounds as shown in Figure 4.2 Entertainment Noise is regulated by the controls and objectives in Section 4 of this DCP.

~~The Noise Categories (NCs) will apply to all uses emitting Entertainment Noise, defined in Glossary of Terms as music or patron noise emanating from activities associated with the Night Time Economy.~~

~~C1. For areas not covered by this Chapter, Liquor & Gaming NSW criteria will be maintained.~~

C2. Noise arising from other sources is regulated as follows:

- a) Noise arising from mechanical services will be regulated by the NSW Noise Policy For Industry.
- b) Noise arising from road and rail traffic noise impacts on residential, educational, child care and places of worship near rail lines and roads with an Annual Average Daily Traffic (ADDT) greater than 20,000 will be regulated by the SEPP (Transport and Infrastructure) 2007.

~~C1. The Controls in this Chapter apply to all new applications, both for new uses and significant modifications to existing premises.~~

4.2 Noise Categories and levels within LNTAs

This section describes the External Noise Category (NC) Cumulative Levels that apply in the Parramatta City Centre and immediate surrounds as shown in Figure 4.2. The Noise Categories have been established based on:

- Existing Entertainment Noise levels in benchmark areas;
- Historical measurement data across Sydney, including Parramatta; and
- An analysis of noise ingress through typical window façade construction for different receiver types.

Objectives

- O.01. Provide criteria that considers cumulative impacts of activity in the public realm.
- O.02. Provide an appropriate framework for the assessment of entertainment noise levels in the Parramatta City Centre and immediate surrounds to provide ~~To provide~~ certainty for emitters and receivers.

O.03. Protect the amenity of existing and potential future sensitive receivers.

Controls

- C1. Entertainment Noise should not exceed the External Noise Category Cumulative Levels in Table 4.2 for the respective Noise Categories as shown in Figure 4.2.
- C2. External Noise Category Cumulative Levels apply:
 - a) on all days.
 - b) to the frontage or boundary of lots.
 - c) to all floors to the maximum LEP building heights.
- C3. A 5 db reduction from external cumulative noise levels will be applied to determine the permitted noise contribution for an individual noise generating development.

Table 4.2. – External Noise Category (NC) Cumulative Levels, $L_{eq}(15\text{minute})$

Noise Category	Period ¹		Overall, dBA	Octave band, dB		
				31.5 Hz	63 Hz	125 Hz
NC-A	1 - Day/Evening	7am – 10pm	71 70	73	73	68
	2 - Night	10pm – Midnight	71 70	73	73	68
	3 - Late night	Midnight – 7am	66 65	68 63	68 63	63 61
NC-B	1 - Day/Evening	7am – 10pm	64 65	65	65	61
	2 - Night	10pm – Midnight	60 59	60	60	56
	3 - Late night	Midnight – 7am	59 55	55 60	55 60	56 53
NC-C	1 - Day/Evening	7am – 10pm	58	60	60 59	58
	2 - Night	10pm – Midnight	53	54 55	55 53	53 52
	3 - Late Night	Midnight – 7am	48 53	50 54	53 50	52 48
NC-D	1 - Day/Evening	7am – 10pm	55	57	57	55
	2 - Night	10pm – Midnight	50	52	52	50
	3 - Late Night	Midnight – 7am	45	47	47	45

Notes:

1. Time periods are defined in the Glossary of Terms. Time periods apply on all days.
2. Noise levels are 'free field', i.e. not façade corrected.

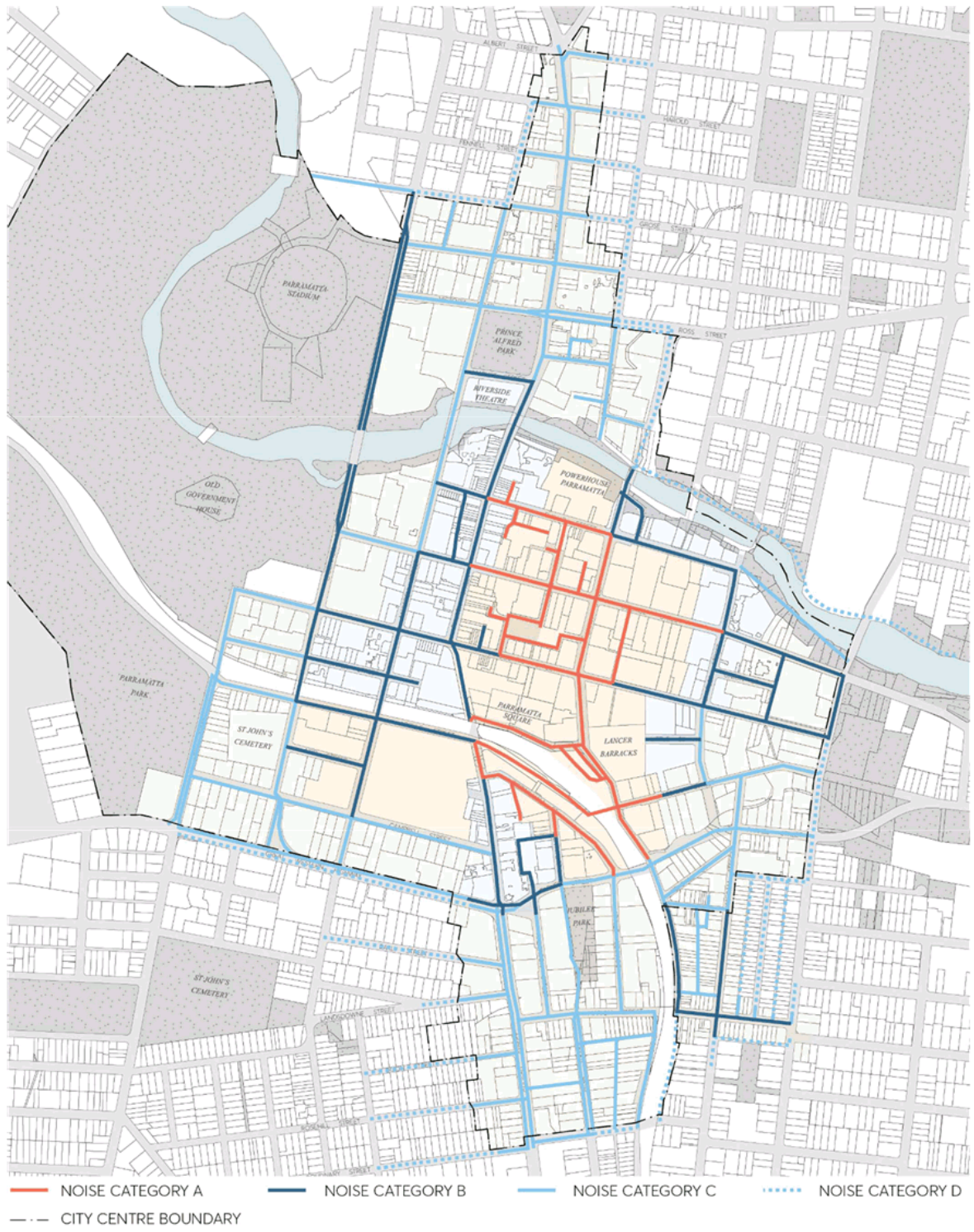
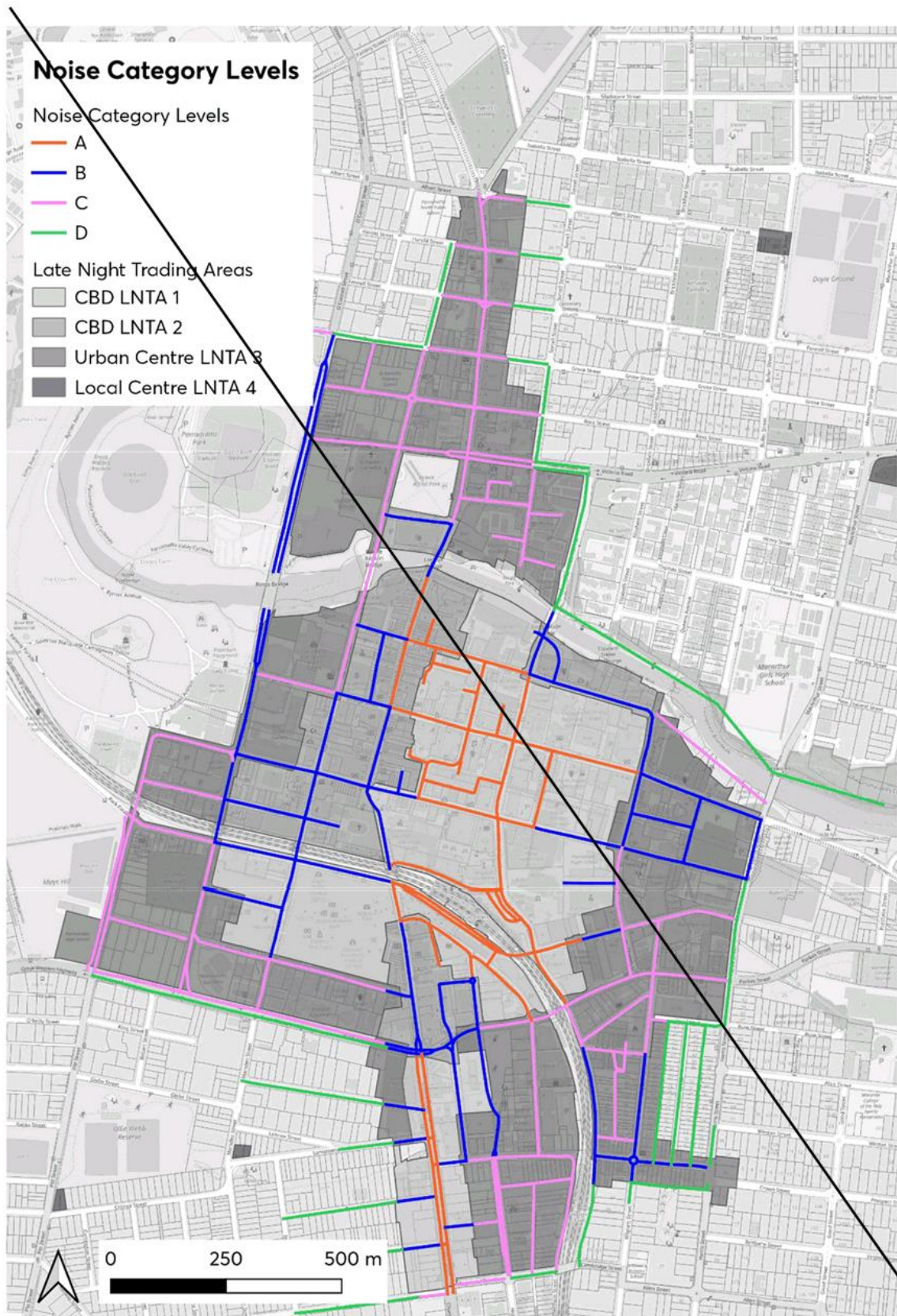


Figure 4.2 – Noise Category Levels in the City Centre and immediate surrounds



Map 2 - Noise Category Levels in the City Centre

4.3 Acoustic requirements for new receiver developments within LNTAS

This Section describes the internal noise criteria to be achieved through Receiver building envelope noise attenuation within the Parramatta City Centre and immediate surrounds as shown in Figure 4.2.

Receivers are defined in the Glossary of Terms as receiving uses such as residential accommodation (excluding hostels), educational facilities including early childhood and child care facilities (CCF), places of public worship, health services facilities, tourist and visitor accommodation (including hostels), and commercial premises (excluding retail premises, but including offices as part of industrial premises).

Objectives

- O.01. Establish appropriate internal noise criteria that balances the desired levels of vibrancy and a reasonable and commensurate level of amenity for sensitive uses.

Controls

- C1. A Noise Impact Assessment prepared by suitably qualified acoustic consultant may be required when submitting a development application for new Receiver development where Noise Category A to C (NC) is defined in Figure 4.2 – Noise Category Levels in the City Centre and immediate surrounds.
- C2. The Noise Impact Assessment is to:
- Outline the required noise attenuation measures to achieve the Receiver Internal Noise Criteria, specified in Table 4.3 – Mandatory Receiver Internal Entertainment Noise Criteria $Leq_{(15\text{minute})}$
 - 4.3.
 - Be based on the relevant NC level occurring at all levels of the development.
 - Include consideration of Entertainment Noise from existing venues prior to commencement of this DCP.
- C3. For building facades not facing a defined NC road, such as rear or side facades of a building, a 5dB reduction in Noise Category Cumulative Noise Level shall be applied to account for shielding and reduced exposure to Entertainment Noise.
- ~~C4. The Noise Impact Assessment must include consideration of Entertainment Noise from existing venues prior to commencement of this DCP.~~
- C4. Where the New Receiver development is to adjoin an existing venue, the Noise Impact Assessment must quantify emissions from the venue for the purpose of assessment and include consideration of vibration and structure-borne noise.
- C5. Where noise attenuation measures impact the provision of passive natural ventilation, alternative ventilation complying with the National Construction Code must be provided.

C6. Noise impact from other sources, such as road and rail must be assessed separately in accordance with relevant Standards and policies.

C7. Noise emission from building services or other sources typically assessed in accordance with the NSW Noise Policy for Industry (NPfI) must comply with the amenity requirements only. No correction to amenity levels is to be applied for high traffic noise environments.

C6.C8. For mixed-used development, where some levels may include future venues, the Noise Impact Assessment must identify noise mitigation provisions to enable compliance with the Acoustic requirements for emitters set out in Table 4.3 – Mandatory Receiver Internal Entertainment Noise Criteria $L_{eq(15\text{minute})}$

C7.C9. 4.3.

Table 4.3 – Mandatory Receiver Internal Entertainment Noise Criteria $L_{eq(15\text{minute})}$

Receiver ¹	Period ²	Broadband, dBA	Octave band centre frequency criteria, dB		
			31.5Hz	63Hz	125Hz
Residential accommodation (excluding hostels)	1 - Day / Evening (habitable rooms ² excluding bedrooms)	40	69	52	46
	2 - Night & 3 - Late Night (habitable rooms ² excluding bedrooms)	35	69	52	46
	1 - Day / Evening (bedrooms)	35	69	52	46
	2 - Night & 3 - Late Night (bedrooms)	30	64	47	41
Educational facilities including early childhood and child care facilities (CCF)	When in use ³	35	69	52	46
Place of Public Worship	When in use ³	35	69	52	46
Health Services Facility	1 - Day / Evening	35	69	52	46
	2 - Night & 3 - Late Night (wards only)	30	64	47	41

Notes:

1. Internal criteria apply to entertainment sound only.

2. *Habitable room is defined as a room used for normal domestic activities, and—*
 - a. *includes a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room, home theatre and sunroom; but*
 - b. *excludes a bathroom, laundry, water closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes-drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods.*
3. *Time of use for receiver development to be based on development application of new development. Time periods defined in Glossary of Terms*

4.4 Acoustic Requirements for new ~~NTE Venues~~Emitters within LNTAs

This Section describes the internal noise criteria to be achieved within Emitter building envelope noise attenuation within the Parramatta City Centre and immediate surrounds, as shown in Figure 4.2.

Emitters are defined in the Glossary of Terms as a premise that generates Entertainment Noise.

Objective

- O.01. Ensure that new emitters do not unreasonably diminish the amenity of nearby sensitive uses from noise intrusion.

Controls

- C1. A Noise Impact Assessment prepared by suitably qualified acoustic consultant is required when submitting a development application for new ~~or modified NTE Venue~~emitter uses.
- C2. The Plan of Management will be used both in the development assessment process and as a means to identify the way in which the premises will operate in compliance to conditions of consent. The Plan of Management will be incorporated as a condition of development consent.
- C3. The Plan of Management should detail all noise management measures to ensure that the development can achieve the Venue Noise Criteria.
- C4. Entertainment Noise from all ~~NTE Venues~~emitters must not exceed the Venue Noise Criteria, equivalent to the Noise Category Cumulative Levels specified in ~~Table 4.2~~Table 2 minus 5 dB by reference to ~~Map 2 – Noise Category Levels in the City Centre~~ Figure 4.2– Noise Category Levels in the City Centre and immediate surrounds, at any surrounding premise lot boundary, 1.5 metres above the floor level of all floors up to the maximum allowable building height, as defined in the LEP.
- C5. Entertainment Noise from ~~NTE Venues~~emitters with an adjoining Receiver, that may be affected by noise transfer via the common partition must not exceed the Receiver Internal Noise Criteria specified in ~~Table 34.3 minus 5dB~~ as well as Table 4.4 minus 5dB at the most-potentially affected location (no less than 1 metre) from the common partition.

Table 4.4 – Internal Entertainment Noise Criteria for new emitter adjoining an existing premises

Receiver	Period ¹	Broadband, dBA	Octave band centre frequency, dB		
			31.5Hz	63Hz	125Hz
Tourist and visitor accommodation (including hostels)	1 - Day / Evening & 2 - Night (bedrooms)	40	69	52	46
	3 - Late Night (bedrooms)	35	69	52	46
Commercial premises (excluding retail premises, but including offices as part of industrial premises)	8am – 6pm, Monday to Friday	40	69	52	46

Notes:

1. Time of use for receiver development to be based on development application of new development. Time periods defined in Section the Glossary of Terms.
2. Internal criteria apply to entertainment sound only.
3. For commercial premises and hotels, the internal entertainment noise criteria is a guideline. The commercial nature of these premises should grant the operators control over the internal acoustic environment of these premises.

Further Information

[Building Code of Australia](#)

[Noise Policy for Industry 2017, NSW Environmental Protection Authority](#)

[Environmental Criteria for Road Traffic Noise, Environmental Protection Authority NSW, 1999](#)

[Development near Rail Corridors and Busy Roads - Interim Guideline, NSW Department of Planning 2008](#)
[Reducing Traffic Noise: a Guide for Home Owners, Designers and Builders, Roads and Maritime Services, 1991](#)

[Interim Guidelines for Councils: Consideration of Rail Noise and Vibration in the Planning Process, Rail Infrastructure Corporation \(RIC\) and State Rail Authority \(SRA\), 2003](#)

[Managing Sound and Noise in Night-Time Venues, Night Time Industries Association, 2023](#)

[Navigating the Planning and Licensing Landscape, Night Time Industries Association, 2023](#)

[Promoting Safety and Wellbeing at Night, Night Time Industries Association, 2023](#)

Relevant Australian Standards, including:

- [AS 3671 Road Traffic Noise Intrusion](#)
- [AS 1055 Parts 1, 2 and 3 – 1997 Acoustics – Description and Measurement of Environmental Noise](#)

- [AS 2107 - 1987 Acoustics - Recommended design sound levels and reverberation times for building interiors](#)

[RIC and SRA Interim Guidelines for Applicants: Consideration of Rail Noise and Vibration in the Planning Process RIC website - \[www.ric.nsw.gov.au\]\(http://www.ric.nsw.gov.au\)](#)

[State Environmental Planning Policy \(Transport and Infrastructure\) 2021](#)

5 Premises Impact Management

The Plan of Management will be used both in the development assessment process and as a means to identify the way in which the premises will operate in compliance to conditions of consent. The Plan of Management will be incorporated as a condition of development consent.

Objectives

- O.01. [Ensure](#) that the potential impacts from the operation of the premises are considered and addressed during the assessment of an application;
- O.02. [Enable](#) Council to review Plans of Management to ensure that management practices are being appropriately applied to late night trading premises.
- O.02.O.03. [Provide certainty for both the consent authority, operators and the local community about the ongoing management practices to be employed by the proposed use to manage its impact upon the neighbourhood.](#)

Controls

- C1. A Plan of Management must be completed in accordance with the guidelines in Section 5.1 and is required to accompany an application for the following applications:
- new High Impact or Low Impact premises;
 - existing High Impact or Low Impact premises that seek a formalisation of existing approved trading hours;
 - existing High Impact Premises that seek extensions, additions or refurbishment which will lead to an intensification of that use;
 - existing Low Impact Premises that seek extensions, additions or refurbishment which will result in the premises becoming a High Impact premises;
 - applications for outdoor trading or amplified sound on the same lot as a High Impact or Low Impact premises.
- C2. An assessment of the social impacts of the proposal should be included:
- where a [Statement of Risks and Potential Effects](#) [Community Impact Statement](#) is required as under the Liquor Act 2007, this should be submitted with the Development Application.
- C3. The Plan of Management will be used both in the development assessment process and as a means to identify the way in which the premises will operate in compliance to conditions of consent. The Plan of Management will be incorporated as a condition of development consent.

- C4. The Plan of Management should detail all noise management measures to ensure that the development can achieve the Venue Noise Criteria.

5.1 Plan of Management requirements

A Plan of Management should be in the form of a separate attachment with an application and should be accompanied by a signed declaration from the licensee/manager that they have read and understood the Plan of Management. [A template Plan of Management will be included on Council's website alongside other FAQ documents.](#)

5.1.1 High Impact Premises

At a minimum, a Plan of Management for a High Impact premises should include

- a) Details of the use of the site**
- Primary use of the premises
 - Any secondary/ancillary uses (e.g. retail liquors sales, public entertainment, outside trading areas, gaming areas etc).
 - Details of the maximum capacity of the premises.
 - For licensed premises, maximum number of patrons that will be standing and/or sitting at any one time.
- b) A set of plans of the premises, showing:**
- proposed layout of all areas of the premises, such as internal queuing areas, seating, dining, gaming, dance floors, entertainment, lounge, etc;
 - the proximity of external doors, windows and other openings to residential and other sensitive land uses
 - Identification of any 'active areas' adjacent to the boundaries of the site used in association with the use of premises (e.g. Outdoor seating, footway dining, queuing areas, parking etc);
 - The location of waste storage areas;
 - Location of air conditioning, exhaust fan systems and security alarms
 - Identification of the most commonly used pedestrian routes to and from the premises, including any safety corridors;
 - If applicable, details of the capacity of the space to host performance, creative or cultural uses including the location and dimensions the space, stage audience (standing or seating area)
- c) Operational details of the premises, including**
- An overview of the organisation, providing details about the company/licensee/proprietor that includes information regarding:
 - the number and type of staff (including security);
 - other similar premises within the company's portfolio (if relevant);

- any Liquor Licenses for the premises;
- a description of any actions that the proprietor/licensee has taken to co-operate with NSW Police, the local community and incorporated resident groups regarding the management of the premises;
- existing or planned membership of a Licensing Accord within the City of Parramatta

d) Hours of Operation

- A schedule of the proposed operating hours for each day of the week including:
 - All areas of the premises (eg. courtyards, rooftop, balcony, footway, gaming room etc.). If the nature of an area changes (for example, a dining area becomes a dance floor after the kitchen closes), then this should be noted and operational hours for the different uses detailed.
 - For existing premises seeking renewal or extension of trading hours, a schedule of current daily hours for all areas of the premises.
 - If applicable, a schedule of proposed entertainment hours for each day of the week.

e) Noise mitigation and management, including

- The identification of all likely noise and vibration sources associated with the operation of the premises.
 - Live entertainment and amplified sound;
 - external (outside) areas such as courtyards,
 - rooftops, balconies etc;
 - patrons leaving and entering the premises;
 - the operation of mechanical plant and equipment;
 - waste disposal, sorting and collection of bottles etc
 - in stand-alone gyms in buildings with residential accommodation, background music, air conditioning and the use of exercise machines and free weights.
- Details of all on-site and off-site noise and vibration attenuation measures related to the use and operation of the premises.
- A statement outlining the premises' compliance with all relevant noise and vibration standards, guidelines and legislation (e.g. Australian Standards, Protection of the Environment (Operations Act) 1997, EPA Industrial Noise Guidelines, etc.);
- Details of how management will address complaints relating to noise, and any noise control strategies that will be implemented to minimise the potential for complaints (eg. Liaison with neighbours and local police, maintaining a complaint register etc);
- Details of any measures that will be taken to minimise noise from outdoor areas such as rooftops, courtyards, balconies or designated smoking areas etc; and
- Details of any noise limiting devices to be installed.

f) Premises management measures

- Details of all measures that will be taken to ensure that amenity impacts that may result from the operation of the premises are minimised.
- A waste management plan that outlines the procedures for minimising and managing waste that is generated by the premises. This should address such matters as disposal of bottles, how and when waste will be removed, details of waste management facilities, waste collection and storage areas etc.

- Details of methods that will increase patron awareness of public transport availability (eg. signage, availability of timetables) as well as a description of any other measures that will assist patrons in using public transport (eg. provision of a shuttle service, taxi assistance etc.).
- Details of methods and provisions that will increase patron awareness of responsible disposal of cigarette butts.

g) Security and safety

- A description of any arrangements that will be made for the provision of security staff. This is to include (but is not limited to) the following:
 - any recommendations from Local Licensing Police regarding appropriate security provision and a statement outlining the extent of compliance with police recommendations;
 - the number of security personnel that will be patrolling inside and outside the premises including the frequency of security patrols
 - Identification of the physical extent of any patrolled areas outside the premises;
 - Hours that security personnel will be on duty (including the period after closing time);
 - Staff security training, weapons detection, and other security response methods.
 - Details of CCTV surveillance camera installation that identifies both indoor and outdoor areas monitored by cameras, and camera technical specifications (e.g. recording capacity, frames per second etc.)
- Details of signage that is to be erected providing advice to patrons to maintain quiet and order when leaving and entering the premises;
- Detail any liaisons or outcomes of any meeting with local NSW police;
- Details of any complaints associated with the operation of the premises must be recorded in a Complaints Register which includes:
 - Complaint date and time;
 - Name, contact and address details of person(s) making the complaint;
 - Nature of complaint;
 - Name of staff on duty;
 - Action taken by premises to resolve the complaint;
 - Follow-up; and
 - Outcome.
- Measures that will be taken by security personnel to ensure that the behaviour of staff and patrons when entering or leaving the premises will minimise disturbance to the neighbourhood, such as details of signage that is to be erected providing advice to patrons to maintain quiet and order when leaving and entering the premises
- Any provisions that will be made to increase security in times where higher than average patronage is expected (e.g. during live entertainment, peak periods on weekends, New Year's Eve, following large sporting events in the locality, during special events and functions, etc.);
- Liaison that will be undertaken with other licensees or operators of late trading premises and/or the Local Liquor Accord in the locality/area to improve security at night;
- measures to prevent glass being carried from the premises by patrons;

- measures to ensure safe capacities (e.g. electronic counting of patrons, occupancy limits, signage); and
- actions to be taken during 'wind down' periods prior to closing time.
- If queuing outside the premises is to occur:
 - a description of any measures that will be taken to ensure that queuing is controlled in a manner that will ensure that queuing is controlled in a manner that will neighbourhood and that the footpath will not be unreasonably impeded.
 - description of how and how often security guards will monitor queues (e.g. security guards will monitor queues every 10 minutes to identify inappropriate behaviour before patrons enter); the use of temporary ropes and bollards; maximum queue numbers; actions taken to minimise loitering; and actions ensuring the fast and efficient movement of a queue;

OPTIONAL: For applications in conjunction with an application for a new liquor licence

- Methods employed to implement harm minimisation and the responsible service of alcohol (RSA) requirements such as:
 - employee training and awareness regarding RSA and harm minimisation;
 - approaches that will be used to manage intoxicated and/or disorderly persons;
 - promotion of non-alcoholic beverages and provision of free water;
 - display of the premises' house policy;
 - assisting patrons in accessing safe transportation from the premises (e.g. arranging taxis, public transport timetable information);
 - encouraging responsible drinking;
 - number of RSA marshals employed for each shift and details on how they will monitor RSA; and
 - actions taken to discourage drug use and to manage drug related incidents.
- Details of emergency and evacuation procedures in accordance with the relevant Australian Standard and provide details of staff training in those procedures.

OPTIONAL: Performance, creative or cultural programming

- A description of the music, visual, performance, creative and cultural events that may be staged at the premises;
- Description of the equipment required to present the performance, creative or cultural use;
- Arrangements for booking and promoting performance, creative and cultural uses;
- Procedures for notifying neighbours about the nights when operating hours are extended to provide for performance, creative and cultural uses (such as major events).

5.1.2 Low Impact Premises

At a minimum, a Plan of Management for a Low Impact premises should include

a) Details of the use of the site

- Primary use of the premises
- Any secondary/ancillary uses (e.g. retail liquors sales, public entertainment, outside trading areas, gaming areas etc).
- Details of the maximum capacity of the premises.
- For licensed premises, maximum number of patrons that will be standing and/or sitting at any one time.

b) A set of plans of the premises, showing:

- proposed layout of all areas of the premises, such as internal queuing areas, seating, dining, gaming, dance floors, entertainment, lounge, etc;
- the proximity of external doors, windows and other openings to residential and other sensitive land uses
- Identification of any 'active areas' adjacent to the boundaries of the site used in association with the use of premises (e.g. Outdoor seating, footway dining, queuing areas, parking etc);
- The location of waste storage areas;
- Location of air conditioning, exhaust fan systems and security alarms
- If applicable, details of the capacity of the space to host performance, creative or cultural uses including the location and dimensions the space, stage audience (standing or seating area)

c) Operational details of the premises, including

- An overview of the organisation, providing details about the company/licensee/proprietor that includes information regarding:
 - the number and type of staff (including security);
 - other similar premises within the company's portfolio (if relevant);
 - any Liquor Licenses for the premises;
 - existing or planned membership of a Licensing Accord within the City of Parramatta

d) Hours of Operation

- A schedule of the proposed operating hours for each day of the week including:
 - All areas of the premises (e.g. courtyards, rooftop, balcony, footway, gaming room etc.). If the nature of an area changes (for example, a dining area becomes a dance floor after the kitchen closes), then this should be noted and operational hours for the different uses detailed.
 - For existing premises seeking renewal or extension of trading hours, a schedule of current daily hours for all areas of the premises.
 - If applicable, a schedule of proposed entertainment hours for each day of the week.

e) Noise mitigation and management, including

- The identification of all likely noise and vibration sources associated with the operation of the premises.

- Live entertainment and amplified sound;
- external (outside) areas such as courtyards,
- rooftops, balconies etc;
- patrons leaving and entering the premises;
- the operation of mechanical plant and equipment;
- waste disposal, sorting and collection of bottles etc
- in stand-alone gyms in buildings with residential accommodation, background music, air conditioning and the use of exercise machines and free weights.
- Details of all on-site and off-site noise and vibration attenuation measures related to the use and operation of the premises.
- A statement outlining the premises' compliance with all relevant noise and vibration standards, guidelines and legislation (e.g. Australian Standards, Protection of the Environment (Operations Act) 1997, EPA Industrial Noise Guidelines, etc.);
- Details of how management will address complaints relating to noise, and any noise control strategies that will be implemented to minimise the potential for complaints (eg. Liaison with neighbours and local police, maintaining a complaint register etc);
- Details of any measures that will be taken to minimise noise from outdoor areas such as rooftops, courtyards, balconies or designated smoking areas etc; and
- Details of any noise limiting devices to be installed.

f) Premises management measures

- Details of all measures that will be taken to ensure that amenity impacts that may result from the operation of the premises are minimised.
- A waste management plan that outlines the procedures for minimising and managing waste that is generated by the premises. This should address such matters as disposal of bottles, how and when waste will be removed, details of waste management facilities, waste collection and storage areas etc.

g) Security and safety

- A description of any arrangements that will be made for the provision of security staff. This is to include (but is not limited to) the following:
 - the number, hours and physical extent of security personnel that will be patrolling inside and outside the premises.
 - Details of CCTV surveillance camera installation that identifies both indoor and outdoor areas monitored by cameras, and camera technical specifications (e.g. recording capacity, frames per second etc.)
- Details of any complaints associated with the operation of the premises must be recorded in a Complaints Register which includes:
 - Complaint date and time;
 - Name, contact and address details of person(s) making the complaint;
 - Nature of complaint;
 - Name of staff on duty;
 - Action taken by premises to resolve the complaint;
 - Follow-up; and
 - Outcome.

- Measures that will be taken by security personnel to ensure that the behaviour of staff and patrons when entering or leaving the premises will minimise disturbance to the neighbourhood, such as details of signage that is to be erected providing advice to patrons to maintain quiet and order when leaving and entering the premises
- Liaison that will be undertaken with other licensees or operators of late trading premises and/or the Local Liquor Accord in the locality/area to improve security at night;
- actions to be taken during 'wind down' periods prior to closing time.
- If queuing outside the premises is to occur:
- a description of any measures that will be taken to ensure that queuing is controlled in a manner that will ensure that queuing is controlled in a manner that will not be unreasonable to the neighbourhood and that the footpath will not be unreasonably impeded.

OPTIONAL: For applications in conjunction with an application for a new liquor licence

- Methods employed to implement harm minimisation and the responsible service of alcohol (RSA) requirements such as:
 - employee training and awareness regarding RSA and harm minimisation;
 - approaches that will be used to manage intoxicated and/or disorderly persons;
 - promotion of non-alcoholic beverages and provision of free water;
 - display of the premises' house policy;
 - assisting patrons in accessing safe transportation from the premises (e.g. arranging taxis, public transport timetable information);
 - encouraging responsible drinking;
 - number of RSA marshals employed for each shift and details on how they will monitor RSA; and
 - actions taken to discourage drug use and to manage drug related incidents.
- Details of emergency and evacuation procedures in accordance with the relevant Australian Standard and provide details of staff training in those procedures.

OPTIONAL: Performance, creative or cultural programming

- A description of the music, visual, performance, creative and cultural events that may be staged at the premises;
- Description of the equipment required to present the performance, creative or cultural use;
- Arrangements for booking and promoting performance, creative and cultural uses;

Procedures for notifying neighbours about the nights when operating hours are extended to provide for performance, creative and cultural uses (such as major events).

6 Glossary of Terms

Base hours are the standard range of trading hours that a late night trading premises is entitled to if an application is approved.

Emitter refers to a premise that generates Entertainment Noise.

Entertainment noise refers to music or patron noise emanating from activities associated with the Night Time Economy including music and/or patrons.

Existing use is a venue or premises that has an activated development consent for a specific location.

Extended hours mean trading hours that may be approved above base hours on a trial basis and are considered maximum hours.

Habitable room is a room that is intended for occupation and normal domestic activities, such as:

- A bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room, home theatre and sunroom;
- Excludes any other space not specified above of a specialised nature not occupied frequently or for extended periods including a bathroom/water closet, balconies, laundry, pantry, walk-in wardrobe, corridor, lobby, and clothes-drying area.

Late Night Trading Areas refers to a place-based hierarchal approach to categorising areas that reflects the quantity, types and temporal characteristics of existing night-time activities, as well as any potential capacity for the growth of appropriate and compatible night-time uses, existing or planned neighbouring sensitive uses, and existing or planned transport, cultural, social and public safety infrastructure.

External Noise Category Cumulative Level is the external cumulative entertainment noise limit from NTE Venues emitters.

Night time economy refers to uses and activities that occur mainly after dark such as small bars, bars, pubs, clubs, cafes, restaurants, retail shops, performance venues, cultural and sporting events, and cultural spaces which provide for the entertainment and social preferences of residents, workers, students and visitors.

NTE Venue refers to a premise that is associated with the Night Time Economy and generates Entertainment Noise.

Outdoor areas are any areas that are not considered an enclosed place within the meaning described in the *Smoke-free Environment Regulation 2007*.

Patron capacity means the maximum number of patrons permitted in a development consent. Outdoor seating is included in patron capacity calculations.

Performance, creative or cultural uses are activities that can include:

- (i) Live entertainment, being an event at which one or more persons are engaged to play or perform live or pre-recorded music, or a performance at which the performers (or at least some of them) are present in person; or
- (ii) Display, projection or production of an artwork, craft, design, media, image or immersive technology; or
- (iii) Rehearsal, teaching or discussion of art, craft, design, literature, performance, ideas or public affairs.

Period 1 – *Day/Evening* refers to the period of time between 7am to 10pm.

Period 2 – *Night* refers to the period of time between 10pm to Midnight.

Period 3 – *Late Night* refers to the period of time between Midnight to 7am.

Receiver refers to -receiving uses and can include the following uses: residential accommodation (excluding hostels), educational facilities including early childhood and child care facilities (CCF), places of public worship, health services facilities, tourist and visitor accommodation (including hostels), and commercial premises (excluding retail premises, but including offices as part of industrial premises).

Receiver Internal Noise Criteria is the Internal noise level to be achieved through Receiver building envelope noise attenuation of the LNTA cumulative noise level.

Suitably qualified acoustic consultant is a consultant who possesses the qualifications to render them eligible for membership of the Australian Acoustics Society, Institution of Engineers Australia or the Association of Australian Acoustic Consultants at the grade of member.

Trading hours are the hours a high and low impact or non-licensed venue can trade subject to the approved conditions of their development consent. For licensed premises, the sale or supply of liquor is designated by the associated liquor licence.

Venue Noise Criteria is the external entertainment noise limit from a single NTE Venue, equivalent to the Noise Category Cumulative Level minus 5 dB.

Draft Parramatta Late Night Trading DCP 2024

Submission Summary Table

Draft Late Night Trading DCP controls - Submission Summary Table

Draft Late Night Trading DCP controls - Submission Summary Table

1

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1. Executive Summary

This attachment provides an overview of the community engagement phase undertaken for the draft Late Night Trading Development Control Plan controls (draft DCP).

Public exhibition of draft DCP controls for late trading uses was carried out by Council between 6 December 2021 and 31 January 2022. The results of the exhibition were first reported to Council on 8 August 2022 ([Item 13.9](#)) in the Post Exhibition Report. An updated Post Exhibition Report is now being reported back to Council at the 24 June 2024 Council Meeting (see the Council report for the background), and additional Council officer comments are provided in response to the issues raised in the submissions under the heading 'June 2024' in the tables below.

Formal feedback on the exhibition of the draft LNT DCP controls consistent with the community participation requirements established by Council's *Community Engagement Strategy* and the *Environmental Planning and Assessment Act 1979* resulted in a total of **73** submissions received:

- **42** formal submissions via Participate Parramatta (website submission form)
- **31** submissions via email to the Night City email address attended by the Night Time Economy Project Officer.

Overall, an estimated **101,400** people were reached across all methods of channels, with **2,638** views on the project page and **73** formal submissions. Methods to engage the community were as follows:

- | | | | |
|-------------------------------------|-------------------------------------|---------------------------|-----------------------------------|
| • Notification letters and emails | • Business and Resident User Guides | • QR Code | • Workshops and briefings |
| • Frequently Asked Questions (FAQs) | • Social Media | • Newspaper advertisement | • One-on-one information sessions |
| • Translated materials | • ePULSE | • Public notice | |
| | • Electronic direct notification | • Media release | |
| | | • Webpages | |

For further information on community engagement mechanisms undertaken as part of the exhibition of the draft DCP controls, refer to Attachment 1 – Late Night Trading DCP Community Engagement Report of the 8 August 2022 Council report ([link above](#)).

Feedback received demonstrated that the majority of the Parramatta community is in favour of late night trading and its potential to activate the city after work and for workers who work late in Parramatta. The submissions recognised the relationship between vibrancy and a feeling of safety and security in the city at night. These submissions also indicated support for further policy development that can support this growth. Key concerns for submitters were in regard to the appropriate location of late night trading areas, trading hours and noise impacts associated with a growing night time economy.

A graphical representation of the submission responses is provided in Figure 1, Figure 2, and Figure 3 below.

Draft Parramatta Late Night Trading DCP 2024

Submission Summary Table

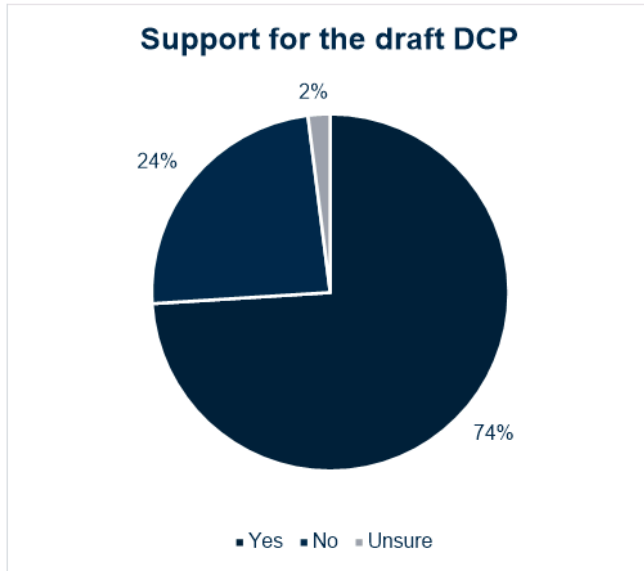


Figure 1 – Support for the Late Night Trading DCP

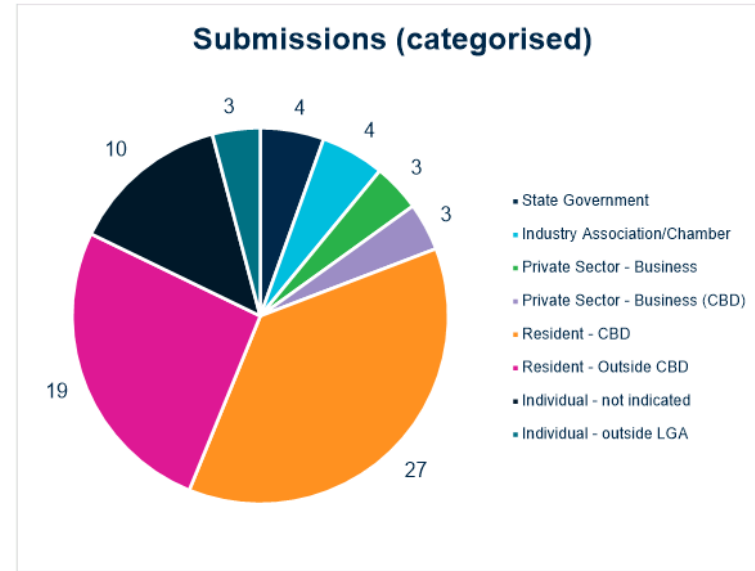


Figure 2 – Demographic of submitters

Draft Parramatta Late Night Trading DCP 2024

Submission Summary Table

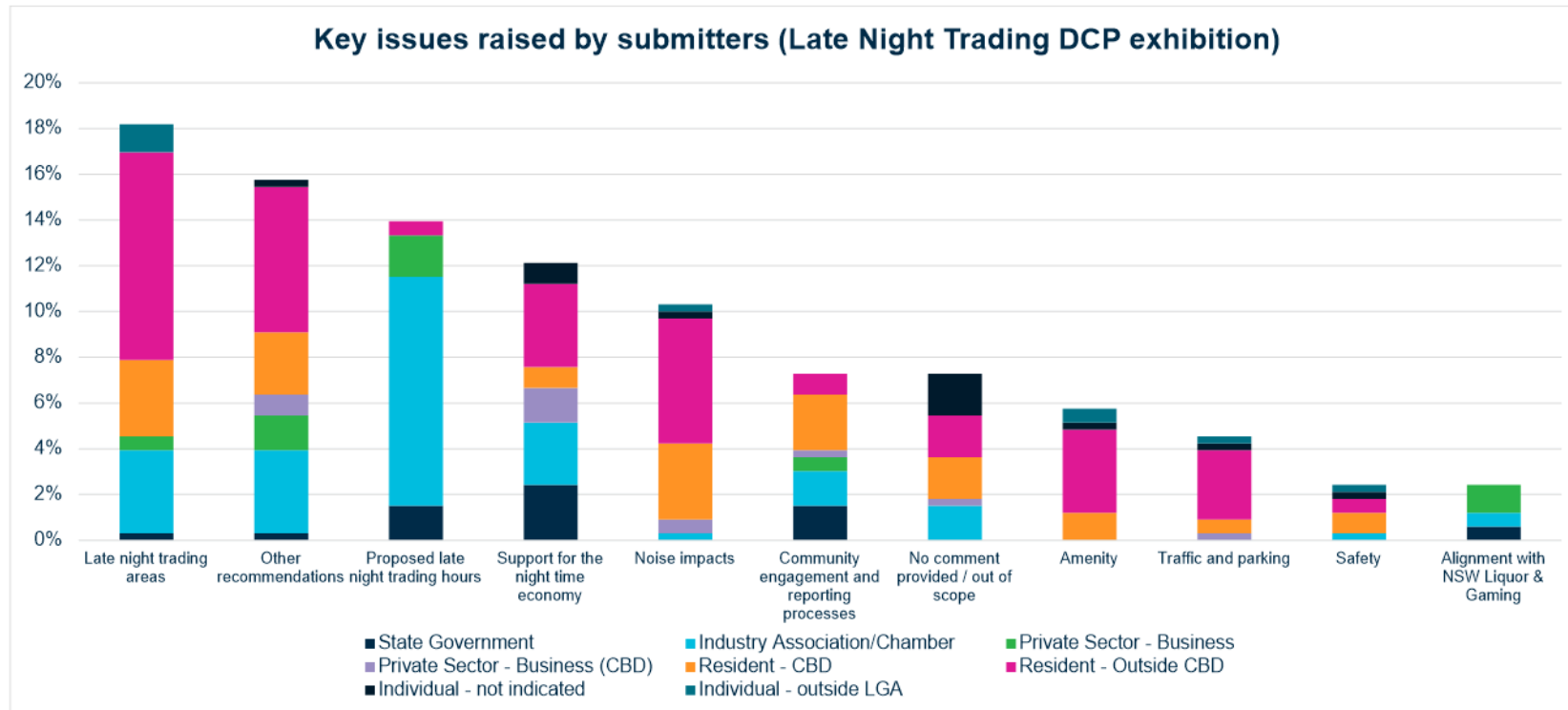


Figure 3 – Key issues raised by submitters to the exhibition of the draft Late Night Trading DCP controls in August 2022.

Draft Parramatta Late Night Trading DCP 2024

Submission Summary Table

2. List of submissions

#	Description	#	Description	#	Description
1	Resident/individual Unknown	27	Resident from Winston Hills Outside CBD	56	Resident from Parramatta CBD
2	Resident from North Parramatta Outside CBD	28	Resident from Parramatta CBD	57	Resident from Parramatta CBD
3	Resident from Parramatta CBD	29	Individual from Surry Hills Outside LGA	58	Resident from Parramatta CBD
4	Resident/individual Unknown	30	Resident from Westmead Outside CBD	60	Individual Unknown
5	Resident from Parramatta CBD	31	Resident from Parramatta CBD	61	Resident from Parramatta CBD
6	Resident/individual Unknown	32	Resident from Ermington Outside CBD	62	Individual Outside LGA
7	Resident from Parramatta CBD	33	Resident from Ermington Outside CBD	63	Resident from Armidale Outside CBD
8	Resident/individual Unknown	34	Resident from Oatlands Outside CBD	66	Resident/individual Outside CBD
9	Resident from Rydalmere Outside CBD	35	Individual Outside LGA	70	Resident from Parramatta CBD
10	Resident from Parramatta CBD	36	Resident from Parramatta CBD	41	Private sector - business Strata Committee
11	Resident from Telopea Outside CBD	37	Resident from Wentworth Point Outside CBD	54	Private sector - business Collector Hotel Parramatta; Camellia Hotel Rosehill
12	Resident from Parramatta CBD	38	Resident from Wentworth Point Outside CBD	59	Private sector - business Not specified
13	Resident from Parramatta CBD	39	Resident/individual Unknown	64	Private sector - business Western Sydney University
14	Resident from Oatlands Outside CBD	40	Resident from North Parramatta Outside CBD	65	Private sector - business CicciaBella Trattoria + Bar
15	Resident/individual Unknown	42	Resident/individual Unknown	67	Private sector - business Aslan Group
16	Resident from Parramatta CBD	43	Resident from Parramatta CBD	46	Resident action group Epping Civic Trust
17	Resident from Parramatta CBD	44	Resident from North Parramatta Outside CBD	49	Industry association/chamber Business Western Sydney
18	Resident from Epping Outside CBD	45	Resident from Parramatta CBD	68	Industry association/chamber Tourism and Transport Forum Australia
19	Resident from Parramatta CBD	47	Resident from Parramatta CBD	72	Industry association/chamber Parramatta Liquor Accord
20	Resident from Parramatta CBD	48	Resident from Parramatta CBD	22	State government Liquor & Gaming NSW (Informal)
21	Resident from Carlingford Outside CBD	50	Resident from Parramatta CBD	69	State government Museum of Applied Arts and Sciences (Parramatta Powerhouse)
23	Resident from Parramatta CBD	51	Resident from Parramatta CBD	71	State government NSW Small Business Commissioner
24	Resident/individual Unknown	52	Resident from Parramatta CBD	73	State government Parramatta Police Area Command
25	Resident/individual Unknown	53	Resident from Parramatta CBD		
26	Resident from Wentworth Point Outside CBD	55	Resident from Carlingford Outside CBD		

NB: Each submission was allocated a unique number according to the date the submission was received by Council, and to ensure the privacy of submitters, names and street numbers have been withheld.

List of submissions

4

3. Submission summaries

Section 3 summarises and responses to the key issues raised in the submissions received during the exhibition of the draft Parramatta LNT DCP controls.

This information was first included in the 8 August 2022 report to Council (Item 13.9) at Attachment 1, with the submissions organised by category or themes.

For the purposes of this June 2024 report to Council, the information in Attachment 1 of the 8 August 2022 report has been reproduced in a condensed version under the heading 'August 2022 Council Report response'. An updated Council officer response to the issues raised in the submissions is then provided under the heading 'June 2024 Council Report' and the rows shaded **blue**.

Part A details the reasons provided by submitters in support of the night time economy.

Part B details and responses to the issues raised in relation to the draft DCP as follows:

- Alignment with NSW Liquor & Gaming. Refer to **Table 1** – Alignment with NSW Liquor & Gaming
 - Trading hours. Refer to **Table 2**.
 - Trial periods. Refer to **Table 3**.
 - Late night trading areas. Refer to **Table 4** –
 - Community engagement and reporting processes. Refer to **Table 5** –
 - Noise impacts. Refer to **Table 6**Table 6 – Noise impacts
 - Traffic, transport and parking. Refer to **Table 7**Table 7 – Traffic, transport and parking
- Amenity. Refer to **Table 8** – Amenity
- Table 8 – Amenity
 - Safety. Refer to **Table 9** – SafetyTable 9 – Safety
 - Other recommendations. Refer to **Table 10** – Other recommendations Table 10 – Other recommendations
 - Submissions from organisations and public authorities. Refer to **Section 4**.

Part A - General support

Submissions 2, 6, 12, 13, 14, 15, 16, 24, 26, 27, 32, 34, 40, 41, 46, 49, 52, 64, 65, 67, 68, 69, 70, 71, 72

Support for the development of the night time economy in Parramatta

Many submissions expressed support for the DCP controls and were keen to see the city grow in vibrancy, diversity and attract more visitors. Several submissions emphasised a need for areas outside the CBD such as Epping, Wentworth Point and Olympic Park to stay open later. People also expressed a desire to have a diversity of night time activities and alternatives to alcohol consumption, including family friendly events, live performance and music venues, retail (such as night markets) and other services.

Members of the community had expressed favourable sentiments towards the development of late night trading, particularly after work, for the potential to activate the city and also note the relationship between vibrancy and the perception of safety and security at night.

Support for the draft LNT DCP controls

Submissions in support of the DCP controls were received from several NSW Government agencies. One agency emphasised support for the classifications, guidelines and operating hours for Late Night Trading Area 1. Support was received from a major state cultural institution and a peak body for tourism and transport for the positive effect a diverse night time economy can have on increasing creative and cultural infrastructure whilst boosting participation and tourism. These organisations expressed an eagerness to collaborate with Council as an active member of the late night economy and provide support for public events produced by the community and City of Parramatta Council.

A submission from a private business in the Parramatta CBD voiced strong support for the DCP particularly in the context of post COVID-19 lockdowns, noting that they had been advocating for more late-night activity for many years. One submission from an industry association emphasised that the four-tier tailored hierarchy of late night trading areas (LNTAs) was an appropriate approach given the unique characteristics, land uses and built form of the different precincts in the LGA.

This sentiment was supported by a Western Sydney University in the Parramatta CBD which highlighted their desire to see a broad and inclusive mix of uses that reflects the diverse needs of the people. A submission from an industry association also welcomed the shift from a blanket approach to acoustic controls to place-based acoustic controls. Maps denoting the spatial distribution of late night trading areas in the LNT DCP was supported and a suggestion made to map and show existing licensed venues on the maps.

Part B – Responses to issues

Table 1 – Alignment with NSW Liquor & Gaming

This table addresses issues related to alignment with NSW Liquor & Gaming guidelines, impact on businesses, and membership with key industry bodies, as raised by Submissions 22, 54 and 72.

Row	Theme	Summary	Council officer Response	
			August 2022 Council report	June 2024 Council Report
1	Alignment with NSW Liquor & Gaming	A few submissions were concerned that the DCP controls were not aligned with existing NSW Liquor & Gaming and other NSW government policies. Submissions highlighted that the standard and extended trading hours proposed by the DCP were less than existing NSW Liquor & Gaming licence hours.	Council officers elect to maintain the DCP’s approach to trading hours as based on merit to maximise the diversity and use of infrastructure. Trading hours in the DCP controls have been streamlined to simplify the process of applying for and operating with the DCP’s prescribed trading hours. These changes align with the City’s vision for a night time economy and will create the best conditions to support late trading businesses.	<p>Updated position June 2024</p> <p>The revised DCP controls seek to extend the base and extended trading hours for the City Centre LNTAs compared to what was originally exhibited.</p> <p><u>Justification for amendment:</u></p> <ul style="list-style-type: none"> Trading hours within liquor licences are in relation to the sale of alcohol as guided by the <i>Liquor Act 2007</i>, while trading hours within development approvals are in relation to the use of the subject site, its context, and the protection of the environment as guided by the <i>Environmental Planning and Assessment Act 1979</i>. Therefore, it is not appropriate for the trading hours in Council’s DCP controls to align with the trading hours prescribed within liquor licences. By introducing the draft Late Night Trading DCP controls, Council is providing a clear, concise policy position on the management of late night trading venues in the City. It is intended these controls will streamline the process for operators, regulators, Council’s development assessment team, and the local community. <p>For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.</p>

Row	Theme	Summary	Council officer Response	
			August 2022 Council report	June 2024 Council Report
2		A submission made by a state government agency also suggested that references to certain types of liquor licenses be refined (under the on-premises licence).	A notable alignment concern around the definition of a 'nightclub' has been amended to 'public entertainment venue' to match the <i>Liquor Act 2007</i> and Liquor & Gaming NSW.	August 2022 position supported, and no change to the recommended amendment to the draft DCP controls (see left).
3	Impact on businesses	A submission from a business owner in the CBD showed concern that a lack of alignment with L&GNSW would create more red tape for businesses.	Council recognises the perceived administrative requirements that come with a new policy. The draft LNT DCP controls address the standards relating to late night trading. They provide a planning specific framework for applications to be assessed and is intended to help improve the efficiency of assessment. However, other processes and licences relating to trading still apply and must be complied with as part of the overall process.	<p>August 2022 position supported, and additional justification provided.</p> <p><u>Additional justification:</u> See Row 1 above.</p> <p>In addition, a key objective of the NSW Government's Vibrancy Reforms is to create an environment that encourages venue operators by removing perceived unnecessary regulation, streamlining approval processes and adopting a common-sense approach to noise and sound complaints. The LNT DCP controls do not override or are incongruous with the Vibrancy Reforms or requirements of L&G NSW.</p> <p>Council recognises that late night trading businesses are a crucial part of our economy and contribute many benefits to residents including exposure to local food and beverage cultural activities, live music, social gatherings and events. The LNT DCP controls will assist in the city's transition to a 24-hour centre by facilitating a greater mix of things to see, do and explore and meeting the emerging needs of our communities; which aligns with the NSW Government's objective more broadly to supports a thriving, accessible, safe, diverse and exciting nightlife.</p> <p>For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.</p>
4	Membership with key industry bodies	Some submissions also asked that the Parramatta Liquor Accord be addressed in the DCP controls. One submission recommended that Liquor Accord membership and attendance at meetings/participation should be required for new licenced premises.	Council acknowledges the value and achievements of the Liquor Accords in working with licenced premises, Parramatta Police, L&GNSW and the City of Parramatta Council across the LGA to create safer and more vibrant venues. Whilst Council will continue to work with the Liquor Accords to promote and ensure good management	<p>August 2022 position supported.</p> <p><u>Additional note:</u></p> <ul style="list-style-type: none"> Council officers have worked with key industry bodies to understand their issues, and it is considered that the controls provide balance, providing certainty for new business operators and existing business operators seeking to expand their offerings, as well as the community,

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Row	Theme	Summary	Council officer Response	
			August 2022 Council report	June 2024 Council Report
			of licensed venues within the LGA, it is beyond the scope of the draft LNT DCP to enforce membership for these premises.	<p>organisations and Council assessment and compliance officers.</p> <ul style="list-style-type: none"> Operators are encouraged to liaise with a Liquor Accord in their locality to improve security and safety (subpoint 4 of item G within Section 5.1 – Plan of Management Requirements in Parramatta DCP 2023) and develop relationships within the hospitality industry to improve business processes. <p>For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.</p>

Table 2 – Proposed late night trading hours

This table addresses issues related to the relationship between trading hours and LNTAs, separation indoor and outdoor hours, and comprehension and wording, as raised by Submissions 54, 63, 71, 72, and 73.

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	Relationship between trading hours and Late Night Trading Areas (LNTAs)	The use of Late Night Trading Areas (LNTAs) to highlight areas for growth and establishment of night time activity was supported by the submissions. However, concern was raised around the DCP potentially limiting a development application for a late night trading business or venue outside of the LNTAs from being assessed on a merit basis.	<p>DAs are assessed on a merit basis as a DCP's primary function is a guideline to support the <i>Parramatta LEP 2023</i>. Assessment of any DA, regardless of its location, is based on the potential impact of late night activity on the amenity of the surrounding environment.</p> <p>Late night trading is not restricted to the LNTA's areas identified within the draft LNT DCP controls. LNTAs have been identified based on zoning, connectivity, existing and planned infrastructure and potential for growth and activity. LNTAs aim to create a density of diverse late trading uses to maximise access to infrastructure and create a vibrant and</p>	<p>Updated position June 2024</p> <p>The Late Night Trading Areas have been restricted to the Parramatta City Centre to focus its importance as a 24 hour economy area. Any late night trading venue outside of the LNTAs will still be considered (subject to zoning permissibility) and assessed on merit.</p> <p>A Section has been added to the DCP (Section 1.1) clearly outlining where the DCP applies, and includes criteria for merit assessed application where the DCP does not apply.</p> <p><u>Justification for amendment:</u></p> <ul style="list-style-type: none"> Focusing the LNTAs within Parramatta City Centre focuses its importance as a 24 hour economy. This is consistent with Council strategies including <i>Parramatta Night City Framework 2020-2024</i> and <i>draft Parramatta 2050</i>. Late

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
			<p>safe public domain. Proposals or DAs outside of the prescribed LNTAs are not precluded from applying for extended trading hours, as indicated in Section 4.3 – Out of Area Proposals.</p>	<p>night trading outside of the identified LNTAs will continue to be assessed on merit as is currently the case.</p> <p><u>Additional note:</u></p> <p>See also Table 4 below detailing the proposed amendment to LNTAs.</p> <p><u>Proposed June 2024 amendment to the DCP controls:</u></p> <ul style="list-style-type: none"> Amend Figure 2.1 Late Night Trading Areas as follows: <ul style="list-style-type: none"> Removal of all LNTAs located outside of Parramatta City Centre Rename 'Urban Centre LNTA 3' to 'City Centre LNTA 3'. Amend City Centre LNTA 3 to include development at 180 George Street and change to LNTA 2. Amend City Centre LNTA 1 to Remove the Auto Alley Precinct and change to LNTA 3. <p><u>Justification for amendment:</u></p> <ul style="list-style-type: none"> Concentrating late night trading within the Parramatta City Centre focuses the focus its importance as a 24 hour economy area. This also tailors application of the LNT DCP controls to a CBD context, whilst enabling case-by-case merit assessment for areas outside the LNTAs. Including 180 George Street into LNTA 2 provides consistency with existing adjoining development to the west and reflects existing late night uses on the site. Removal of Auto Alley Precinct from LNTA 1 reflects the limited existing late night trading venues and also proximity to lower density residential areas. <p><u>Additional note:</u></p> <ul style="list-style-type: none"> The LNT DCP controls have been updated to clarify that all future DAs seeking extended trading hours are subject to a trial period and merit-based assessment. <p>As a result of this submission, clarification amendments have been made to Section 1.1 Application of this Part of</p>

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
				the DCP to make clearer when the DCP controls apply to new and existing venues (aka emitters).
2	Separation of indoor and outdoor hours	The separation of indoor and outdoor trading hours was met with some opposition by some submissions.	Indoor and outdoor trading hours for LNTA 1 and LNTA 2 have been aligned based on feedback received from the community. These amendments seek to simplify and streamline for businesses the process of applying for and operating within the trading hours of the DCP and create the best conditions to support late trading businesses and allow them to thrive.	Updated position June 2024. Alignment of indoor and outdoor areas have not been prescribed in Table 3.1 Base and extended trading hours of the DCP. However, outdoor areas can seek extended hours (to align with indoor hours) subject to merit assessment and trial period. As a result of this submission, clarification amendments have been made to Section 3.1 Base and extended trading hours to clarify that applicants can seek alignment of indoor and outdoor trading hours subject to a merit assessment and trial period(s).
3		The submissions posited that the separation of indoor and outdoor trading hours would result in patrons leaving the venue for fresh air or smoke, and would inhibit venue staff from ensuring they would not cause disturbances. These submissions suggested that as long as it could be demonstrated that no acoustic disturbance would result from outdoor trading, then a venue should be allowed to trade outdoors beyond what is proposed in the DCP. One submission from a resident outside of the CBD suggested that trading hours be further limited in order to maintain the acoustic amenity of residential areas.	Refer to Row 2 in Table 2 addressing the equalising of trading hours for LNTA 1 and LNTA 2. Separation between indoor and outdoor trading hours have been maintained in Urban Centre LNTA 3 and Local Centre LNTA 4 to mitigate the issues that arise around noise complaints and to balance the needs of the community with regards to night time activity.	Refer to Row 2 in Table 2 above.
4		Submissions sought clarification regarding the proposed controls in the	Council recognises the need for clear controls and policies. Council is	Updated position June 2024

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Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
	Comprehension and wording	draft LNT DCP. Some submissions provided suggestions to ensure the wording of the draft LNT DCP controls were clear and easy to understand for users and regulators.	undertaking a process of harmonisation across the various DCPs of the LGA. The Draft Harmonisation DCP seeks to create a consistent set of development controls for the City of Parramatta LGA that resulted from the Local Government (Council Amalgamations) Proclamation 2016. The draft Harmonisation DCP process involves reviewing and consolidating development controls from the former Council areas of Auburn, Holroyd, Hornsby, Parramatta and The Hills. The finalisation of the Harmonisation DCP will provide the LNT DCP with a consistent set of controls and clarification on the interactions between different parts of the DCP.	<p>Amendments have been made to the DCP drafting to better align the format, terminology and layout used within the existing Parramatta DCP 2023. Changes enable clear explanatory text along with specific objectives and controls for each section of the LNT DCP. This will provide further clarity for both internal and external users.</p> <p><u>Justification for amendment:</u></p> <ul style="list-style-type: none"> To enable clear understanding of the application of the Plan across the Parramatta LGA. To ensure consistency with Parramatta DCP 2023 (adopted by Council on 28 August 2023). <p>As a result of this submission, clarification amendments have been made to the DCP controls to improve comprehension.</p>
5		Clarification on wording was sought in order to ensure that the LNTAs and their descriptions would not preclude businesses from applying for later trading hours.	<p>See Row 1 under Table 3 for more information on merit-based assessment for extended trading hours and the function of LNTAs within the DCP controls.</p> <p>Businesses outside of the prescribed LNTAs are not automatically excluded from applying for extended trading hours. LNTAs have been identified based on zoning, connectivity, existing and planned infrastructure and potential for growth and activity. (Section 4.3 in the draft LNT DCP controls cover 'Out of Area Proposals').</p>	<p>August 2022 position supported, with some further amendments.</p> <p><u>Additional note:</u></p> <ul style="list-style-type: none"> Trading hours have been updated to emphasise that merit based assessment would apply (including development applications that seek to align indoor and outdoor hours). Refer to Table 1, Row 1 addressing extended trading hours proposed under the draft LNT DCP controls. <p>As a result of this submission, clarification amendments have been made to Section 1.1 Application of this Part of the DCP to make clearer when the DCP controls apply to new and existing venues (aka emitters).</p>

Table 3 – Trial periods

This table addresses issues related to clarification on processes, and comprehension and wording as raised by Submissions 29, 41, 54, 72 and 73.

Row	Theme	Summary	Council officer response	
			August 2022 Council Report	June 2024 Council Report
1	Clarification on process	The use of trial periods was supported by most submissions. The local Police Area Command suggested that the DCP controls provide examples or further clarification on when and how trial periods may be cancelled, and to give a clear guideline of processes for reporting poorly managed venues for the purposes of clarity for residents and operators.	Controls C.02, C.03 and C.04 within Section 4.2 Extended Trading Hours Trial Periods have been updated to provide further clarification on when and how trial periods may be cancelled.	<p>Updated position June 2024</p> <p>The DCO controls in Section 3.2 – Extended Trading Hours and Trial Periods has been updated to confirm that applications for extended hours within the identified LNTAs will be subject to an initial 2 year trial period, followed by a further 5 year trial period, subject to assessment by Council. Following successful completion of the two trial periods, Council at its sole discretion may allow permanency of the extended hours. This would be subject to updated and approved Plans of Management and appropriate conditions of consent.</p> <p>Trial periods are used to enable Council, the Parramatta Local Area Command and the community to assess and manage any impacts arising from extended trading.</p> <p>The DCP outlines matters that will be assessed in considering further trial or permanent extended hours. Clear notation is included stating that trial periods can be cancelled due to poor venue management at any time during the trial period.</p> <p>To clarify Council's expectations of good venue management, examples of when trial periods can be cancelled will be included in the supplementary "User Guide for Businesses". The "User Guide for Businesses" will be published in Council's website.</p> <p><u>Justification for amendment(s):</u></p> <ul style="list-style-type: none"> To provide clear criteria around trial periods for extended hours and clarification on how Council will assess suitability of further trial periods or permanent extended hours. The trial periods of up to 7 years provides further certainty to business around their ability to operate subject to good venue management. This also provides certainty for neighbouring uses.

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				<p>As comments made the submitter were proposed to be contained in the “User Guide for Businesses”, no changes are considered necessary from this submission.</p>
2		<p>The local Police Area Command requested that they be consulted in the event of an application for a new high impact premises, as well as being notified of new plans of management from later trading venues.</p>	<p>Council will work with Parramatta Local Area Command (PLAC) to ensure that there is a system in place for PLAC to provide comments during the assessment period.</p>	<p>August 2022 position supported.</p> <p><u>Additional note:</u></p> <ul style="list-style-type: none"> As is current standard practice, Council's Development Assessment Team will continue to refer applications to Parramatta Police Command where high impact premises have lodged a development application (including instances where new development or extensions to trading hours are sought). <p>No changes to the draft DCP controls are proposed as a result of this submission theme.</p>
3		<p>Some submissions also sought clarification on wording and requirements around plans of management in order to ensure a clear pathway to compliance.</p>	<p>A template Plan of Management will be included as a supplement to the LNT DCP along with FAQ documentation.</p> <p>Council officers have updated Section 5 Premises Impact Management in the draft LNT DCP to include the following proposed control:</p> <p><u>C.05 The premises must be operated and managed in accordance with the Plan of Management.</u></p> <p>Council officers have also updated the description of the Plan of Management to clarify that the licensee/manager must provide a signed declaration that they have read, understood, and agreed to uphold the Plan of Management.</p>	<p>August 2022 position supported, with further changes.</p> <p><u>Additional note:</u></p> <p>Section 5.1 of the DCP includes matters for inclusion within a Plan of Management for both high and low impact venues. Applicants are encouraged to provide as much detail as possible to key authorities (Council, Police, L&GNSW, etc) to clearly understand operational details and how impacts will be mitigated/managed.</p> <p>In addition to the DCP provisions, Council will prepare a Template Plan of Management to be made available on Council's website.</p> <p>No changes to the draft DCP controls are proposed as a result of this submission theme.</p>
4	Comprehension and wording	<p>A submission by a local business chamber expressed concern at the use of trial periods. The submission supported the use of trial periods for 12 months, as is proposed, however was concerned that the wording of the proposed controls insinuated that the use of extended trading hours would</p>	<p>Extended trading hours may be formalised permanently following the completion of a trial period and assessment of a modification application. The assessment of a modification application will consider whether the business demonstrated they were able to manage any impacts</p>	<p>Refer to Table 3, Row 1 above.</p> <p><u>Additional justification for amendment:</u></p> <p>Extending the length of the trail period where extended hours are sought has the following benefits:</p> <ul style="list-style-type: none"> Greater certainty on investment decisions

		<p>only continue to be renewed every 12 months.</p>	<p>from later trading. The assessment of the modification application may recommend the permanent formalisation of the extended trading hours or an extension of the trial period, which can be extended for a maximum of 12 months.</p> <p>Should a business fail to demonstrate that they are unable to manage extended trading either through the trial period (i.e. Council receives, investigates and upholds formal customer complaints related to the extended trading) or through the assessment of the modification application (i.e. Venue does not demonstrate compliance with the approved Plan of Management), then extended trading hours will not be granted and the trial period cancelled.</p> <p>Refer to Table 3, row 1 outlining amendments to the draft DCP to address concerns regarding trial periods.</p>	<ul style="list-style-type: none"> • Allows time for businesses to refine operations and demonstrate good management practices • Length of the trial period aligns with many other councils across Sydney (see Attachment 4). <p>At the end of the trial period, provided there are no issues, extended hours become base hours (subject to a modification DA). Most other councils in Sydney have trial period in perpetuity, whereas for applicants within Parramatta LGA, following successful completion of the two trial periods, Council at its sole discretion may allow permanency of the extended hours. This would be subject to updated and approved Plans of Management and appropriate conditions of consent.</p> <p>No changes to the draft DCP controls are proposed as a result of this submission theme.</p>
5		<p>A submission raised that trial periods would disincentivise businesses from seeking to make improvements to venues that would allow them to trade later. Clarification on the wording and requirements is needed.</p>	<p>The intention of the trial periods is not to disincentivise businesses from pursuing extended trading hours (and any subsequent improvements to their premises that may be required), but to allow Council, the PLAC and the community to manage any impacts that may result from later trading.</p>	<p>Refer to Table 3, Rows 1 and 4 above.</p>

Table 4 – Late night trading areas

This table addresses issues related to LNTA 3, the proximity of LNTAs to sensitive uses, and appropriate locations for LNTAs, as raised by Submissions 16, 19 20, 23, 26, 29, 30, 36, 37, 39, 41, 46, 47, 48, 49, 51, 52, 53, 54, 56, 57, 58, 61, 62, 63, 66, 69, 70, and 72.

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	LNTA 3	<p>Residents of an area on the fringes of the Parramatta CBD expressed concern over the designation as part of Late Night Trading Area 3; these concerns stemmed from a history of complaints relating to a particular venue in the area.</p> <p>These submissions expressed concern on the impacts of later trading, specifically for that particular venue, however these concerns assumed that the venue would automatically be granted extended trading hours.</p>	<p>Council has consulted with key internal and external stakeholders and has resolved to remove the area in question (the venue and its surrounds) from the LNTAs, following community feedback and concerns. Council will work through its Environmental Health and Compliance teams, as well as with businesses, Liquor Accords and the NSW Police to ensure that good venue management practices are the norm.</p>	<p>August 2022 position supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> Council does not support poor venue management, works to minimise the negative social and environmental impacts of late night trading. The management of these issues is a core function of the draft LNT DCP controls. Areas not within LNTA or an existing venue with a valid consent proposing minor changes, are assessed in accordance with the merit criteria in Section 1.1 Application of the Part of the DCP. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 2, Row 1 and Table 6, Row 6 addressing the removal of specific venues from the late night trading areas. Table 9, Row 1 addressing the relationship between the late night trading areas and safety. <p>As a result of this submission and for other reasons discussed in the Council Report, the LNTA designation for the area in question was deleted.</p>
2	Proximity of LNTAs to sensitive uses	<p>There was some disagreement over the appropriateness of designating certain locations as Late Night Trading Areas. This was not exclusive to residential areas. As discussed in the theme 'Support for the night time economy,' there is support for the growth of the night time economy in Parramatta, however some submissions suggested that later trading be limited to the Parramatta CBD. Conversely, other submissions supported the opportunity</p>	<p>Council recognises the importance of balancing night time activity and later trading with a reasonable and commensurate level of residential amenity. The DCP does not dictate land use permissibility; the LEP manages land use zones and determines whether a business is permissible etc. Therefore, the location of businesses can't be controlled via the DCP. The DCP is providing the specific provisions to support uses within the LEP and is</p>	<p>Updated position June 2024</p> <p>The Late Night Trading Areas have been restricted to the Parramatta City Centre to focus its importance as a 24 hour economy area.</p> <p>City Centre LNTA 1 and City Centre LNTA 2 have been retained with some changes previously noted in Table 2, Row 1.</p> <p>Urban Centre LNTA 3 has been renamed to City Centre LNTA 3 and also includes some changes noted in Table 2, Row 1. The area is typically zoned mixed use development or commercial</p>

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
		for other centres outside of the CBD to further bolster late trading.	<p>changing the operation of the uses permitted in the zone.</p> <p>The support for the inclusion of LNTA 3 and LNTA 4 is noted. Late night trading where appropriate, should not be restricted to CBDs and its fringe. Where possible, the late night trading can enhance lower scale urban and local centres.</p>	<p>includes the CBD periphery.</p> <p>All other exhibited 'LNTA 3' areas outside of the Parramatta City Centre and all LNTA 4 have been deleted from the DCP. Late Night trading venues in these locations will be considered on merit and enable consideration of individual local context. It is emphasised that the removal of the identified LNTAs does <i>not</i> preclude late night trading venues from being considered by Council (subject to zoning permissibility), rather that the controls set out in this DCP will not apply to those sites except the merit assessment criteria.</p> <p><u>Justification for amendment:</u></p> <p>Refer to Table 2, Row 1</p> <p>No changes to the draft DCP controls are proposed as a result of this submission theme.</p>
3		One submission argued against the approach of clustering venues close together and suggested that spreading out trading throughout the LGA may have less impacts on amenity.	<p>See Row 2 in Table 4 (above) for the function of the LEP and DCP regarding land use tables and zoning within the Parramatta LGA.</p> <p>Land use zones are the primary instrument which determines where particular developments are located. Conventional practice dictates that similar uses are grouped together to enable appropriate uses of land. The LNT DCP aims to guide development through LNTAs to provide a diverse range of uses for areas that contain significant amounts of activity.</p> <p>The proximity of sensitive uses to the proposed LNTAs has been considered in the process of selecting and determining LNTAs. The LNTAs that have been applied to areas outside the CBD have been scaled to the context. Permissible trading hours within the LNTAs within the CBD are very different to those proposed for the Local</p>	<p>Updated position June 2024</p> <p>As noted in Table 4, Row 2 above, the Late Night Trading Areas have been restricted to the Parramatta City Centre to focus its importance as a 24 hour economy area and to create vibrant, safe and diverse areas. Late Night trading venues outside of these locations will be considered on merit and enable consideration of individual local context. During assessment, potential impacts on local amenity, including noise and vibration, traffic and parking, safety and the like can be assessed in more detail.</p> <p><u>Note:</u></p> <p>Table 2, Row 1 provides more information regarding changes to the LNTAs.</p> <p>No changes to the draft DCP controls are proposed as a result of this submission theme.</p>

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
			Centre LNTA 4. While the LNTAs have been primarily informed by the land use zones, each LNTA has also been shaped by the quantity, type and temporal characteristics of existing night time activity as well as the potential for growth. The LNTAs are not a one-size fits all approach, and proposed trading hours have been scaled to respond to the context as well as mitigate impacts.	
4		These submissions also expressed concern that the draft DCP implied the "approval" of poorly behaving venues, and emphasised the need for an approach to managing the impacts of later trading.	<p>See Tables 6, 7, 8 and 9 for information regarding the approach of the LNT DCP in addressing concerns surrounding noise impacts, traffic and parking, amenity and safety.</p> <p>Any application for extended trading hours requires a plan of management. Section 6.1 of the LNT DCP provides a checklist of requirements for an applicant to detail regarding hours of operation, noise mitigation, security, safety and risk management (see the draft LNT DCP for all the requirements). This must be complied with at all times and the applicant must sign a declaration stating that they have read, understood and agreed to uphold the plan of management. If the plan of management is not upheld, extended trading hours may not be granted (in the case of a trial period) or may be revoked.</p>	<p>August 2022 position supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> The intent of the LNT DCP controls is to increase the diversity of businesses that trade later (including venues that do not serve alcohol), expand the Parramatta City Centre night time economy, and support the actions of the Parramatta Night City Framework 2020-2024 and draft Parramatta 2050 as well as the NSW Government Vibrancy Reforms Existing late night trading venues are subject to existing frameworks to manage the responsible sale/consumption of alcohol (where licensed), adherence to their Plan of Management, the <i>Liquor Act 2007</i>, and the conditions of their liquor licence and development approval. Where a new late night trading venue is proposed within an LNTA it will require an approved Plan of Management, and will be subject to conditions of development consent. Where extended hours are proposed these will be merit assessed and subject to trial periods. Should an operator fail to demonstrate good venue management, extended hours can be cancelled during a trial period. The newly introduced 24-Hour Economy Legislation (Vibrancy Reforms) Amendment Act 2023 positions Liquor & Gaming NSW as the primary regulator for formal noise complaints for entertainment noise. Furthermore, all formal noise complaints for entertainment noise will be governed by the <i>Liquor Act 2007</i> and this will take effect from 1 July
5	Appropriate locations for late night trading	Other submissions that mentioned the appropriateness of late trading in certain areas hinged their disagreements on the assumption that the draft DCP would automatically	Late night trading activities include licensed premises however the purpose of LNTAs is not to increase the number of licensed venues in the City but to increase the diversity of businesses	

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Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
		result or encourage more consumption of alcohol.	<p>that trade later. A diversity of businesses can attract a diversity of people, creating a safe and vibrant night time environment for all to enjoy.</p> <p>The draft LNT DCP aims to balance the desire for increased vibrancy with a reasonable level of amenity for residents and other surrounding sensitive users. The use of base and extended trading hours, trial periods, the requirement to submit and uphold detailed plans of management and stakeholder engagement with key agencies (e.g. Liquor Accords, NSW Police, NSW Government, etc) will ensure the safety and enjoyment of everyone engaging in the night time economy.</p>	<p>2024. Conditions on the development consent relating to noise will continue to take effect for noise that is not from a licensed premises or from noise that is not deemed to be entertainment noise</p> <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Section 5.1 – Plan of Management Requirements of the draft DCP detailing strategies venue operators must consider ensuring the safety of the community. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
6		<p>Some submissions questioned the sensibility of encouraging later trading in areas with little to no late trading or a perceived lack of demand as well as a lack of access and connectivity. Submissions suggested that the proposed controls be rolled out in the Parramatta CBD first and with a slower introduction into other centres in the future.</p>	<p>See Row 1 and 5 in Table 2 for information pertaining to merit-based assessment of applications for late night trading.</p> <p>Council officers wish to clarify that all DAs are assessed on a merit basis as a DCP’s primary function is a guideline to support the <i>Parramatta LEP 2023</i>. Assessment of any DA, regardless of where the property is located would be based on the potential impact of late night activity on the amenity of the surrounding environment.</p> <p>It is important to Council that amenity is not affected by late night trading in areas where it would be uncharacteristic or disruptive. The LNT DCP aims to ensure approvals for late night trading are not granted where inappropriate. The consideration of late</p>	<p>Updated position June 2024</p> <p>As noted in Table 4, Row 2 above, the Late Night Trading Areas have been restricted to the Parramatta City Centre to focus its importance as a 24 hour economy area. Late Night trading venues outside of these locations will be considered on merit and enable consideration of individual local context, having regard to local demand.</p> <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 2, Row 1 addressing changes to the late night trading areas. <p>As a result of this submission and for other reasons discussed in the Council Report, the LNTA designations only apply to the Parramatta City Centre.</p>

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
			night trading for centres outside of the Parramatta CBD is thorough, extensive and approval would only be granted subject to compliance with the LNT DCP and other relevant planning instruments.	
7		Conversely, a submission by a business chamber suggested that a business, no matter what area it is located, should be able to apply for extended trading hours and have that application assessed on a merit basis.	<p>See Row 1 in Table 2 for more information regarding the function of LNTAs and their permissibility of extended trading hours to locations outside of the prescribed LNTAs.</p> <p>Proposals or DAs outside of the prescribed LNTAs are not precluded from applying for extended trading hours (Section 4.3 in the draft LNT DCP covers 'Out of Area Proposals').</p>	<p>August 2022 position supported.</p> <p><u>Additional notes:</u></p> <ul style="list-style-type: none"> Council officers have amended the draft DCP to clarify that the application of the LNT DCP Section. This section states that any new application for a late night trading venue outside of an identified LNTA will be considered on merit. This includes the proposed hours of operation sought. <p>As a result of this submission and for other reasons discussed in the Council Report, the DCP controls in Section 1.1 and Sections 3.1 and 3.2 have been amended to clarify how a business may apply for extended hours.</p>
8		This submission also suggested that indoor and outdoor trading hours be the same; that topic is further explored in Table 2 and Table 6.	<p>LNTA 1 and LNTA 2 have equal trading hour provisions for both indoor and outdoor areas.</p> <p>Indoor and outdoor areas in LNTA 3 and LNTA 4 are separated as they are smaller urban areas located outside of major entertainment districts. The trading hours for outdoor areas end two hours earlier to ensure the amenity of the surrounding area is preserved at later hours whilst providing for the business to continue operating indoors. See the objectives of Part 4.1 of the LNT DCP for further clarity on this decision.</p>	<p>August 2022 position <u>not</u> supported.</p> <p><u>Additional notes:</u></p> <ul style="list-style-type: none"> Council officers have amended the draft DCP to clarify that a merit based assessment would apply to any DA seeking extended hours and be subject to a trial. This would additionally apply to an application that proposes to align trading hours for indoor and outdoor areas. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 2, Row 2 and Table 3, Row 1 addressing outdoor trading hours proposed under the draft LNT DCP controls.
9	Inclusion of more areas into LNTAs	Submissions by businesses and a business chamber supported the proposed application of the DCP and	Refer to Table 6, row 5 addressing the justification of LNTA locations.	<p>August 2022 position supported.</p> <p><u>Additional notes:</u></p>

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
		also encouraged the inclusion of more areas to be included as part of the Late Night Trading Areas.	<p>LNTAs that have been applied to areas outside the CBD have been scaled to the context. Permissible trading hours within the LNTAs within the CBD are very different to those proposed for the Local Centre LNTA 4. While the LNTAs have been primarily informed by the land use zones, each NTA has also been shaped by the quantity, type and temporal characteristics of existing night time activity as well as the potential for growth. The LNTAs are not a one-size fits all approach, and proposed trading hours have been scaled to respond to the context as well as mitigate impacts.</p> <p>The activation of local areas is also broadly in line with the State Government's efforts to support the State's economic recovery. Policy changes such as the Fun SEPP and the changes applied to the <i>State Environmental Planning Policy (Exempt and Complying Development Codes) 2008</i> or Codes SEPP aim to make it easier for businesses to recover from the impacts of the pandemic by enabling innovative changes to the ways they can operate and activate. Council's alignment with broader State Government policy directions ensure a consistent and balanced approach to supporting businesses and reconnecting communities to their local areas.</p>	<ul style="list-style-type: none"> Investigating the expansion of the late night trading area map within the draft DCP would be subject to a future review of the DCP following its finalisation. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 4, Row 7 addressing applications for extended hours for sites outside of late night trading areas. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
10		Some submitters commented that Parramatta Gaol should be identified as a LNTA, due to its planned use as a creative and cultural hub.	The Parramatta Gaol site and nearby areas around Church Street and Dunlop Street and west to the Parramatta River are contained within	<p>August 2022 position is supported.</p> <p><u>Additional notes:</u></p>

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
10		A submission by a business chamber also suggested that Church Street be included as part of LNTA 1 given it is one of Parramatta's most popular night time destinations.	<p>the Parramatta North Precinct where land use planning is managed by the Department of Planning and Environment (DPE). The site is also subject to the Conservation Agreement for Old Government House and Domain, Parramatta which means that any changes to any planning control requires the preparation of a new Conservation Agreement which would take some years to complete. Thus, any changes to the planning controls in this area are unlikely in the short to medium term.</p> <p>Council notes and welcomes the support from cultural institutions, state agencies and small businesses to participate and collaborate in order to maximise the benefits of the draft LNT DCP.</p>	<ul style="list-style-type: none"> As these areas are subject to separate precinct planning projects led by the state government, it is recommended that the identification of any of these sites are to be investigated following the finalisation of these projects. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p> <p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> LNTA 1 areas have been proposed where increased noise activity will not impact on residential uses; the majority of LNTA 1 has been designated on land zoned E1 Commercial Centre, which does not generally permit such uses. Church Street has been included as LNTA 2 due to its proximity to existing residential uses and MU1 Mixed Use zoning. As it would be onerous to retrospectively apply acoustic mitigation measures to the existing receiver developments adjacent to Church Street, it is not considered appropriate to include Church Street as LNTA 1. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>

Table 5 – Community engagement and reporting processes

This table addresses issues related to reporting on impacts of late night trading, behaviour of patrons, and engagement and consultation for increased late night trading, as raised by Submission 22, 36, 41, 46, 54, 63, 67, 70, 72, and 73.

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	Reporting on impacts of late night trading	The process for reporting on any issues or impacts arising from increased late night trading was a key issue that emerged from the submissions, especially the submissions that expressed concern regarding these impacts.	Council acknowledges the importance of compliance in ensuring that any impacts arising from increased later trading. Council does not seek to only increase the number of licensed venues in the LGA, but to increase the diversity of businesses that trade later. A diversity of businesses can attract a diversity of people, creating a safe, vibrant night time environment for all to enjoy.	<p>August 2022 position is supported, with consideration to the introduction of the Vibrancy Reforms</p> <p><u>Justification for support:</u></p> <ul style="list-style-type: none"> As stated in Actions of the Parramatta Night City Framework 2020-2024, Council will address noise management through: <ul style="list-style-type: none"> investigating options to undertake a sound mapping project in key entertainment precincts (including late night trading areas) to inform responses to late night noise and potential DCP amendments. The newly introduced 24-Hour Economy Legislation (Vibrancy Reforms) Amendment Act 2023 positions Liquor & Gaming NSW as the primary regulator for formal noise complaints for entertainment noise. Furthermore, all formal noise complaints for entertainment noise will be governed by the <i>Liquor Act 2007</i> and this will take effect from 1 July 2024. Conditions on the development consent relating to noise will continue to take effect for noise that is not from a licensed premises or from noise that is not deemed to be entertainment noise. Part 4 – Acoustic Controls in the DCP will be retained to ensure a reasonable level of amenity for residents whilst encouraging vibrancy and supporting the development of a diverse night time economy. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Parramatta Night City Framework 2020-2024 NSW Government Vibrancy Reforms
2		A state government agency suggested that Council formally "opt-in" to becoming the primary channel for managing complaints from residents and businesses, with an aim to reduce the potential for "complaint shopping" to different agencies	The draft LNT DCP aims to balance the desire for increased vibrancy with a reasonable level of amenity for residents and other surrounding sensitive uses. The use of base and extended trading hours, Trial Periods, proposed acoustic controls for the CBD and standardised plans of management for venues have been included in the draft LNT DCP in order to strike that balance. Council is also working with key internal and external stakeholders such as businesses, Liquor Accords, the NSW Government and the NSW Police to ensure that good venue management practices are upheld and that issues or complaints arising from later trading are addressed in a timely manner.	
3		Some submissions suggested other approaches to managing and ensuring compliance, which are outside of the scope of this DCP. However, they highlight that the implementation of the DCP requires effort from a range of stakeholders.		

4		Several submissions emphasised the importance of clearly communicating the new acoustic criteria, as well as pathways to lodge and respond to complaints arising from increased late night trading.	Throughout the exhibition period, Council prepared FAQs and User Guides for Residents and Businesses on the key pillars of the draft LNT DCP, including the proposed acoustic controls.	No changes to the draft LNT DCP controls are proposed as a result of this submission theme.
5	Behaviour of patrons within the venue	Aside from noise, particular emphasis was placed on the behaviour of patrons, including while they leave a venue. For example, a strata association suggested that licensed venues provide adequate security details to ensure that patrons can be moved on quietly. They also suggested that any extension of hours be coupled with conditions requiring this approach, as well as a contact number or definitive process in place for local residents to seek an immediate resolution to any issues. Another suggestion was regular police patrols, similar to those employed for live sporting events.	Council recognises the role that good venue management practices play in ensuring a balance between a vibrant, active city and a reasonable level of residential amenity. Council is working with external stakeholders such as Liquor Accords and the NSW Police to ensure good venue management is the norm for late trading businesses in the Parramatta LGA. In cases of a High Impact Premises, a Statement of risks and potential effects must be prepared, which will factor into Council's assessment of the application. New premises must also submit a Plan of Management with their application that must identify measures that mitigate impacts resulting from later trading such as noise, waste management and patron behaviour. Conditions for consent can also be created to proactively address issues such as poor patron behaviour, safety and noise, as well as a pathway to complaint and resolution.	August 2022 position is supported. <u>Additional justification for support:</u> <ul style="list-style-type: none"> Safety and security requirements of the draft DCP (Section 5.1.1 and 5.1.2) requires the Plan of Management to detail how security will ensure that staff and patrons leave or enter the premises with minimal disturbance to the surrounding environment. The Plan of Management also requires detailed information related to patrols by on-site security (areas, frequency, hours). For high impact premises, a statement of risk and potential effects must be prepared. The processes in the Plan of Management will be assessed by Council and referred to the Police to ensure that impacts to residents and surrounding uses are mitigated as much as possible. In the event an issue needs to be resolved immediately, these concerns should be forwarded to the licensee or venue duty manager as legislated under Section 80(1A) of the <i>Liquor Act 2007</i>. If there is a concern regarding dangerous patron behaviour or safety, the issue should be raised with NSW Police. Any breach of liquor or gaming laws and any disturbance complaints (as defined under the <i>Liquor Act 2007</i>) should be directed to L&GNSW. Any breach of the conditions of consent related to the operation of a venue (but not including issues related to entertainment noise) should be directed to Council.
7	Behaviour of patrons with other stakeholders	A business chamber also suggested the inclusion of education campaigns for better behaviour in and out of venues, as well as the inclusion of pro forma venue management plans in order to clearly communicate expectations to businesses.	The role of education and promotion of improving patron behaviour is a crucial aspect of ensuring good venue management. While education campaigns are outside of the scope of the draft LNT DCP, Council will continue to work proactively with key	<u>Refer to:</u> <ul style="list-style-type: none"> Table 5, Row 1 addressing future work to establish noise management processes.

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			<p>stakeholders to promote the importance of managing patron behaviour in creating a safe city at all times of the day.</p>	<p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
8		<p>The chamber also expressed a desire to work with Council on establishing a process for managing poorly behaving patrons, as well as for ensuring a venue's operating conditions are not lost due to an isolated incident.</p>		<p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> It is noted that there are multiple channels in which venue operators are expected to manage patron behaviour, including multi-venue barring strategies adopted by local liquor accords. It is not considered Council's role to assist with the establishment or management of these strategies. Section 3.2 – Extended Trading Hours Trial Periods lists the relevant documentation which Council will review to formalise extended hours for a venue, including: <ul style="list-style-type: none"> inspections by Council officers during trial periods, the Police Incident Register, formal customer complaints to Council, and compliance with the approved Plan of Management. Should an isolated incident occur, it is anticipated that operators make note of this through any of the above listed avenues, and in consultation with local police. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
9		<p>A submitter commented that the criteria for a Plan of Management to specify areas where patrons are seating or standing is too restrictive, and not common practice</p>	-	<p>Comment:</p> <ul style="list-style-type: none"> It is not uncommon for a Plan of Management to convey space configuration, including the function of seating, dining, and other indoor and outdoor areas. Inclusion of this detail is to provide responsible authorities (including Council, NSW Police, and Liquor & Gaming) information on venue operation, including patron capacity and how the venue is to be used. This demonstrates that venue operators have provided clear guidance on how staff will influence patron behaviour, and reduce risks or impacts associated with the consumption of alcohol. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>

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10	Engagement and consultation for increased late night trading	A strata association in the CBD suggested the formation of a working group or a pathway for ongoing input from residents living in and around areas of increased late night trading, particularly in high density residential areas.	Assessment of any development application for later trading would include an assessment of the potential for emanating noise and dealing with it through appropriate acoustic treatment at the source. The draft LNT DCP also requires a Noise Impact Assessment prepared by a suitably qualified acoustic consultant to accompany the application. In cases of a High Impact Premises, a Statement of risks and potential effects must be prepared, which will factor into Council's assessment of the application. New premises must also submit a Plan of Management with their application that must identify measures that mitigate impacts resulting from later trading such as noise, waste management and patron behaviour.	<p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> The <i>EP&A Act 1979</i> and City of Parramatta's Community Engagement Strategy 2022-2024 outlines the minimum exhibition timeframes for development applications submitted to Council. Any development application must be publicly exhibited for a minimum of 14 days and in this time, submissions may be made toward the application. In regards to a working group, the community is encouraged to participate through submissions during the exhibition period of a development application, and follow with Liquor and Gaming NSW compliant process. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 5, Row 1 addressing future work to establish noise management processes. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
11		Submissions also emphasised the need for community input into any development application for late trading premises.	Council's Consolidated Notification Requirements require the notification of certain types of DA to owners and residents that may be impacted.	
12		The Local Police Area Command requested that they be involved in any consultation for a high impact premises in the future. Their submission also suggested that the DCP include examples of when trial periods can be cancelled.	When necessary, development applications are referred to Parramatta Local Area Command, with agreement on turnaround for comments. Council will include in their LNT DCP User Guide for Businesses examples of instances when trial periods can be cancelled.	<p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> As is current standard practice, Council's Development Assessment Team will collaborate with Parramatta Police Command where high impact premises have lodged a development application (including instances where new development or extensions to trading hours are sought). <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 3, Row 1 addressing the cancellation of trial periods. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>

Table 6 – Noise impacts

This table addresses issues related to impacts on residential amenity, mitigation measures, and impacts from specific venue, as raised by Submission 23, 28, 38, 39, 41, 45, 46, 47, 48, 51, 52, 53, 57, 61, 62, 63, 66, and 70.

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	Impacts on residential amenity	Submissions raised concerns regarding noise impacts stemming from later trading businesses. These concerns pertained to noise generated by patrons both inside and exiting venues. Most submissions made regarding noise impacts hinged on the assumption that increased or extended trading will result in more noise.	<p>Council recognises the role that good venue management practices play in ensuring a balance between a vibrant, active city and a reasonable level of residential amenity. Council is working with external stakeholders such as Liquor Accords and the NSW Police to ensure good venue management is the norm for late trading businesses in the Parramatta LGA. Conditions for consent can also be created to proactively address issues such as poor patron behaviour, safety and noise, as well as a pathway to complaint and resolution.</p> <p>The acoustic controls proposed by Council in the draft LNT DCP aim to address the potential for increased noise in the CBD as a result of increased late trading. Council recognises the need for a specific place-based approach to mitigating noise. Current Council controls treat all spatial contexts as the same. This means that the acoustic allowance for emitters could be unpractically restrictive in areas like the CBD, where residential uses can be adjacent to venues but where a higher level of vibrancy is desired. This can limit business viability of certain types of new and existing late night uses, including music, cultural and performance venues, further limited the</p>	<p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> The purpose of Section 4 – Acoustic Controls of the draft DCP is to ensure that future receiver building are appropriately constructed to respond to a vibrant night time economy. These provisions also ensure that new emitters incorporate construction or management methods to protect the residential amenity of the City. The establishment of these guidelines are to assist venue operators, residents, and regulators to understand the expected noise levels in late night trading areas. Holistically, these provisions create a foundation for the built environment to allow for increased or extended trading and manage appropriate noise levels for all uses within the City. As part of this, new receiver and emitter development applications must demonstrate compliance with the desired noise levels of the DCP (such as Table 4.3. – Mandatory Receiver Internal Entertainment Noise Criteria <small>Leq(15minute)</small> for new receivers) in order to limit impacts on residential amenity. To manage noise level expectations of new and current residents, notations have been applied in Section 10.7 planning certificates. Additionally, an updated User Guide for Businesses will be made available on Council's website. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 3, Row 1 addressing the cancellation of trial periods. Table 5, Row 1 addressing future work to establish noise management processes. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
2		Submissions raised concerns about the potential for noise from other venues to travel in different directions, and the impact this may have on residential amenity.		

3		<p>A submission from a residential association in the CBD noted that noise has increased as a result of increased activity in and around the CBD, and the impacts have not been adequately addressed.</p>	<p>opportunity to diversify Parramatta's night time economy.</p> <p>The proposed controls aim to strike a better balance between the desired levels of vibrancy and a reasonable and commensurate level of amenity for sensitive uses. The management and mitigation of noise is balanced between the emitters and receivers. Future external acoustic environments have been defined to provide certainty for noise generating uses and also allows for future sensitive development to be acoustically designed. By defining the desired future acoustic environments for both emitters and receivers, certainty can be increased for both.</p>	<p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> • The 24-Hour Economy Legislation (Vibrancy Reforms) Amendment Act 2023 prescribes any entertainment noise from a licenced premises will be regulated by NSW Liquor and gaming. Any other noise will continue to be managed by Council through conditions of development consent. • To manage noise level expectations of new and current residents, notations have been applied in Section 10.7 planning certificates. Additionally, an updated User Guide for Businesses will be made available on Council's website. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> • Table 6, Row 6 addressing the removal of late night trading hours for poorly managed venues. • Table 5, Row 9 addressing the engagement and consultation process for development applications. • Table 5, Row 1 addressing future work to establish noise management processes. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
4	Mitigation measures	<p>The submission also acknowledged the proposed acoustic criteria and expressed support for acoustically-designed developments in the future; however, the submission also noted that there is a need for existing residential buildings to have some sort of mitigation measures in place.</p> <p>Apartments in the CBD in close proximity or located within the Late Night Trading Areas may be at greater risk of impacts resulting from noise, especially during the warmer months</p>	<p>Council acknowledges that mitigation for existing buildings is an important aspect of ensuring a balance between vibrant night time activity and a reasonable and commensurate level of residential amenity.</p> <p>Council have elected to maintain the proposed controls as existing buildings are outside of the scope of a development application assessment, which the DCP provides a framework for. Mitigating noise for an existing building can be dealt with through conditions of consent and the</p>	<p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> • It is impractical for the draft DCP to provide guidance on how existing receiver developments can be altered to provide the same level of residential amenity expected from a new receiver development. • As such, late night trading areas have been proposed only where the impact on existing residential amenity is less likely. • The purpose of the draft DCP is to establish benchmark standards for new development applications to meet. • Affected residents have the opportunity to provide feedback on a late night trading venue's performance during their trial period, which can influence Council's assessment of the suitability of late night trading in that specific context.

		<p>when windows are open for natural ventilation.</p>	<p>consideration of appropriate acoustic treatment at the source.</p> <p>Council acknowledges that managing amenity and noise, especially arising from patrons, are crucial issues for the night time economy. While suggestions that are out of scope for this DCP were received, assessment of any development application for later trading would include an assessment of the potential for emanating noise and dealing with it through appropriate acoustic treatment at the source.</p> <p>The draft LNT DCP also requires a Noise Impact Assessment prepared by a suitably qualified acoustic consultant to accompany the application. In cases of a High Impact Premises, a Statement of risks and potential effects must be prepared, which will factor into Council's assessment of the application. New premises must also submit a Plan of Management with their application that must identify measures that mitigate impacts resulting from later trading such as noise, waste management and patron behaviour.</p> <p>Living in a vibrant and diverse urban centre offers many benefits to residents including exposure to local food and beverage cultural activities, live music, social gatherings, events and late trading businesses.</p> <p>The Parramatta CBD, a highly urbanised environment that operates as the Central River City that offers access to housing, employment and recreation, is not a suburban setting. Its role and significance are addressed across</p>	<p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 6, Row 1 addressing the purpose of the acoustic controls within the draft LNT DCP. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p> <p>August 2022 position is supported.</p> <p><u>Additional justification for support:</u></p> <p>Comment:</p> <ul style="list-style-type: none"> It is a venue operator's responsibility to provide solutions to address patron noise. This is to be demonstrated through detailed supplementary documentation as part of the development application process, as required by the draft DCP. As development applications are tailored to the site and its relevant sensitivities, it is not appropriate for the draft DCP to provide blanket solutions to address these issues. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
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			<p>strategic plans and policies by both Council and the State Government.</p> <p>Living in close proximity to a commercial or industrial centre can cause amenity impacts as a result of operating hours, odour, noise, lighting, traffic and measures associated with event management that new and existing residents should be aware of when moving into these precincts. In order to do this, Council have applied a notation to Section 10.7 Certificates which outline the potential amenity impacts that should be reasonably expected when living in a vibrant and diverse commercial, mixed-use or special use centre.</p>	
5	Impacts from a specific venue	<p>Several submissions raised concerns about a specific venue on the periphery of the Parramatta City Centre, citing incidences of noise stemming from patrons exiting the venue, "extended goodbyes" and conversations, and noise related to vehicles exiting the area.</p> <p>One submission expressed doubt at the effectiveness of Council policy to address these impacts.</p>	<p>Council has consulted with key internal and external stakeholders and has resolved to remove the area in question (the venue and its surrounds) from the LNTAs, following community feedback and concerns.</p> <p>Refer to Section 6 – Amendments to the draft LNT DCP of Attachment 1 – Late Night Trading DCP Community Engagement Report July 2022 to the 8 August 2022 Council report.</p> <p>Council will work through its Environmental Health and Compliance teams, as well as with businesses, Liquor Accords and the NSW Police to ensure that good venue management practices are the norm.</p>	<p>August 2022 position supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> • Council officers have consulted with internal teams including the Development and Traffic Services Unit and Environmental Health and Compliance team to investigate the suitability of this site's identification as a late night trading area. • It is noted that internal teams within Council have investigated this venue's operation and is an example of a poorly managed venue. • In response, Council have not supported this operator's subsequent development applications to pursue extended hours and expanded trading (both indoor and outdoor). <p><u>Additional notes:</u></p> <ul style="list-style-type: none"> • As indicated under Section 4.57 of the <i>Environmental Planning and Assessment Act 1979</i>, a development consent may be revoked if the Council is aware of any contraventions to the approval or plan of management along with any other legal authority's relevant penalties. • Council will seek comments from NSW Police to ensure that future Plan of Managements for high impact venues are suitable, enforceable, and are complied with.

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Table 7 – Traffic, transport and parking

This table addresses issues related to increased congestion, and the need for a range of transport options, as raised by Submissions 4, 11, 16, 18, 19, 35, 52, 65, and 70.

Row	Theme	Summary (City Strategy)	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	Increased congestion	Transport infrastructure that can enable and support the night time economy is a critical concern. Some submissions raised concerns that later trading would lead to increased traffic and congestion.	<p>The provision of accessible transport plays a critical role in supporting a vibrant and growing night time economy. Proximity of Late Night Trading Areas (LNTAs) to planned and existing transport infrastructure (high frequency and accessible public transport, such as train and bus services) was considered as part of the process. This encourages commuters to use the existing transport infrastructure, reducing the potential for congestion within Late Night Trading Areas (LNTAs).</p> <p>Assessment of any development application for later trading would assess the potential impacts of the use on surrounding traffic. If required, a Traffic Assessment would be undertaken by a suitably qualified consultant to accompany the application. If any impacts are identified, such as traffic congestion, mitigation measures would be recommended in the Assessment.</p>	<p>August 2022 position supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> The identified late night trading areas are restricted to the Parramatta City Centre which is well serviced by various transport options, including active transportation, private vehicle use, and public transportation. The LNT DCP, PDCP 2023 and PLEP 2023 work in conjunction to provide and manage appropriate levels of parking and traffic. These controls have been developed to reduce the use of private vehicles and limit congestion within the Parramatta City Centre. The provision of late night trading is unlikely to increase traffic, as the hours someone could access a service or facility may have been increased, therefore spreading out peak demand periods for traffic or transport use. Part 6 – Traffic and Transport of the PDCP 2023 specifies parking rates to typical late night trading uses (e.g. retail, restaurants, hotels, clubs, etc). Additionally, Council has contacted TfNSW to explore improved transport options (with a particular focus on ferry services) to accommodate the night time economy and major events such as those hosted at the CommBank Stadium or Riverside Theatre.
2	Need for a range of transport options	Submissions that touched upon transport indicated the need for a variety of options such as: public transport, especially late at night, and more parking. A submission made by a hospitality business in the CBD also	The Parramatta CBD is currently serviced by a high frequency train and bus network which operates during the day and late at night, and has a significant presence of carparks across the CBD	No changes to the draft LNT DCP controls are required as a result of this submission theme.

		expressed concern at the lack of transport options and parking close to their venue, which has been worsened by the ongoing construction in the CBD.	(including Station Street Car Park and Westfield Parramatta). The delivery of the Parramatta Light Rail and Sydney Metro West will also strengthen the CBD's connectivity. Council officers acknowledges that construction of these services can temporarily impact the operation of businesses, however their delivery will have long term benefits for the City and its community.	
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Table 8 – Amenity

This table addresses issues related to residential amenity and impacts from certain venues, as raised by Submissions 18, 19, 20, 29, 38, 39, 41, 44, 48, 52, 53, 61, 62, 63, 70.

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	Residential amenity	Impact on amenity is a key concern for residents of the LGA. In particular, residents outside the Parramatta CBD were concerned that they could be negatively affected by extended late night trading.	Refer to Table 4, Row 2 addressing the proximity of LNTAs to sensitive uses. Refer to Table 6, Row 4 addressing mitigation measures to maintain noise amenity for residents.	Updated position June 2024 <u>Additional note:</u> The Late Night Trading Areas have been refined to the Parramatta City Centre to focus its importance as a 24 hour economy area. Any late night trading venue outside of the LNTAs will still be considered on merit (subject to zoning permissibility). No changes to the draft LNT DCP controls are proposed as a result of this submission theme.
		Some submissions were concerned that any major changes would be unfair to property owners that did not expect to be living near a night time precinct.	Devaluation of property prices is not a matter for consideration under Section 4.15 of the <i>Environmental Planning and Assessment Act 1979</i> .	
2	Impacts from a specific venue	Several submissions also raised concerns about a specific venue on the periphery of the Parramatta City Centre (see noise impacts theme), stating that if trading hours were extended it could result in significant amenity and quality of life impacts for residents in the surrounding area.	Refer to Table 6, Row 3 addressing the removal of specific venues from the late night trading areas.	August 2022 position supported. <u>Additional justification for support:</u> <ul style="list-style-type: none"> • Council does not support poor venue management and are working to minimise the negative social and environmental impacts of late night trading. • The management of these issues is a core function of the draft LNT DCP.

				<p><u>Refer to:</u></p> <ul style="list-style-type: none"> • Table 6, Row 6 addressing the removal of specific venues from the late night trading areas. • Table 9, Row 1 addressing the relationship between the late night trading areas and safety.
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Table 9 – Safety

This table addresses issues related to the relationship between late night trading and safety, management of patron behaviour, and impacts from specific venues, as raised by Submissions 18, 19, 20, 29, 39, 45, 72

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	Relationship of late night trading and safety	<p>Submissions raised concerns regarding safety, security, violence and antisocial behaviour, particularly at night. Several submissions that addressed potential noise impacts from intoxicated patrons were also worried about an increase in crime. Some submissions requested that surveillance measures (appropriate lighting, security, CCTV, and wayfinding) be considered.</p> <p>One submission objected to allowing trading after midnight, referencing safety issues that were prevalent in Kings Cross and on Oxford and George Street in the Sydney CBD prior to the introduction of lockout laws.</p>	<p>Ensuring Parramatta is safe is at the forefront of Council's work in developing Parramatta as a night city. A city with a broad range of uses and activities at night, not just licensed uses, attracts different groups of people and encourages people to engage with Parramatta at all times of the day.</p> <p>By facilitating the growth of the night time economy in Parramatta and encouraging later trading for all types of businesses, the draft LNT DCP can play a role in making Parramatta feel safe at night. Council would like to note that the draft LNT DCP does not apply retrospectively. Proponents must lodge a modification application for existing premises or a new development application for new premises in order to avail of the new proposed base hours. Extended trading hours will only be granted through a trial period of up to 12 months. Council reserves the right to cancel a trial period or to deny granting extended trading</p>	<p>August 2022 position is supported.</p> <p><u>Additional justification:</u></p> <ul style="list-style-type: none"> • Parramatta City Centre is internationally recognised for its safe, well-managed, and diverse offerings, as highlighted by the City's Purple Flag Accreditation received in June 2023. • The draft DCP provides strict criteria (via the Plan of Management) which venue operators must adhere to in order to maintain residential amenity and safety. • The Plan of Management requirements under Section 5.1.1 – High Impact Premises in LNT DCP outlines Council's expectation for security and safety strategies which operators must incorporate. Through this exhibition process, Parramatta Police Area Command have provided support for the level of detail for this requirement. <p><u>Additional note:</u></p> <ul style="list-style-type: none"> • Council, L&GNSW and the Police will continue to work together to improve safety and address issues as they arise. <p>No changes to the draft LNT DCP controls are required as a result of this submission theme.</p>

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			<p>hours should a premises not demonstrate good venue management practices.</p> <p>Any application for a high or low impact premises must also include a Plan of Management, which covers crucial premises management measures, as well as any arrangements made for the provision of safety, security and management of patron behaviour.</p>	
2	Managing patron behaviour	<p>A submission from a strata association in the CBD gave praise to a licensed venue in the Parramatta CBD that addressed safety issues. This example cited that security of the licensed venue are proactive in moving patrons on after they leave a venue to ensure they do not negatively impact the amenity of surrounding residents.</p>	<p>Noted.</p> <p>Council is working with external stakeholders such as businesses, Liquor Accords and the NSW Police to ensure good venue management is the norm for late trading businesses in the Parramatta LGA.</p>	<p>August 2022 position is supported.</p> <p><u>Additional justification:</u></p> <ul style="list-style-type: none"> • Venue operators are expected to demonstrate appropriate management strategies for such situations in their Plan of Management. • Should an authorised person (licensee, employee, or police officer) request that an intoxicated person be evicted from the premises, then that person must leave both the premises and the vicinity of the premises (i.e. "move on".) Refusal to leave a licensed premises is an offence under the <i>Liquor Act 2007</i>. • Further legislative requirements to manage the consumption of alcohol and the behaviour of patrons are outlined in the <i>Liquor Act 2007</i>. <p>No changes to the draft LNT DCP controls are required as a result of this submission theme.</p>
3	Impacts from a specific venue	<p>As with the theme of noise impacts, several submissions raised concerns about a specific venue on the periphery of the Parramatta City Centre, citing incidences of violence and antisocial behaviour stemming from intoxicated patrons exiting the venue. These submissions voiced a critical concern for the safety of residents in the surrounding area if trading hours were to be extended.</p>	<p>Refer to Table 6, Row 3 addressing the removal of specific venues from the late night trading areas.</p> <p>Refer to Table 9, Row 1 addressing the relationship of late night trading and safety.</p>	<p>August 2022 position supported.</p> <p><u>Refer to:</u></p> <ul style="list-style-type: none"> • Table 6, Row 6 addressing the removal of specific venues from the late night trading areas. • Table 8, Row 8 about Council not supporting poor venue management, and good venue management being a objective of the DCP controls. • Table 9, Row 1 addressing the relationship between the late night trading areas and safety. <p>No changes to the draft LNT DCP controls are required as a result of this submission theme.</p>

Table 10 – Other recommendations

This table addresses issues related to further actions, night time activation and mitigation measures, as raised by Submissions 22, 54, and 72.

Row	Theme	Summary	Council Officer Response	
			August 2022 Council Report	June 2024 Council Report
1	Further actions	Many submissions included recommendations that lie outside the scope of the DCP. Council acknowledges these recommendations as they are still important to consider, particularly where they align with the objectives and strategic actions of the Night City Framework.	Support for the development of the night time economy in Parramatta is noted and welcomed by Council. Council officers acknowledges the need for activities that facilitate the growth and development of the night time economy, and for these activities to be aligned to Council's ambitions and visions for the LGA. The draft LNT DCP is one tool in the broad spectrum of Council and State-led initiatives to support the State's economic recovery.	<p>August 2022 position supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> It is acknowledged that the introduction of late night trading controls presents an opportunity for the community to provide ideas for desired future outcomes. The draft DCP is one component of the Parramatta Night City Framework 2020-2024, further strategic work to expand the City's night time economy (including incentive mechanisms and noise management guidelines) are to be investigated as separate projects or through future review of this DCP following its finalisation.
2		A business chamber recommended further investment and policy reform to achieve Council's vision for a late-night economy. The chamber also emphasised that the DCP presented an opportunity to create an incentive scheme to support cultural and entertainment venues and theatres underneath new developments to manage noise and other impacts.	Policy changes such as the Fun SEPP and the changes applied to the <i>State Environmental Planning Policy (Exempt and Complying Development Codes) 2008</i> or Codes SEPP aim to make it easier for businesses to recover from the impacts of the pandemic by enabling innovative changes to the ways they can operate and activate. Council's alignment with broader State Government policy directions ensure a consistent and balanced approach to supporting businesses and reconnecting communities to their local areas.	<p><u>Refer to:</u></p> <ul style="list-style-type: none"> "Our Goals and Actions" section of the Parramatta Night City Framework 2020-2024. Table 6, Row 1 highlighting communication streams to manage noise level expectations for current and future residents. <p>No changes to the draft LNT DCP controls are proposed as a result of this submission theme.</p>
3		Another business chamber also made suggestions regarding noise impacts, recommending that Council create an education campaign to help set the expectations for acoustic living conditions in the CBD.	While the suggestions around further policy reform, incentive schemes and an education campaign are outside of the	

4		The issue of accessibility was also addressed by a submission from a business operator, requesting that it be clarified that proposed new venues abide by strict accessibility codes to ensure all people can enjoy the night time economy.	scope of the draft LNT DCP, Council is committed to supporting the growth of the night time economy holistically. Council will continue to work with its internal and external stakeholders and with the community in order to do this.	<p>August 2022 position supported.</p> <p><u>Additional justification for support:</u></p> <ul style="list-style-type: none"> This issue is addressed in Section 2.11 – Access for People with a Disability of the Parramatta DCP 2023. The design of venues to accommodate people with a disability is primarily guided by the Building Code of Australia, the <i>Disability Discrimination Act 1992</i>, and relevant Australian Standards. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Section 2.11 – Access for People with a Disability of the Parramatta DCP 2023. <p>No changes to the draft LNT DCP controls are required as a result of this submission theme.</p>
5	Night time activation	Several submissions expressed interest in seeing more late night markets, food trucks and live music. In particular, the Riverside Theatre and surrounding area was singled out as a space with great potential to become more vibrant. Some submissions suggested using late night shopping and dining along the river and bridges to boost the attractiveness of the space.	Noted. Council is working with the State Government to continue the redevelopment of Riverside Theatres.	<p>August 2022 position supported.</p> <p><u>Justification for support:</u></p> <ul style="list-style-type: none"> The redevelopment of the Riverside Theatre is currently being actioned as a separate project. The draft DCP is one component of the Parramatta Night City Framework 2020-2024, further strategic work to expand the City's night time economy (including the activities suggested) are to be investigated as separate projects, future review of the Night City Framework, or through a future review of this DCP following its finalisation. <p><u>Refer to:</u></p> <ul style="list-style-type: none"> Table 4, Row 8 addressing the expansion of the late night trading area map. Parramatta Night City Framework 2020-2024 <p>No changes to the draft LNT DCP controls are required as a result of this submission theme.</p>
6	Mitigation measures	A submission from a resident in the CBD suggested that license venues operating past midnight in particular areas of the CBD should be required to jointly fund and/or provide security services in immediate vicinity to ensure	Council recognises the role that good venue management practices play in ensuring a balance between a vibrant, active city and a reasonable level of residential amenity; however, the suggestion is outside of the scope of the draft LNT DCP Council is working with	<p>August 2022 position supported.</p> <p><u>Justification for support:</u></p> <ul style="list-style-type: none"> It is not a function of the draft DCP to regulate how operators financially collaborate to ensure patrons are moved on from the area.

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		<p>that intoxicated persons would be moved on from the area.</p>	<p>external stakeholders such as Liquor Accords and the NSW Police to ensure good venue management is the norm for late trading businesses in the Parramatta LGA.</p>	<p><u>Refer to:</u></p> <ul style="list-style-type: none"> • Table 4, Row 8 addressing the expansion of the late night trading area map. • Table 9, Row 2 addressing management of crowds or individuals leaving a venue. <p>No changes to the draft LNT DCP controls are required as a result of this submission theme.</p>
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Submission Summary Table

Part C - Submissions from organisations and public authorities

This section provides a detailed summary and response to key issues raised by organisations and public authorities. Some issues may have been incorporated in Part B Tables 1 to 10 above, with references to the 8 August 2022 Council report (Item 13.9) where appropriate.

The purpose of this section is to provide detailed summaries and responses to key issues raised by industry-specific organisations and public authorities.

Parramatta Liquor Accord

Submission number 72

Row	Theme	Summary	June 2024 Council Report
1	General	Supports the principle of the draft LNT DCP, however requests some amendments based on valuable industry-informed advice.	Noted. Subsequent meetings between Council officers and the Parramatta Liquor Accord were held following receipt of this submission to the public exhibition, with the latest meeting occurring on 23 May 2024 – see the Council Report and Attachment 3 for complete details.
2	Plan of Management	Requests a pro-forma Plan of Management that Council deems as acceptable to be included in Section 5.1 to clarify Council's acceptable standards.	See Council response and proposed amendment(s) to the DCP controls in: <ul style="list-style-type: none"> Table 3, Row 3 addressing availability of supplementary material and template to guide the preparation of a Plan of Management by a proponent. As a result of this submission and for other reasons discussed in this Attachment and Council Report, a template Plan of Management is supported and will be provided on Council's website.
3	Acoustic measurements	States that the inclusion of existing late night trading venues within Figure 2.1 – Late Night Trading Areas in Parramatta would assist in the regulating adequate acoustic protection measures for new receiver developments.	See Council response in: <ul style="list-style-type: none"> Table 6, Row 1 addressing mitigation measures for receiver developments. Table 3, Row 4 addressing the designation of Late Night Trading Areas.

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Row	Theme	Summary	June 2024 Council Report
4		Requests that existing late-night trading venues should be identified in Figure 2.1 – Late Night Trading Areas in Parramatta . States that the inclusion of these venues would assist Council officers with guiding future assessments and educate the community or where to expect vibrant late night trading options.	<p>Further comment: The intention of the draft Late Night Trading DCP is to provide guidance for venues both within and outside identified LNTAs areas to facilitate the growth of the night time economy. As part of the development application package for new receiver developments, an acoustic report prepared by a qualified acoustic consultant ensures that the appropriate level of sound mitigation measures are undertaken. This takes into consideration relevant sound levels emitted from surrounding late night trading venues, regardless of their identification in Figure 2.1 of the draft DCP.</p> <p>The assessment of a late night trading application will have regard to the requirements of the draft Late Night Trading DCP, the venue's Plan of Management, and the appropriateness of the site for the proposed activities. The approved hours and uses of surrounding late night trading venues will not directly influence this process, as those conditions relate to the existing site and the management of that venue.</p> <p>As such, it is not considered necessary to include existing late night trading venues in Figure 2.1 – Late Night Trading Areas in Parramatta.</p> <p>No changes to the draft LNT DCP controls are required to address this issue.</p>
4	Conditions of consent	Requests that Council apply a condition of consent to future Development Approvals that require membership with the Parramatta Liquor Accord.	<p>See Council response in:</p> <ul style="list-style-type: none"> • Table 1, Row 4 addressing Council's position regarding membership and collaboration with local Liquor Accords. <p>No changes to the draft LNT DCP controls are required to address this issue.</p>
5		Requests that Council staff continue to attend Parramatta Liquor Accord meetings to share knowledge of best practice with licences.	
6		Suggests that Council work with the Accord to establish a process to identify poorly behaved patrons and prevent them from returning to venues. Notes that this would be helpful to identify isolated incidents that may jeopardise a venue's trial period.	
7	Education	Suggests that Council embark on an Educational Campaign to establish and enforce standard expectations for acoustic living conditions in areas within of close to the night time economy.	<p>See Council response in:</p> <ul style="list-style-type: none"> • Table 5, Row 4 addressing supplementary resources for residents within LNTAs. • Table 6, Row 2 addressing mitigation measures for residents of receiver developments. <p>Further comment: The Council Report states that notations on Section 10.7 planning certificates will be applied to outline the potential amenity impacts that should be reasonably expected when living in a vibrant and diverse commercial, mixed-use or special use centre.</p>

Row	Theme	Summary	June 2024 Council Report
			As a result of this submission and for other reasons discussed in the Council Report, the notations on Section 10.7 planning certificates will be applied.
8	Merit Assessment	Supports the character and activity statements regarding each LNTA, including key amenity characteristics to preserve when assessing a late night trading DA.	Noted.
9		<p>Considers the wording of the draft DCP to imply that merit-based assessment, as required under the <i>Environmental Planning and Assessment Act 1979</i>, is not possible through the draft DCP.</p> <p>States that hours of operations for indoor and outdoor venues are pre-determined through the designation of LNTAs, and are too restrictive. Requests the deletion of controls that suggest that merit-based assessment cannot be achieved.</p>	<p>See Council response in:</p> <ul style="list-style-type: none"> • Table 2, Row 1 addressing merit based assessment under the draft LNT DCP. • Table 2, Row 2 addressing indoor and outdoor trading hours. <p>Further comment: Alignment of indoor and outdoor areas have not been prescribed in Table 3.1 Base and extended trading hours of the DCP. However, outdoor areas can seek extended hours subject to merit assessment and trial period.</p> <p>As a result of this submission and for other reasons outlined in the Council report, clarification amendments have been made to:</p> <ul style="list-style-type: none"> - Section 1.1 Application of this Part of the DCP to clarify where controls apply; and - Section 3.1 Base and extended trading hours to clarify applicants can seek alignment of indoor and outdoor trading hours subject to a merit assessment and trial period(s).
11	Trading hours	States that the exhibited maximum hours of operation are limiting the possibility for late night trading hours in key areas, such as Church Street in Parramatta. Considers this to stifle the potential for the night time economy.	<p>Comment:</p> <p>Base and extended trading hours in Section 3.1 Hours of Operation in the DCP are proposed to be amended for indoor and outdoor uses within LNTAs 1 and 2 (which includes Church Street 'Eat Street'). Base hours for LNTA 1 now 24hrs (formerly until 2am) and extended hours for LNTA 2 now 24 hrs (formerly 3am).</p> <p>These amended hours better reflects the desire for a 24hr city, with the extended hours subject to new, longer trial periods, with the benefits to businesses of this being, greater certainty on investment decisions, allows time for businesses to refine operations and to demonstrate good management practices.</p> <p>The DCP controls have also been amended to clarify the DCP controls do not affect existing businesses operating with a valid consent; and a table has been included making clear that new emitter premises or existing emitter premises proposing modifications will be subject to a</p>

Row	Theme	Summary	June 2024 Council Report
			<p>merit assessment. This clarification is provided in Section 1.1 Application of this Part of the DCP.</p> <p>See also Council response in:</p> <ul style="list-style-type: none"> • Table 4, Row 10 addressing the designation of Church Street as LNTA 2. <p>As a result of this submission and for other reasons outlined in the Council report, amendments have been made to the DCP controls in Sections 1.1 and 3.1.</p>
12		<p>Requests indoor and outdoor hours to be aligned, noting that failing to do so would result in difficulties in influencing patron behaviour who might enter the public domain for the purpose of smoking or fresh air.</p>	<p>See Council response in:</p> <ul style="list-style-type: none"> • Row 9 above in this table • See Table 2, Row 2 addressing extended trading hours proposed under the draft LNT DCP. <p>As a result of this submission and for other reasons outlined in the Council report, clarification amendments have been made to Section 3.1 Base and extended trading hours to clarify applicants can seek alignment of indoor and outdoor trading hours subject to a merit assessment and trial period(s).</p>
13		<p>Comments that trading hours and noise criteria are misaligned with the Independent Liquor & Gaming Authority. Considers a secondary set of policies to be unnecessary.</p>	<p>Since this submission was received the 24-Hour Legislation <i>Liquor Amendment (Vibrancy Reforms) Bill 2023</i> was passed by the NSW Parliament on 30 November 2023. The Reforms make clear that acoustic controls for licensed and non-licensed venues are imposed by councils through the development consent; and the lead regulator for noise complaints related to entertainment sound emanating from licensed premises is Liquor and Gaming NSW. For other noise complaints, councils are the regulator.</p> <p>Further, since the passing of the 24 hour Economy Act, L&G NSW has no longer applied noise conditions on a liquor licence. The Acoustic controls in Part 4 of the DCP will apply to applications within LNTA's for new emitters and for existing emitters proposing significant modifications. Some minor amendments are proposed to these controls in response to trading hours. The NSW Environmental Protection Authority Noise Policy for Industry 2017 will continue to govern existing emitter premises within LNTA's proposing minor works and all uses outside of identified LNTA's in the Paramatta City Centre.</p> <p>This submission has also been forwarded to Council's Environmental Health and Compliance teams for their information.</p> <p>See also Council response in:</p>

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Submission Summary Table

Row	Theme	Summary	June 2024 Council Report
			<ul style="list-style-type: none"> Table 1, Row 1 addressing the alignment of hours and noise criteria proposed under the draft LNT DCP against Liquor & Gaming NSW. <p>No changes to the draft LNT DCP controls are required to address this issue.</p>
14		Considers the use of trial periods to dissuade venue operators from business improvements and expansion, and will dissuade lenders from investing in the City. States that this will result in low-quality fit outs.	<p>See Council response in:</p> <ul style="list-style-type: none"> Table 3, Row 1 addressing the trial periods. <p>Comment:</p>
15		Requests the use of only one 12-month trial period, after which the extended hours should be formalised as base hours without the requirement of a modification Development Application. Acknowledges that this is subject to an operator fulfilling the requirements of their conditions of consent.	<p>It is not a function of the draft DCP to guide the quality of a venue's fit out.</p> <p>Council officers maintain that a review of a venue's trial period at 2 and 5 years, by way of a Section 4.55 Modification Application, is required to finalise extended hours. This is to:</p> <ul style="list-style-type: none"> allow for a community consultation period, assess the appropriateness of the site's proposed use, ensure compliance with and allow for a review of the Plan of Management, and to protect the existing amenity of the site's context. <p>It is noted that the trial periods proposed in the draft Late Night Trading DCP are less onerous than other Councils. The City of Sydney requires applicants to undergo 3 separate trial periods for a total of 8 years, followed by a renewal process every 5 years. This is considered appropriate to allow for the continued assessment of the suitability of extended hours.</p> <p>Further, most other councils in Sydney have trial period in perpetuity, whereas for applicants within Parramatta LGA, following successful completion of the two trial periods, Council at its sole discretion may allow permanency of the extended hours. This would be subject to updated and approved Plans of Management and appropriate conditions of consent.</p> <p>Trial periods are used to enable Council, the Parramatta Local Area Command and the community to assess and manage any impacts arising from extended trading.</p> <p>For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.</p>

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Submission Summary Table

Liquor & Gaming NSW (Officer level)

Submission number 22

Row	Theme	Summary	June 2024 Council Report
1	Definition of low and high-impact premises	Under Section 1.2 – Proposed Premises Categories , Liquor and Gaming NSW (L&GNSW) suggest clarifying the references to certain types of liquor licences.	<p>Comment:</p> <p>Section 1.2 – Proposed Premises Categories is intended to provide guidance as to whether a proposed venue is considered a “High Impact” or “Low Impact” premises. The criteria for this are influenced by the premises’ impact on the environment (including noise, use, and social impacts), rather than the type of liquor licence a venue may hold.</p> <p>As such, it is not considered appropriate to strictly align this criteria with certain types of liquor licences. Where appropriate to the sale/consumption of alcohol, Council officers have aligned the wording in Section 1.2 to certain licences and terms under the <i>Liquor Act 2007</i>.</p> <p>As a result of the submission, amendments will be made to the relevant section of the draft DCP.</p>
2		L&GNSW note “nightclubs” are not a defined class under on-premises licences in Liquor Act 2007 and fit within the definition of a “public entertainment venue”.	<p>Comment:</p> <p>The wording of Section 1.2 – Proposed Premises Categories has been amended to clarify the venue use as indicated in the <i>Liquor Act 2007</i>. The amendment is as follows:</p> <p><i>d) An on-premises licence within the meaning of the Liquor Act 2007 where the primary business or activity carried out on the premises is that of a public entertainment venue - nightclub, with a capacity of more than 120 patrons;</i></p> <p>As a result of the submission, amendments will be made to the relevant section of the draft DCP controls to replace ‘nightclubs’ with ‘public entertainment venue’.</p>
3		Under low-impact premises, L&GNSW note the reference to a “micro-brewery and small distillery licence” is technically incorrect as there is no such licence under the <i>Liquor Act 2007</i> .	<p>Comment:</p> <p>The wording of Section 1.2 – Proposed Premises Categories has been amended to reference the licence which authorises micro-brewery and small distillery uses as identified in the <i>Liquor Act 2007</i>. The amendment is as follows:</p> <p><i>c) A premise with special authorisation for a micro-brewery and or small distillery licence, as part of a producer/wholesaler licence, with a capacity of 120 patrons or fewer;</i></p> <p>As a result of the submission, amendments will be made to the relevant section of the draft DCP controls to replace ‘nightclubs’ with ‘public entertainment venue’.</p>

Row	Theme	Summary	June 2024 Council Report
4	Managing noise impacts in LNTAs	<p>L&GNSW recommend Council formally 'opt in' to become the primary channel for managing complaints from residents and businesses regarding noise within licensed venues. To support this, L&GNSW recommends the LNT DCP provides clear processes on how to make noise related complaints to Council (or the Police).</p> <p>In this situation, L&GNSW will no longer be an additional stakeholder in complaint management rather only dealing with complaints referred to the agency by Council or Police. An example would be if the complaint relates to an existing liquor licence condition or patron noise outside a venue.</p>	<p>Comment:</p> <p>Since this submission was received the 24-Hour Legislation <i>Liquor Amendment (Vibrancy Reforms) Bill 2023</i> was passed by the NSW Parliament on 30 November 2023. The Reforms make clear that acoustic controls for licensed and non-licensed and venues are imposed by councils through the development consent; and the lead regulator for noise complaints related to entertainment sound emanating from licensed premises is Liquor and Gaming NSW. For other noise complaints, councils are the regulator.</p> <p>Further, since the passing of the 24 hour Economy Act, L&G NSW has no longer applied noise conditions on a liquor licence. The Acoustic controls in Part 4 of the DCP will apply to applications within LNTA's for new emitters and for existing emitters proposing significant modifications. Some minor amendments are proposed to these controls in response to trading hours. The NSW Environmental Protection Authority Noise Policy for Industry 2017 will continue to govern existing emitter premises within LNTA's proposing minor works and all uses outside of identified LNTA's in the Paramatta City Centre.</p> <p>This submission has also been forwarded to Council's Environmental Health and Compliance teams for their information.</p> <p>See also the Council response in:</p> <ul style="list-style-type: none"> • Table 5, Row 1 addressing the development of reporting processes to manage noise expectations and complaints. • Table 5, Row 4 addressing noise expectations for residents living in late night trading areas. <p>As a result of the submission, amendments will be made to the "User Guide for Businesses".</p>
5		<p>L&GNSW request that if Council becomes the primary and initial contact point for complaints – that Council wholly understand and is able to communicate the prescribed noise criteria and the needs of the local community whilst supporting clearer pathways to lodge and respond to noise complaints. L&GNSW note this would reduce complainants referring their issues to multiple agencies until they receive their desired outcome.</p> <p>The following link provides more information on how Council can manage noise complaints: Live Music and Entertainment - Liquor & Gaming NSW</p>	
6	Draft User Guide for Businesses	<p>L&GNSW note the agency does not have noise guidelines. The agency suggests the reference to 'Liquor & Gaming guidelines' on page 10 in the draft User Guide for Businesses be amended to:</p> <p>"Liquor and Gaming's approach to disturbance complaints made under section 79 of the Liquor Act 2007".</p>	<p>Noted.</p> <p>As a result of the submission, amendments will be made to the "User Guide for Businesses".</p>

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Submission Summary Table

Museum of Applied Arts and Sciences (Parramatta Powerhouse)

Submission number 69

Row	Theme	Summary (City Strategy)	June 2024 Council Report
1	General Objectives	Powerhouse Parramatta broadly supports the general objectives outlined by Section 2.1 within the LNT DCP and aims to achieve each of the objectives for the night-time economy through its operation, location, programming, management practices, offerings and integration with the City's innovation, culture, activity and growth.	Noted.
		The Powerhouse supports the proposed operating hours regarding high and low impact venues and indoor and outdoor trading outlined in the LNT DCP. The Powerhouse notes the location of the Museum at the end of the Civic Link and supports the growth of late-night trading areas in LNTA 1.	Noted.
		Powerhouse will ensure that impacts from late night trading premises are managed to protect amenity in the surrounding environment by being classified within LNTA 1. Powerhouse will manage noise and sound by ensuring the development of event management plans that document standards and procedures for managing noise, sound and light for night-time events.	Noted.
4		Powerhouse aims to be a model operator and operate within prescribed regulations and approved conditions.	Noted.
5		Powerhouse will operate as a 24-hour precinct with good management practices to model and encourage the use of extended trading hours for other venues.	Noted.
6		Powerhouse will provide dynamic programming to contribute to the City's vibrancy whilst providing food and beverage consistent with its current programming and the evolving community.	Noted.
7		Powerhouse aims to encourage a broad and inclusive mix of night time activity within the city and will offer dining, retail, performance cultural uses that reflect the needs of the community.	Noted.

NSW Small Business Commissioner

Submission number 71

Row	Theme	Summary	June 2024 Council Report
1	General Objectives	The Commission encourages the City to explore further legislative opportunities to further activate late night trading. An example includes the promotion and facilitation of potential secondary uses for existing business premises at a different time of day.	<p>Comment:</p> <p>As stated in the Parramatta Night City Framework 2020-2024, the Late Night Trading DCP controls is one component of Council's broader vision to activate late night trading. The purpose of the draft DCP controls is to provide a foundation for the development and growth of the night time economy.</p>

Draft Parramatta Late Night Trading DCP 2024

Submission Summary Table

Row	Theme	Summary	June 2024 Council Report
			<p>Council officers direct the submitter to the "Our Goals and Actions" section of the Night City Framework, which details future projects (including changes to the <i>Parramatta Local Environmental Plan 2023</i>) that are envisioned to increase diversity in late night activity.</p> <p>For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.</p>
2		<p>The Commission suggests making provisions that allow for the approval of multiple development consents on one property to:</p> <ul style="list-style-type: none"> activate commercial spaces that would otherwise be closed allow business collaborators to share infrastructure and fixed costs promote the development of a 24-hour precinct. 	<p>Comment:</p> <p>The submitter's request for provisions that allow multiple development approvals to apply to one property is beyond the scope of the draft Late Night Trading DCP controls. Similarly, incentive mechanisms to share financial loads between developers/ businesses is not a function of the draft DCP controls.</p> <p>Council's <i>Parramatta Night City Framework 2020-2024</i> is the overarching strategy which promotes the development of a vibrant late night economy – this has been recognised internationally, as seen in the Parramatta City Centre's Purple Flag accreditation in May 2023.</p> <p>Refer to the row directly above for further information on the Parramatta Night City Framework 2020-2024.</p> <p>For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.</p>

Parramatta Police Area Command

Submission number 73

Row	Theme	Summary	June 2024 Council Report
1	Trading Hours	<p>Parramatta Police consider themselves a key stakeholder in assessing management performance of venues in the compliance of relevant legislation (Liquor & Gaming NSW, Environmental Planning, Noise, Security).</p>	<p>Comment:</p> <p>Council acknowledges the Police are key stakeholders, and there are existing controls in the DCP requiring Police involvement in the DA assessment including:</p> <ul style="list-style-type: none"> As is current standard practice, Council's development assessment team consult with Parramatta Police where high impact premises have lodged a development application. At the completion of a trial (C.02 and C.04 in Section 3.2) As part of the Plan of Management (Section 5)

Row	Theme	Summary	June 2024 Council Report
			This submission has also been forwarded to Council's application assessment teams for their information.
2		Parramatta Police suggest definitions be added to Section 3.2 – Extended Trading Hours Trial Periods, C.03 to clarify what "poor venue management" means and provide examples of instances where trial hours could be cancelled. This would provide Police and venue operators a clear indication of what would result in a possible cancellation of their trial hours.	<p>See also Table 3, Row 1.</p> <p>Additional comment:</p> <p>Controls C.03 and C.04 of Section 3.2 identifies criteria for venues where extended hours are sought. As these factors determine the appropriateness of extended hours, this criterion additionally forms the basis of which trial periods can be cancelled.</p> <p>To clarify Council's expectations of good venue management, examples of when trial periods can be cancelled will be included in the updated "User Guide for Businesses" to be made available on Council's website.</p> <p>As a result of the submission, examples will be included in the User Business Guide about what constitutes poor venue management.</p>
3		Parramatta Police encourage continued consultation with Council in relation to any changes to the base hours or extended hours for high impact premises (including new developments and extension of trading hours) in the Parramatta Police Area Command.	<p>Comment:</p> <p>As noted above, it is standard practice for Council's development assessment team to consult with Parramatta Police where high impact premises have lodged a development application (including instances where new development or extensions to trading hours are sought). This is noted to be current standard practice, as seen in the recently approved Albion Hotel at 20 Smith Street (DA/858/2022). Should consultation not be feasible, Council will refer plans of</p>

Row	Theme	Summary	June 2024 Council Report
4	Plan of Management	<p>Parramatta Police would like to raise the significance of wording in development consents to ensure that plans of management are enforceable by relevant authorities. They note that many development consents provided by other Councils can be circumvented due to poor wording.</p> <p>It is recommended that clear reference to the Plan of Management, and responsible authorities be stated as a condition of consent.</p> <p>An example is provided below: "The premises must be operated and managed in accordance with the Plan of Management prepared for 123 Random Street, Parramatta and as approved by D/1234/56" and "The plan of management can only be varied if approved by City of Parramatta Council" and "A copy of this development consent and the approved plan of management must be kept on the premises at all times and made available to Council inspectors or police immediately upon request."</p> <p>If consultation with Police is not feasible, Police request Council refer plans of management to them for the assessment of risk factors and appropriate mitigation strategies are included prior to finalisation and approval.</p>	<p>management to Parramatta Police to provide comments regarding appropriate risk mitigation strategies.</p> <p>This will ensure that appropriately worded, enforceable conditions of consent are applied to development approvals, as recommended by Parramatta Police.</p> <p>This submission has been forwarded to Council's application assessment teams for their information.</p> <p>For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.</p>
5		<p>Parramatta Police support the level of detail provided in Section 6.1.1, g) in regards to 'Security and Safety' considerations in the plan of management for 'High Impact Premises'.</p>	<p>Noted. See comments above.</p>
7		<p>Police raises concern that signing a declaration by the licensee or venue manager is not strictly enforceable. Parramatta Police raise that not having signed the declaration can be used as a logical defence for non-compliance.</p>	<p>Comment:</p> <p>As stated in Section 5.1 – Plan of Management Requirements of the draft DCP, it is a requirement that licensees/managers provide a signed declaration that they have read, understood, and agree to uphold the Plan of Management.</p> <p>Should an unsigned Plan of Management be approved in a future development approval, it is anticipated that compliance be enforced through either conditions of development consent or</p>

Row	Theme	Summary	June 2024 Council Report
			liquor licence conditions that explicitly requires adherence with an approved Plan of Management. For the above reasons, no changes to the draft LNT DCP controls are required as a result of this submission.
8		If the declaration is kept as a requirement, Parramatta Police request wording to the effect of "upon taking over as a licensee or approved manager of the premises, the new licensee or approved manager must read and sign the plan" be included to ensure compliance and better enforcement measures.	Comment: This comment regarding the transfer of responsibilities to a new licensee or approved manager is noted, and a statement along the lines of that suggested by the Parramatta Police Area Command has been included in the DCP, specifically, Section 5.1 Plan of Management requirements [introductory comments]: <i>Council also encourages new licensees or approved managers when taking over a venue with an existing approval, that the Plan of Management for the venue is read and sign by the new licensee or approved manager.</i> As a result of the submission, amendments have been made to the relevant section of the draft DCP controls to include the suggested wording.

Attachment 3 – Comparison of the mapped Late Night Trading Area categories

The maps in this document are of the Late Night Trading Area (LNTA) categories, and provided here for comparative purposes between the original exhibited map in December/January 2022 and the proposed map for Council adoption in this Council report.

- Figure 1: Map of the LNTA categories **recommended for adoption** in this Council Report for 24 June 2024 meeting.
- Figure 2a: Map of the LNTA categories across the LGA **as exhibited** in December 2021- January 2022
- Figure 2b: Map of the LNTA categories within the Parramatta CBD **as exhibited** in December 2021- January 2022

Figure 1: Map of the LNTA categories recommended for adoption in this Council Report for 24 June 2024 meeting.

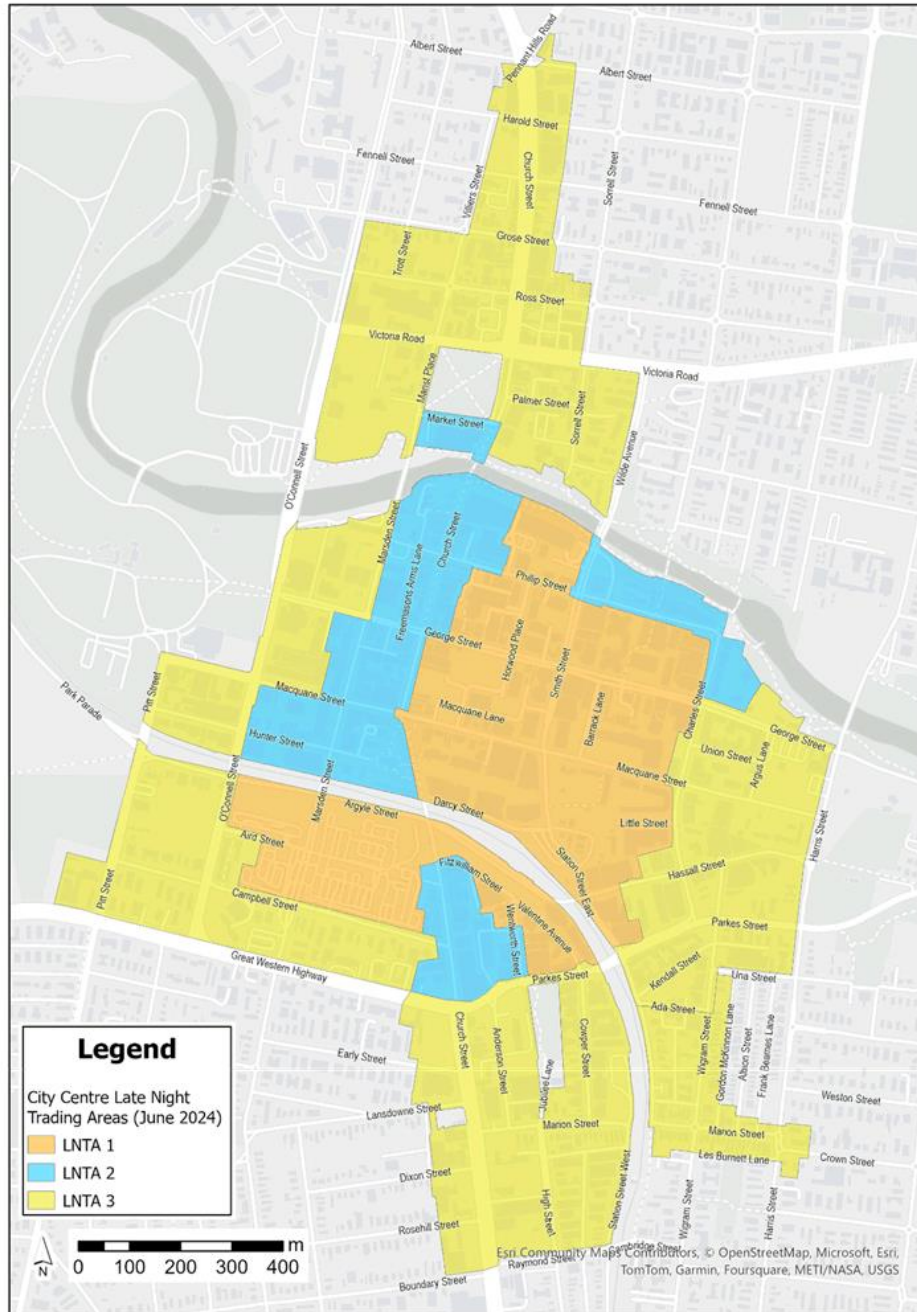


Figure 2a: Map of the LNTA categories across the LGA as exhibited in December 2021- January 2022

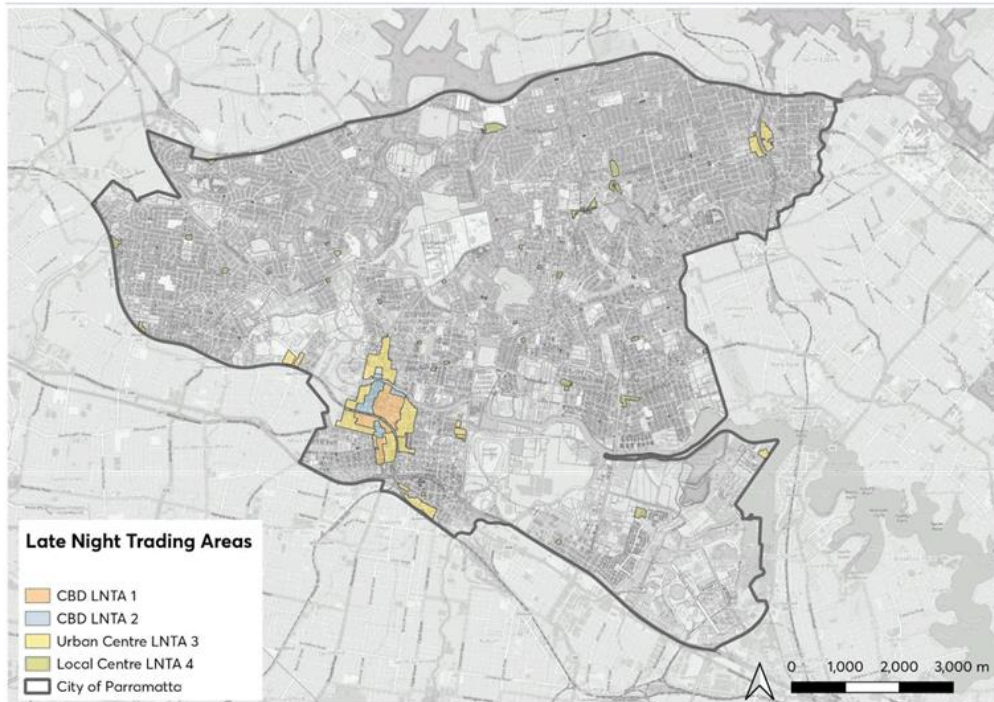
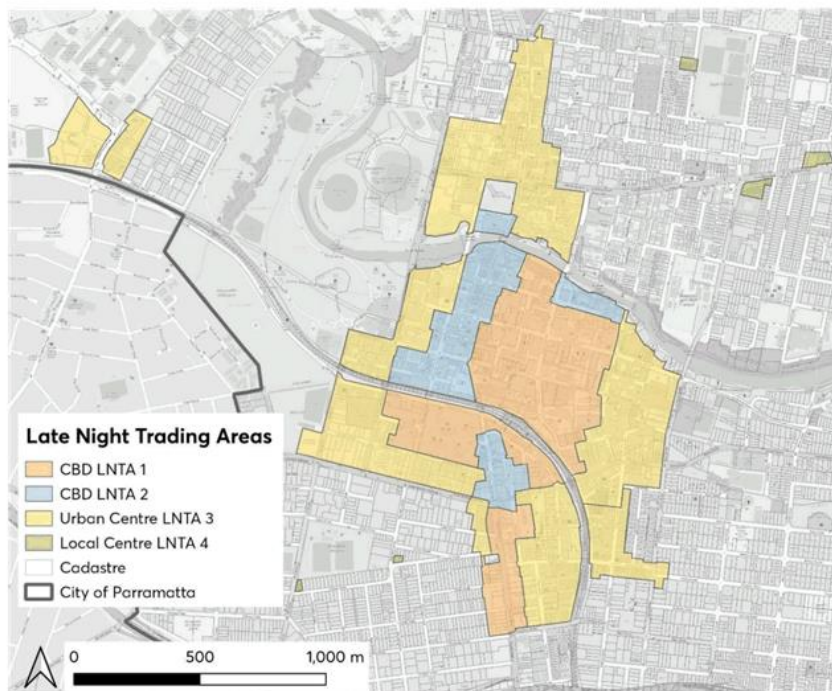


Figure 2b: Map of the LNTA categories within the Parramatta CBD as exhibited in December 2021- January 2022



Attachment 4 – comparison of trial periods with other Sydney councils

LGA/Locality	Trial Period	Trial in perpetuity
Bayside	1st trial - 1 year 2nd trial - 2 years 3 rd and subsequent trials - 5 years - new DA required every 5 years for extended hours	Yes – every 5 years
City of Sydney	1st trial - 1 year 2nd trial - 2 years 3 rd and subsequent trials - 5 years - new DA required every 5 years for extended hours	Yes – every 5 years
Inner West (Leichhardt)	For Licensed Premised 1st trial - 1 year 2nd and subsequent trials - 5 years - new DA required every 5 years for extended hours	Yes – every 5 years
North Sydney	North Sydney CBD - 5 years trial - new DA required every 5 years for extended hours within North Sydney CBD Outside North Sydney CBD – 1 year trial	Yes – every 5 years for North Sydney CBD
Sutherland	1st trial - 1 year 2 nd and subsequent trials - 3 years	Yes – every 3 years
Waverley	1st trial – 1 year Following satisfactory trial, following reviewable terms: <ul style="list-style-type: none"> • 1st review – up to 2 years trial • 2nd review – up to 3 years trial • 3rd and subsequent reviews - up to 5 years trial If the operator of the premises changes, the extended trading hours may be returned to a fixed term of 1 year.	Yes – every 5 years



**CITY OF
PARRAMATTA**

Parramatta CBD Small Bars Policy

1.1 Introduction

The City's night-time economy is an integral part of its commercial, cultural and social fabric. Late night trading premises are an important part of social and street life that contribute to Parramatta's image as a city, and play an important role in the City's economic growth.

Residents, tourists and workers of the City are attracted to these places as a result of their diversity and vibrancy. Small bars can provide the diversity and intimate fine grain venues that Parramatta CBD is lacking. It can also provide employment and jobs with flexible hours, improve casual surveillance and increase after work offering.

1.2 Policy Statement

The policy provisions will provide greater certainty to the community and proponents of small bars in respect to appropriate operating hours and location.

Extended trading hours are considered by the City of Parramatta to be a privilege. Extended trading hours will only be approved in circumstances where an ongoing commitment to good management is evident through a series of successful trial periods. This commitment should be demonstrated both at the application stage and throughout the history of the operation of the premises. Guidelines for preparing plans of management addressing social impact are included as Appendices and should be referred to when preparing your application.

Approvals will be limited in time to enable Council to assess the ongoing management performance of a premises and its impact on neighborhood amenity.

1.3 Purpose

The purpose of this policy is to provide provisions for trading hours and trial hours for "Small bars" within the City of Parramatta's Local Government Area.

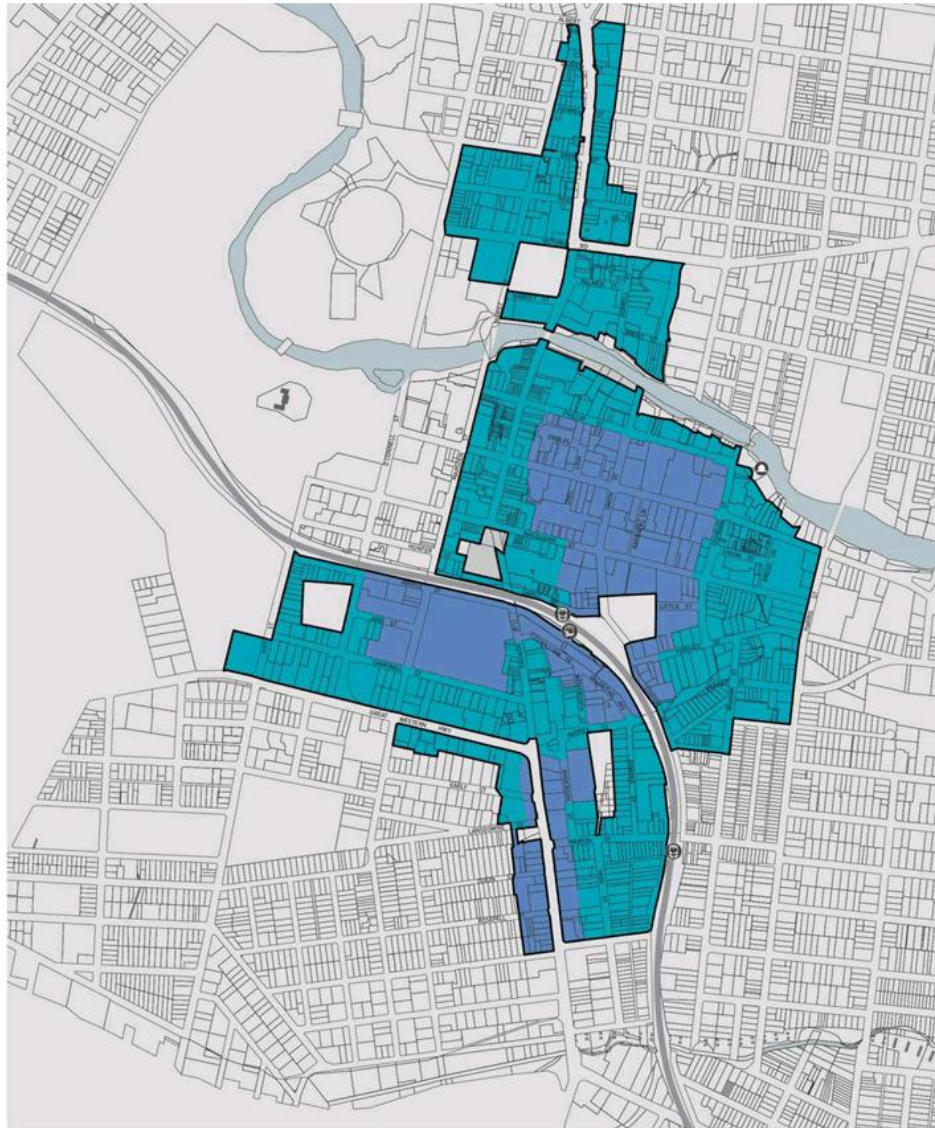
1.4 Scope

- a. This policy applies to the B3 Commercial Core and B4 Mixed Use zones identified within Parramatta CBD (outlined in black in the image below).
- b. It does not apply to any other zones or any area outside of the Parramatta CBD.

Parramatta CBD Small Bars Policy		
Owner: Manager, Economic Development	Area: Marketing & City Identity	POL No: 348
Date of Commencement: 10/4/17	Approval Authority: Council	Date Approved: 10/4/17
Version: 1	Date of Next Review: 1/4/20	Review: 3 year



CITY OF PARRAMATTA



- KEY**
- LAND TO WHICH THIS POLICY APPLIES
 - AREA 1 - COMMERCIAL CORE
 - AREA 2 - MIXED USE



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1.5 Definitions

Term	Meaning
Small bar	A “small bar” within the meaning of the Liquor Act 2007 Note: Outdoor seating is included in patron capacity calculations
Base hours	Are the standard range of trading hours that a late night trading premises is entitled to if an application is approved
Extended hours	Means trading hours that may be approved above base hours on a trial basis
Patron capacity	Means the maximum number of patrons permitted in development consent. Outdoor seating is included in patron capacity calculations

1.6 Relevant Legislation

Environmental Planning and Assessment Act 1979
Local Government Act 1993
Liquor Act 2007

1.7 Relationship to other policies/procedures/guidelines

Parramatta Development Control Plan 2011
Public Domain Guidelines
Parramatta Lanes Policy
Social Impact Assessment Guidelines
Flood Risk Management Policy
Building Code of Australia

1.8 Application of Policy

This policy applies to new and existing small bars premises identified within *1.4 Scope* that:

- Seek approval for trading hours between 12noon – 2am the following day
- Premises that currently trade between 12noon -2am the following day and seek refurbishment that will not result in a breach of the maximum capacity for ‘small bars’ under the Liquor Act 2007
- Seek an extension or renewal of trial trading hours

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CITY OF PARRAMATTA

1.9 Date of Commencement

Policy adopted by Council at the meeting of 10 April 2017.

1.10 Review

This policy is scheduled to be reviewed within 12 months of been adopted and every 3 years after its initial review.

2 AIMS

- a. Ensure a consistent approach to the assessment of applications for small bar premises.
- b. Establish acceptable trading hour and trial provisions by which Council will consider small bars within Parramatta CBD.

3 OBJECTIVES

The objectives of this policy are to:

- a. Identify appropriate locations and trading hours for small bars
- b. Encourage late night trading *small bars* that contribute to vibrancy
- c. Encourage a safe and inclusive night time economy
- d. Ensure that applications are accompanied by sufficient information so that proposal for small bars can be fully and appropriately assessed

4 DEVELOPMENT PROVISIONS

The following development provisions provide the basis for a consistent approach to the assessment of trading hours and trials for small bars within Parramatta CBD.

4.1 General Provisions

- a. These provisions apply to applications made under Part 4 of the Environmental Planning and Assessment Act 1979, which includes development applications and applications to review a determination or modify consent.
- b. Compliance with relevant legislation, The Building Code of Australia, Parramatta Development Control Plan, Council Policies and Guidelines.
- c. All bars and food preparation areas are constructed, fitted out and finished in compliance with AS4674-2004: Design, Construction and Fit-out of Food Premises, NSW Food Act and Regulation, Food Safety Standard 3.2.3.

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CITY OF PARRAMATTA

4.2 Late Night Trading Areas

These provisions identify a hierarchy of two late night trading areas located throughout the City of Parramatta. Late night trading areas include:

- i. Area 1 – Commercial Core
- ii. Area 2 – Mixed Use

4.3 Trading Hours and trial

Trading hours beyond base hours may be permitted at the initial DA stage, but only where Council has determined that the premises have been (or will be) well managed, including compliance with a Plan of management.

- a. It is considered appropriate for *Area 1 – Commercial Core* to have longer base trading hours for the following reasons:
 - i. Residential accommodation is prohibited in the B3 Commercial Core Zone
 - ii. Concentration of late night trading venues will increase natural surveillance in the Parramatta Core after hours.
- b. It is considered appropriate for *Area 2 – Mixed Use* to have slightly shorter base trading hours for the following reasons:
 - i. Mix of uses and slightly longer distance from Parramatta Train station and other public transportation
 - ii. Close proximity to places where the primary land use is residential in character
- c. Base trading hours based on the precinct location within the CBD are outlined in the table below:

Area	Hours	Indoor Trading hours
Parramatta CBD "Area 1" – Commercial Core	Base Hours	12 noon to 12 midnight
	Extended Hours	12 noon to 2am the following day
Parramatta CBD "Area 2" – Mixed Use	Base Hours	12 noon to 11pm
	Extended Hours	12 noon to 1am

Parramatta CBD Small Bars Policy		
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CITY OF PARRAMATTA

- d. Trial periods for extended trading hours may be permitted up to the following durations:
 - i. First trial – 1 year
 - ii. Second trial – 3 years
 - iii. Third and subsequent trials – 5 years
- e. Once the full range of extended trading hours is reached a DA must be lodged every 5 years to renew trading hours.
- f. Applications for a renewal or extension of trial trading hours should be lodged within 90 days of the expiry period.
- g. A renewal or extension of trading hours may only be permitted if Council is satisfied that the small bar has demonstrated good management performance and compliance with the Development Consent and plan of management following a satisfactory trial period.
- h. Any proposed extension of trading hours (beyond the base hours outlined) will require a Social Impact Assessment as a separate document to the Statement of Environmental Effects to be completed by a qualified Social Planner.

4.4 Matters of Consideration for trading hours

Appropriate trading hours for small bars will be determined by taking into account:

- a. Location and context of the premises including proximity to residential and other sensitive land uses and other late night trading premises.
- b. Appropriate measure to ensure acoustic amenity to neighboring properties
- c. Existing hours of operation of surrounding business uses
- d. The size and patron capacity of the premise
- e. The impact of the premise on the mix, diversity and possible concentration of late night uses in the locality
- f. Detailed submission of a Plan of Management that demonstrates a strong commitment to good management of the operation of the business, particularly in relation to managing potential impacts on adjoining and surrounding land uses and premises, as well as the public domain (see 4.5 Plan of Management)
- g. Measures to be used for ensuring adequate safety, security and crime prevention both on the site of the premises and in the public domain immediately adjacent to and generally surrounding the premises
- h. The accessibility and frequency of public transport during late night trading hours

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CITY OF PARRAMATTA

- i. The social impact of the proposed development to be considered.

4.5 Plan of Management

- a. A Plan of Management must accompany a development application for any new small bar or intensification of an existing small bar. The Plan of management must be completed in accordance with **Appendix 1** of this policy.

4.6 Monitoring and Review

- a. At the termination of a trial period applicants shall consider changes in the nature of the operation of a premises that have given rise to unforeseen impacts on the amenity of the area or have been the basis for substantiated complaint made to Council or the Licencing authority against the premises.
- b. Council will undertake its own review on the level of compliance with the Development Consent, Plan of Management and whether the current operation has been successful on any application to extend a trial period or on any review. Matters for consideration will include (but not be limited to):
 - i. Assessment of inspections by Council officers during the trial period
 - ii. Consideration of police complaints
 - iii. Consideration of formal customer complaints to Council
 - iv. Crime statistics from BOSCAR

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CITY OF PARRAMATTA

Appendix 1 – Plan of Management Guideline

Preparation

- 1) Applicants must submit a *Plan of Management*. The Plan of Management for small bars must refer to Section 77 of the Liquor Act 2007 and:
 - a. Describe measures that will be taken to minimise internal and external noise impacts on adjoining properties and how such measures will be implemented;
 - b. Outline the procedures for minimising and managing waste that is generated on site and how and when waste will be collected (eg. disposal of bottles, waste removal etc.);
 - c. Provide details of type and number of staff that will be employed on the premises at any one time;
 - d. Describe any steps that will be taken to manage patron behaviour when leaving the premises late at night
 - e. Describe any procedures for managing patrons who have been asked to leave or have been refused service
 - f. Describe any methods for controlling and managing crowds within and outside the premises;
 - g. Describe measures will be taken to manage large groups of people during peak trading periods;
 - h. Provide a copy of a house policy that describes the measures to minimise harm associated with alcohol consumption to ensure the responsible service of alcohol (refer to *NSW Justice - Prevention of Intoxication Guidelines March 2015*);
 - i. State the maximum capacity of the premises and the maximum number of patrons that will be standing and/or sitting at any one time;
 - j. State the operating and/or trading hours of the premises;
 - k. Describe any measures to increase patron awareness of public transport availability in the locality;
 - l. Describe when and how the site will be cleaned and generally serviced;
 - m. Provide details of the trading hours of other late night trading premises currently operating within a 50 metre radius (ie. commercial premises that operate after 10pm)

- 2) The operators of small bars are required to provide a Plan of Management and make revisions necessary to maintain a level of amenity and safety in the vicinity of the premises which is at an acceptable community standard

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Attachment 6

Stakeholder consultation

The Council Report details the *recent* Stakeholder Consultation in relation to the Late Night Trading DCP controls. The table below details the full stakeholder consultation undertaken in relation to the matter.

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
12 March to 13 April 2021	Pre-exhibition: Industry Associations and Public Authorities	See Attachment 1 of the 8 August 2022 Council report	See Attachment 1 of the 8 August 2022 Council report	Group Manager, City Strategy
December 2021 to January 2022	Exhibition Community, Organisations/ industry associations and Public Authorities	See Attachment 1 of the 8 August 2022 Council report.	See Attachment 1 of the 8 August 2022 Council report	Group Manager, City Strategy
12 October 2022	Post - Exhibition Parramatta Liquor Accord as per the Action Item from the Councillor Workshop on 24 August 2022 (for details see the Councillor Consultation table below)	Comments about protection of trading hours for existing businesses, trial periods, LNTAs, trading hours and acoustic controls. These comments were largely in line with their formal submission.	Comments were addressed during the meeting, and requests regarding merit-based assessment, trial periods and maximum trading hours were investigated. See Attachments 1 and 2 of this Council report.	Executive Director, City Planning and Design
28 August 2023	Parramatta Liquor Accord	Comments were provided regarding the protection of trading hours for existing businesses, trial periods, LNTAs, trading hours and acoustic controls.	Comments were addressed during the meeting, and requests regarding trial periods were investigated. See Attachments 1 and 2 of this Council report.	Group Manager, Strategic Land Use Planning
23 May 2024	City of Parramatta Policy Review Committee	Supported the Parramatta CBD <i>Small Bars Policy</i> being rescinded upon endorsement by Council of the Late Night Trading DCP controls.	Noted. A recommendation for Council to rescind the Small Bars Policy included is included in the 22 June 2024 Council Report.	Group Manager, City Strategy

23 May 2024	Parramatta Liquor Accord	Comments were provided regarding the protection of trading hours for existing businesses, trial periods, LNTAs, trading hours and acoustic controls.	Comments were addressed during the meeting, and requests regarding trial periods, trading hours and controls applying to existing venues were investigated. See discussion in the Council Report and Attachments 1 and 2 of this Council report.	Group Manager, City Strategy
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Councillor consultation

The Council Report details the *recent* Councillor Consultation in relation to the Late Night Trading DCP controls. The table below details the full councillor consultation undertaken in relation to the matter.

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
3 February 2021 (Councillor Workshop)	Pre-exhibition: All Councillors were invited	<p>1. Requests additional investigation of:</p> <ul style="list-style-type: none"> - Trial periods (regarding application and timeframes). - Integration/ alignment with other planning instruments and strategies. - Expected economic benefits of the proposal - Consideration of how noise/sound abatement standards will be legislated and implemented. <p>2. Support for the next project phase – informal consultation with industry and stakeholders.</p>	<p>1. Project Team considered these points as part of the development and refinement of the draft DCP and the proposed noise controls.</p> <p>2. Informal consultation was undertaken between March and April 2021, as noted above.</p>	Group Manager, City Strategy
17 November 2021 (Councillor Briefing Session)	All Councillors were invited	No further comments were provided.	Enquiries were addressed during the Councillor workshop.	Group Manager, City Strategy
11 May 2022 (Councillor Workshop)	Post - Exhibition	Comments provided on identification of specific sites within the LNTA map.	Enquiries were addressed during the Councillor workshop.	Group Manager, City Strategy

1 August 2022 (Councillor Workshop)	All Councillors were invited	Request for answers to questions and additional documents. Request for additional workshop.	Responses provided to Councillors following the Workshop.	Group Manager, City Strategy
24 August 2022 (Councillor Workshop)	All Councillors were invited	Provided responses to matters raised at 1 August 2022 Workshop. Request for senior staff to meet with the Parramatta Liquor Accord. Request for updates to DCP to reflect merit assessment process.	Senior staff met with the Accord on 12 October 2022 and 28 August 2023. DCP has been updated to reflect merit assessment process, see Attachment 1 and Attachment 3 .	Group Manager, City Strategy Executive Director, City Planning and Design
21 August 2023 (Councillor Workshop)	All Councillors were invited	Request to review controls for trial periods. Information requested on existing acoustic controls within the Parramatta City Centre DCP. Request to update Figure 4.2.1 of the draft DCP to improve its graphical clarity.	Controls for trial periods have been reviewed. See Attachment 3 of this Council report. Information on acoustic controls within the Parramatta City Centre DCP have been provided. Noise Category map updated.	Group Manager, Strategic Land Use Planning
20 May 2024 (Councillor Workshop)	All Councillors were invited	Investigate the LNT area categorisation around George Street and Charles Street, and whether this area should be LNTA 2 instead of 3.	Project Team considered this matter as part of the development and refinement of the draft DCP controls, recommending the LNTA category be 2.	Group Manager, Strategic Land Use Planning

REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER	13.4
SUBJECT	Adoption of Planning Proposal for 45 Macquarie Street, Parramatta (Philip Ruddock Heritage Centre)
REFERENCE	F2024/00282 - D09390496
REPORT OF	Student Project Officer
APPLICANT/S OWNERS	Ms Jean Green c/- Strata Plus Pty Ltd Multiple Strata Title Owners of 30-32 Hunter Street, 140 Marsden Street and 45 Macquarie Street

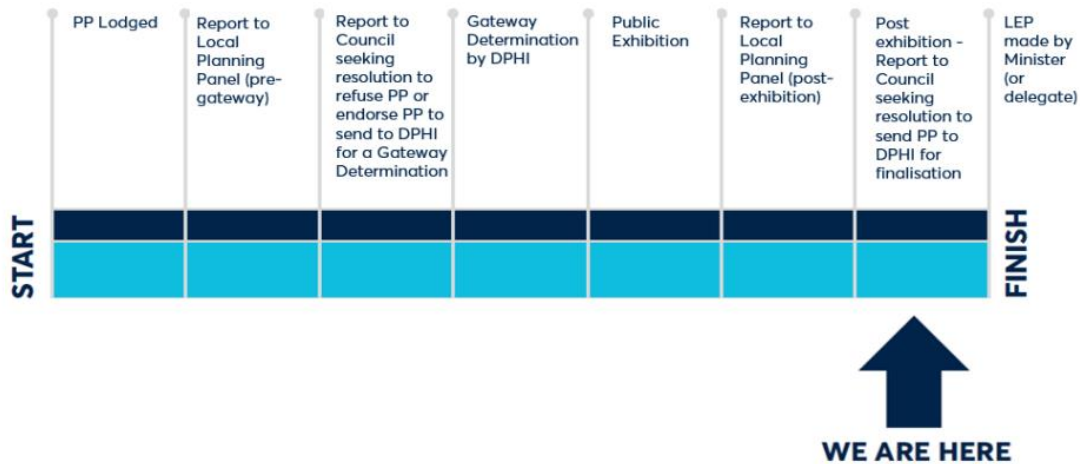
CSP THEME: INNOVATIVE**WORKSHOP/BRIEFING DATE:** Nil**APPLICATIONS CONSIDERED BY SYDNEY CENTRAL CITY PLANNING PANEL**
Nil**PURPOSE:**

The purpose of this report is to seek Council's approval for the finalisation of a Planning Proposal for land at 45 Macquarie Street, Parramatta.

RECOMMENDATION

- (a) That Council receive and note the submissions made during the exhibition period.
- (b) That Council approve the finalisation of the Planning Proposal, provided at **Attachment 1**, for land at 45 Macquarie Street, Parramatta, that seeks to make the curtilage of the archaeological site identified on Schedule 5 of the Parramatta Local Environmental Plan (PLEP) 2023 (SP94346, SP94348 & SP94349) consistent with the State Heritage Register (SHR) listing of the item.
- (c) That Council delegate authority to the Chief Executive Officer to make any minor amendments and corrections of a non-policy and administrative nature that may arise during the plan finalisation process relating to the Planning Proposal.

PLANNING PROPOSAL TIMELINE



SITE DESCRIPTION

1. The Planning Proposal applies to the land at 45 Macquarie Street, Parramatta (the site). The site is also identified as 30-32 Hunter Street and 140 Marsden Street, Parramatta (see **Figure 1**). The site is bound by Macquarie Street to the north, Marsden Street to the east and Hunter Street to the south. The site has an area of approximately 4,900sqm.

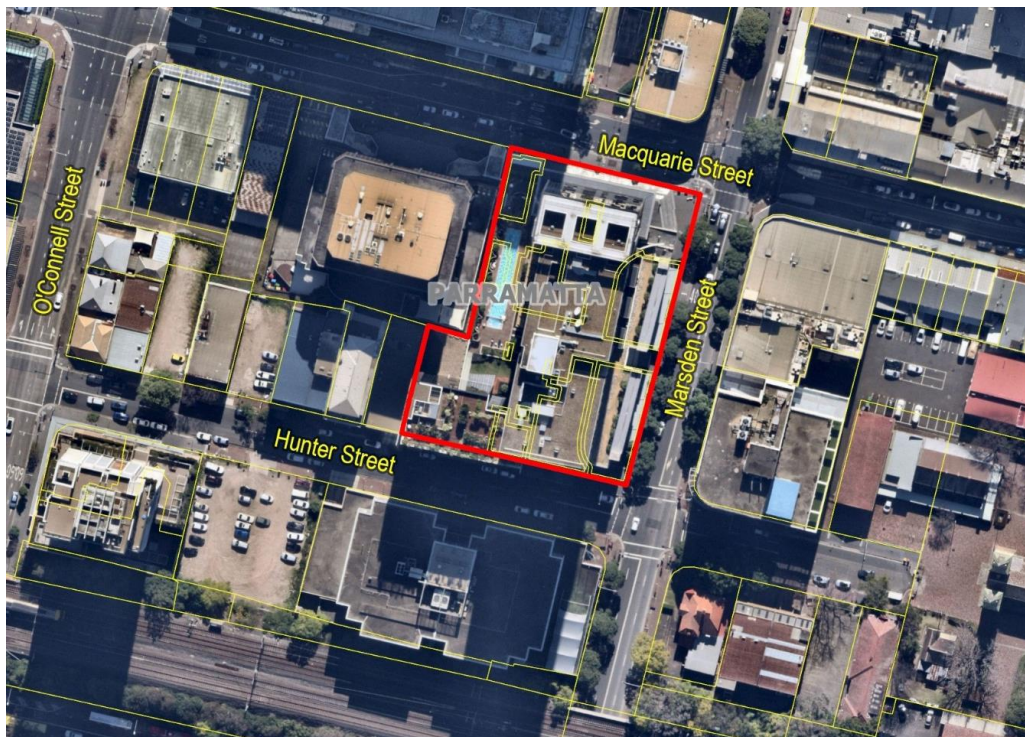


Figure 1: Subject site outlined in red

2. The site contains a 17-storey mixed-use retail and commercial building that was approved in 2011. The approval included an archaeological interpretation centre at the ground floor and basement levels identified as the publicly accessible Philip Ruddock Heritage Centre comprising an archaeological site and museum.

HERITAGE SIGNIFICANCE

- The *Parramatta Local Environmental Plan (LEP) 2023* identifies the entire site as being an “archaeological site” of local significance (Item number A16) (see **Figure 2**). The local heritage listing was introduced following preliminary excavations for the multi-story tower that revealed the heritage items in 2015.

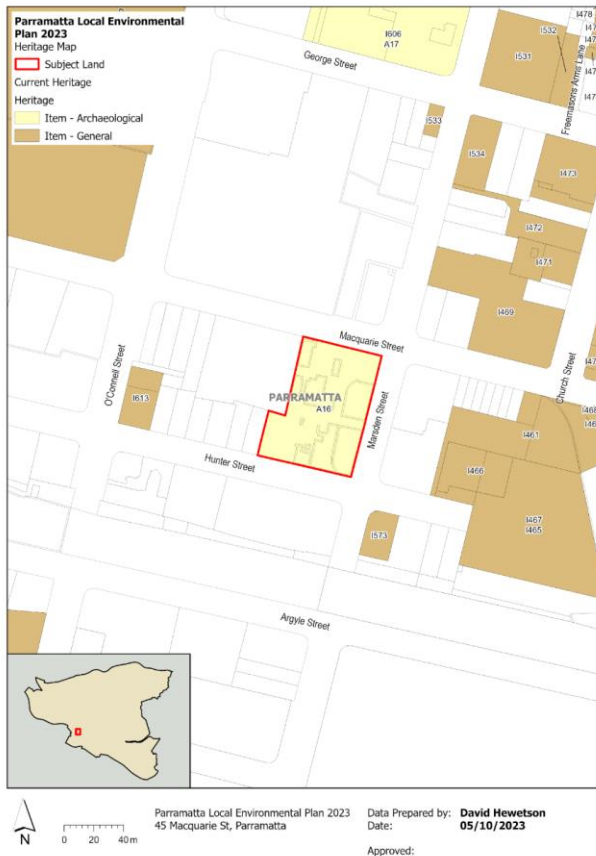


Figure 2: Site curtilage as identified by the PLEP

- The State Heritage Register (SHR) was introduced in 2019 and lists the heritage item as Item 02027 “Archaeological Site and associated artefacts”. The SHR listing is isolated to the basement at the northern part of the site (as compared to the PLEP listing that covers the entire site) (see **Figure 3**).



Figure 3: Subject site / local heritage listing outlined in yellow and NSW State Heritage Register listing highlighted in blue

5. The Heritage Centre on the site contains a rare, well-preserved example of a convict hut, as well as later layers of the site's occupation as a bakery, wheelwrights' workshop, masonry residence, and evidence of the origins and expansion of the Shepherd and Flock Hotel (**Figures 4**). According to the Statement of Significance for the State Heritage Listing, the archaeological displays are of State Heritage Significance because of their historical values demonstrating the development of Parramatta.



Figure 4: Heritage Centre - Remnants of a well (left) and hotel cellar (right) (source: atparramatta.com)

PLANNING PROPOSAL

6. On 2 August 2022, Council received a Planning Proposal (**Attachment 1**) for the site that seeks to amend the PLEP (then PLEP 2011) by reducing the extent of the local curtilage identified as Item A16 on Schedule 5 of the PLEP (SP94346, SP94348 & SP94349) to match the SHR listing. According to the Planning Proposal, the reduced curtilage will enable works that are located outside of the heritage significant part of the site (that is isolated at ground level) to be undertaken pursuant to the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.
7. On 1 November 2022 Parramatta's Heritage Advisory Committee (HAC) met to review the Planning Proposal. The Committee requested additional information to justify the need for the Planning Proposal, confirm what

- heritage value exists outside the area of the proposed reduced listing, and confirm any impacts of existing stratification on the proposed reduced listing.
8. On 2 May 2023 the HAC met to review the additional information provided by the applicant and Council's internal heritage review. The HAC resolved that the reduction of the LEP listing to align with the SHR curtilage is appropriate, as all remaining extant State significant historical archaeology within the site is limited to the SHR listing curtilage, and no changes are proposed to the existing SHR listed item including its mapped curtilage.
 9. At its meeting on 17 October 2023, the Local Planning Panel supported the Council officer recommendations for the Planning Proposal to proceed to Gateway determination.
 10. At its meeting on 20 November 2023, Council endorsed the Planning Proposal for the purpose of seeking a Gateway determination.
 11. On 24 January 2024, the Department of Planning, Housing and Infrastructure (DPHI) issued a Gateway determination for the Planning Proposal, allowing it to proceed to public exhibition. A Gateway expiry date of 1 November 2024 was given for the Planning Proposal to be finalised.
 12. In accordance with Condition 3 of the Gateway determination, Council officers provided Heritage NSW with a copy of the Planning Proposal and relevant supporting material. Heritage NSW have subsequently responded and have not objected to the Planning Proposal (refer to Exhibition of the Planning Proposal section below).
 13. The Planning Proposal is supported by a technical study (Heritage Assessment Report by GBA Heritage (2021) – Attachment 1), which concludes that the reduced archaeological area is now defined and enclosed by the concrete basement walls that surround the Philip Ruddock Heritage Centre and the retained archaeological relics are protected and conserved under the relevant provisions of the Heritage Act NSW (1977).
 14. Council officers have reviewed the Planning Proposal and associated documentation and consider that the reduced heritage curtilage that is consistent with the State Heritage curtilage is appropriate and will continue to protect the heritage values and character of the site.
 15. The table below (**Table 1**) lists the existing and proposed planning provisions included in the Planning Proposal.

	Existing	Proposed
Land Use Zoning	MU1 Mixed Use	No change
Height of	54m (approx. 12-	No change

Buildings	18 storeys)	
Floor Space Ratio	6:1	No change
Heritage Curtilage	Curtilage Item A16 of PLEP 2023 that covers the entire site.	Reduced curtilage for Item A16 of PLEP 2023 to align with the curtilage of Item 02027 of the State Heritage Register.

Table 1 – Current and proposed planning controls for the site at 45 Macquarie Street, Parramatta

EXHIBITION OF THE PLANNING PROPOSAL

16. The Planning Proposal was publicly exhibited from Monday 15 April 2024 to Wednesday 15 May 2024. Stakeholders and community members were notified through the following engagement mechanisms:
 - a. Letters to neighbouring landowners and occupiers;
 - b. A notice in the online Parra News newspaper published on Tuesday 16 April 2024;
 - c. Relevant material shared on City of Parramatta's corporate website and community engagement platform, Participate Parramatta; and
 - d. Hard copy materials distributed at PHIVE.
17. A total of three (3) submissions were received: two (2) from individual community members and one (1) from Heritage NSW.
18. One community submission raised general concerns about traffic and parking impacts that are not considered relevant to the proposal, and the other community submission supported the proposal as exhibited.
19. The Planning Proposal was considered by Council's Traffic Engineers and supported given there will be no impact upon the existing road network as a result of the proposed reduced heritage curtilage. The Planning Proposal only seeks to reduce the heritage curtilage applicable to the site, which has no bearing on traffic or parking impacts.
20. There were no objections raised by State Agencies or Service Providers. Comments from Heritage NSW included a recommendation to amend some of the supporting documentation to change the number of the SHR Item from '2027' to its correct identifier '02027'. The comments received from State agencies do not require changes to the Planning Proposal.
21. A detailed summary of the submissions received and Council officer responses to the issues raised are provided at Attachment 2.

22. It is noted that this Planning Proposal is being reported directly to Council post-exhibition without firstly being reported to the Local Planning Panel. The reason being that the submissions received as part of the public exhibition did not specifically request any amendment to the exhibited Planning Proposal. This is consistent with the 14 May 2018 Council resolution whereby Council resolved that, in addition to the requirements of the Local Planning Panels Direction, planning proposals be referred to the City of Parramatta Council Local Planning Panel after exhibition (only) where a request for amendment to the Planning Proposal has been received.
23. Council previously resolved to allow the CEO to exercise plan-making delegations for this Planning Proposal, as authorised by Council on 26 November 2012. Plan-making delegation means that the CEO is responsible for the finalisation of the Local Environment Plan amendment, rather than DPHI. It should be noted that councils are unable to exercise plan-making delegations in the case that there is an unresolved objection from a public authority. In this instance, no State Agency or Service Provider submissions raised objections to the Planning Proposal.

CONSULTATION & TIMING

Stakeholder Consultation

24. The following stakeholder consultation has been undertaken in relation to this matter:

Date	Stakeholder	Stakeholder Comment	Council Response	Officer	Responsibility
5 November 2021 to 11 December 2023	Applicant	Various comments in relation to finalising the Planning Proposal.	Consultation with the applicant to progress the Planning Proposal.		Group Manager Major Projects and Precincts
1 November 2022 to 2 May 2023	Heritage Advisory Committee	HAC requested additional information to form their decision. On 2 May 2023, HAC reviewed the additional information provided by the applicant and Council's internal heritage review and aligned with Council officer's view to reduce the PLEP listing heritage curtilage.	Consultation with the Heritage Advisory Committee to help them form their position on the Planning Proposal.		Group Manager Major Projects and Precincts
15 April 2024 to 15 May 2024	Community members & State Agencies and Service Providers	A summary of the submissions received is provided at Attachment 2 .	Council officer responses to issues raised provided at Attachment 2 .		Group Manager Major Projects and Precincts

Councillor Consultation

25. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
15 November 2022 - briefing	All	No matters were raised for further investigation or response	Nil	Group Manager Major Projects and Precincts
20 November 2023 – Council Meeting	All	Planning Proposal approved for Gateway	The Planning Proposal was forwarded to DPHI seeking a Gateway determination	Group Manager Major Projects and Precincts
17 June 2024 - briefing	All	Not known at time of finalising this report	Not known at time of finalising this report	Group Manager Major Projects and Precincts

LEGAL IMPLICATIONS FOR COUNCIL

26. There are no legal implications for Council in endorsing the Planning Proposal to proceed to finalisation.

FINANCIAL IMPLICATIONS FOR COUNCIL

27. The finalisation of the Planning Proposal will be undertaken by the Council officers and will be covered within the existing City Planning and Design budget.

CONCLUSION AND NEXT STEPS

28. It is recommended that Council approve the finalisation of the Planning Proposal, provided at **Attachment 1**, for land at 45 Macquarie Street, Parramatta.
29. Should Council approve the Planning Proposal, it will be finalised and forwarded to DPHI for gazettal.





David Birds
Group Manager, Major Projects and Precincts

Robert Cologna
A/ Executive Director City Planning and Design

Amit Sharma
A/ Executive Director - Finance and Information

Gail Connolly
Chief Executive Officer

ATTACHMENTS:

- 1   Planning Proposal with attached Heritage Reports 73 Pages
- 2   Submissions Response 2 Pages

REFERENCE MATERIAL



PLANNING PROPOSAL

45 MACQUARIE STREET, PARRAMATTA



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**CITY OF
PARRAMATTA**

PLANNING PROPOSAL

45 MACQUARIE STREET, PARRAMATTA



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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

Planning Proposal drafts

Proponent versions:

No.	Author	Version
1.	Planning Ingenuity	Submitted to Council for assessment – August 2022

Council versions:

No.	Author	Version
1.	City of Parramatta Council	Report to Council on the assessment of the Planning Proposal – November 2023

(RZ/7/2022)

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

INTRODUCTION

This Planning Proposal explains the intended effect of, and justification for, the proposed amendment to *Parramatta Local Environmental Plan 2023*. It has been prepared in accordance with Section 3.33 of the *Environmental Planning and Assessment Act 1979* and the Department of Planning and Environment (DPE) guide, 'A Guide to Preparing Local Environment Plans' (December 2021).

Background and context

The Site

On 21 December 2022 Council received a Planning Proposal from Planning Ingenuity on behalf of Strata Plus Pty Ltd relating to the land at 45 Macquarie Street, Parramatta. The site has a primary street address of 45 Macquarie Street, Parramatta and is also identified as 30 – 32 Hunter Street and 140 Marsden Street Parramatta. The site is shown in **Figure 1**, below.



Figure 1 – Subject site at 45 Macquarie Street, Parramatta, also identified as 30-32 Hunter Street and 140 Marsden Street, subject to the Planning Proposal

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The site is a corner lot bounded by Marsden Street to the east, Hunter Street to the south and Macquarie Street to the north and has an area of approximately 4,900m². The site contains an existing high density mixed-use retail and commercial building, ground level retail with public piazza, six level commercial podium building, 16 level commercial tower, as well as an archaeological interpretation zone (consisting of the Phillip Ruddock Heritage Centre, exposed archaeological site and museum) and through site link.

The building located within the site has been strata subdivided to create the following strata lots (see maps at **Figures 2 - 6**):

- SP 94346 known as 45 Macquarie Street, Parramatta (see **Figure 3**)
- SP 94347 known as 32 Hunter Street Parramatta (see **Figure 4**)
- SP 94348 known as 30 Hunter Street, Parramatta (see **Figure 5**)
- SP 94349 known as 140 Marsden Street, Parramatta (see **Figure 6**)

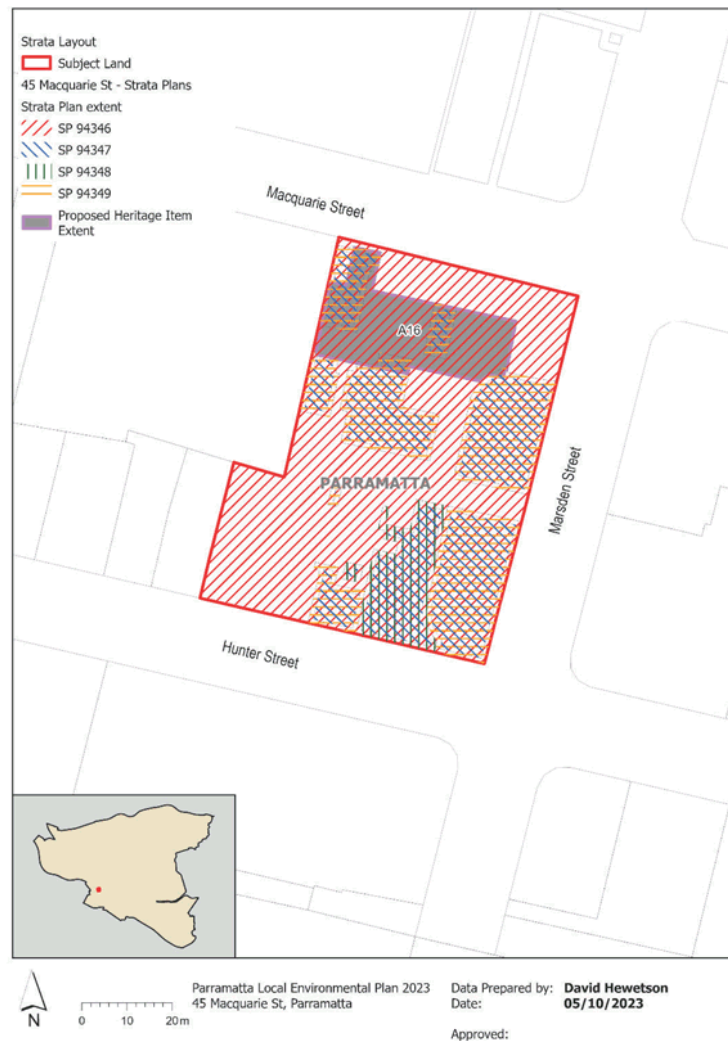


Figure 2 – Existing strata lots at 45 Macquarie Street, Parramatta

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Figure 3 – SP 94346 known as 45 Macquarie Street, Parramatta

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Figure 4 – SP 94347 known as 32 Hunter Street Parramatta

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Figure 5 – SP 94348 known as 30 Hunter Street, Parramatta

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Figure 6 – SP 94349 known as 140 Marsden Street, Parramatta

On 21 March 2014 the subject site, then known as 134–140 Marsden Street, was listed as a local item of significance in the Parramatta City Centre Local Environmental Plan 2007 as Item 135 “Archaeological site”. This item is now identified as A16 on Schedule 5 of the Parramatta Local Environmental Plan 2023 (see **Figure 19 in Part 4 of this document**)

On 5 July 2019, 45 Macquarie Street, Parramatta was listed on the NSW State Heritage Register (SHR) as item 02027, “Archaeological Site and associated artefacts” (see **Figures 7 and 8**). This State Heritage Listing was of a smaller footprint than the Local Heritage Listing.

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Figure 7 – Item 02027 at 45 Macquarie Street, Parramatta, listed on the NSW State Heritage Register (SHR) as "Archaeological Site and associated artefacts" (highlighted in blue). The local heritage listing is outlined in yellow.

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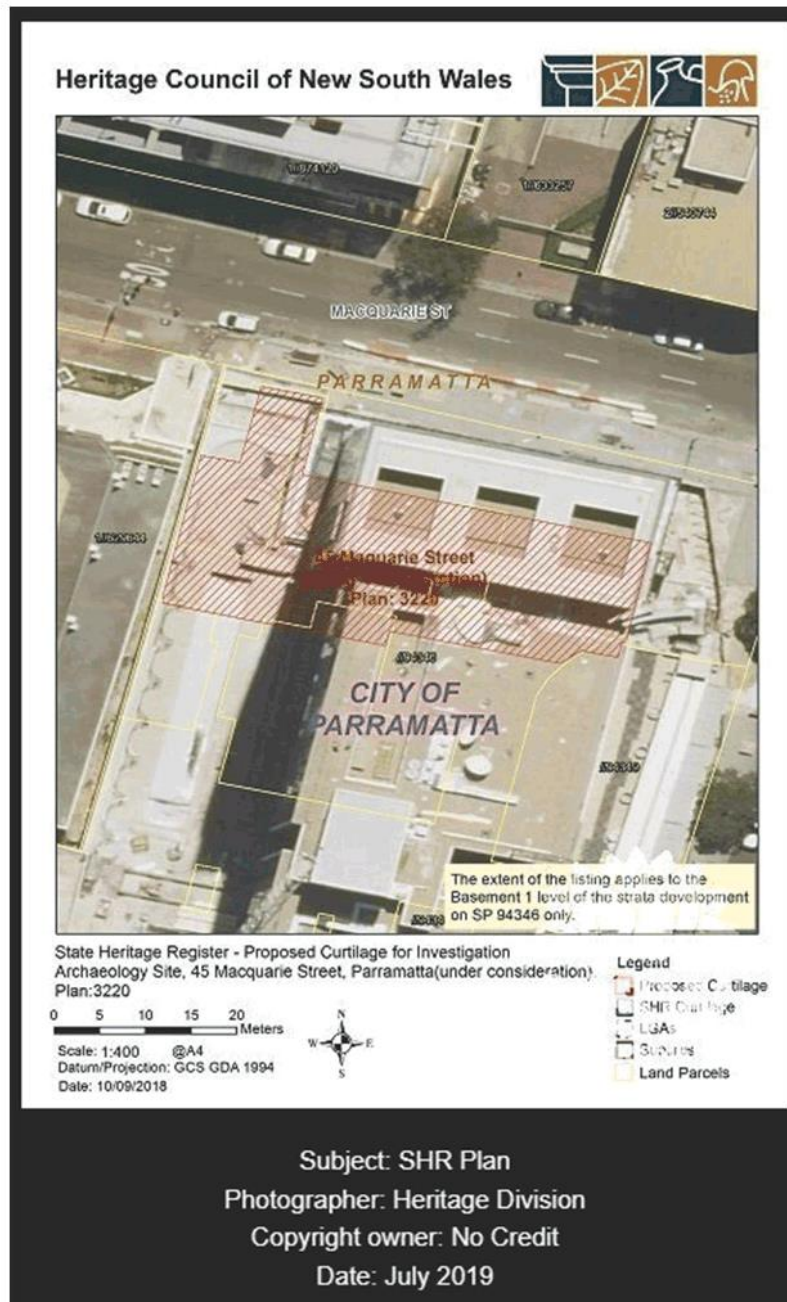


Figure 8 – NSW State Heritage Register Plan of item 02027 "Archaeological Site and associated artefacts" at 45 Macquarie Street, Parramatta. Extent of the listing is shown hatched in red.

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Figure 9 – Street view of the subject site from Macquarie Street, Parramatta



Figure 10 – Street view of the subject site from Marsden Street, Parramatta

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta



Figure 11 – Street view of the subject site from Hunter Street, Parramatta

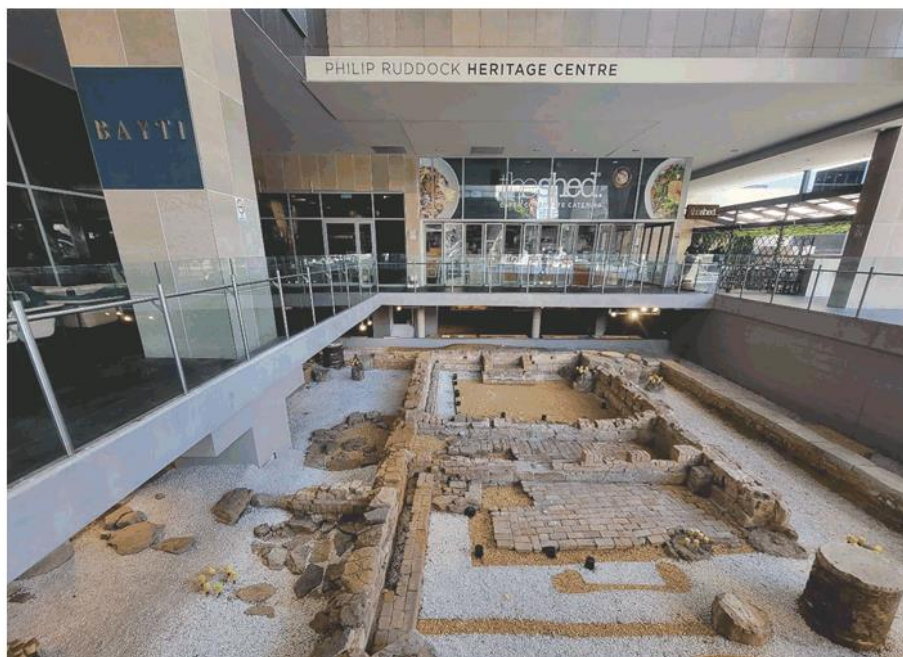


Figure 12 – Heritage item on the subject site as viewed from Ground Floor

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Figure 13 – Entrance to the Phillip Ruddock Heritage Centre on the ground floor



Figure 14 – Heritage item on the subject site as viewed from Basement Level 1.

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

Background

Under Parramatta Local Environmental Plan 2023 the site:

- is zoned MU1 Mixed Use zone
- has a maximum building height of 54 metres
- has a maximum floor space ratio (FSR) of 6:1
- is listed as local item A16 "Archaeological Site"

An extract of each the above maps is provided in **Part 4 – Mapping**; specifically, **Section 4.1 Existing controls**.

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

PART 1 – OBJECTIVES AND INTENDED OUTCOMES

The objective of this Planning Proposal is to amend the *Parramatta Local Environmental Plan 2023* to reduce the curtilage of the archaeological site to be consistent with the State Heritage Register (SHR) listing of the item.

The intended outcome of the Planning Proposal is to preserve the heritage significance of the archaeological site, whilst reducing its extent to apply only to the area consistent with the SHR listing of the item. The Planning Proposal will continue to protect the heritage values and character of the subject site while enabling exempt and complying development to take place under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 in the parts of the existing building that will be excluded from the listing without affecting the heritage significance of the archaeological remains.

The Planning Proposal seeks to achieve these intended outcomes through amendment to the *Parramatta Local Environmental Plan 2023* (PLEP 2023) to reduce the curtilage of the archaeological site identified as A16 on Schedule 5 of the PLEP 2023 (SP94346, SP94348 & SP94349) to be consistent with the SHR listing of the item. The Planning Proposed is accompanied by a technical study to support the proposed change (refer to **Appendix 1**).

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

PART 2 – EXPLANATION OF PROVISIONS

This Planning Proposal seeks to amend *Parramatta Local Environmental Plan 2023* in relation to Schedule 5 Environmental heritage, Part 3 Archaeological sites.

In order to achieve the desired objectives, the following amendment to the *PLEP 2023* would need to be made:

1. Amend the curtilage of the existing heritage item A16 "Archaeological site" to be consistent with the curtilage of item 02027 on the State Heritage Register. Refer to **Figure 20** in Part 4 of this Planning Proposal.

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

PART 3 – JUSTIFICATION OF STRATEGIC AND SITE-SPECIFIC MERIT

This part describes the reasons for the proposed outcomes and development standards in the Planning Proposal.

3.1 Section A - Need for the Planning Proposal

This section establishes the need for a Planning Proposal in achieving the key outcome and objectives. The set questions address the strategic origins of the proposal and whether amending the LEP is the best mechanism to achieve the aims on the proposal.

3.1.1 Is the Planning Proposal a result of an endorsed local strategic planning statement, strategic study or report?

Local Strategic Planning Statement (LSPS)

No. There are no strategic studies or reports that directly address the inconsistency of the heritage listing at the subject site. However, the Planning Proposal is generally consistent with the Local Strategic Planning Statement (LSPS). The LSPS provides strategic direction on how the City of Parramatta conserves heritage. It contains actions and priorities to help Council achieve the vision of the State Government's Greater Sydney Region Plan and Central City District Plan and highlights its important role as the Central River City.

The proposal is consistent with the LSPS as it is consistent with Planning Priority 9: *Enhance Parramatta's heritage and cultural assets to maintain our authentic identity and deliver infrastructure to meet community needs*. The proposal will not affect the heritage and cultural assets on the site, as there are no proposed physical changes to the site, with no archaeological remains existing beyond the SHR curtilage. The archaeological heritage will continue to be managed and protected under the existing arrangements.

3.1.2 Is the Planning Proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The Planning Proposal is the best and most appropriate means of achieving the amendment to the curtilage of the archaeological site in Schedule 5 of the PLEP 2023. The reduced extent will continue to provide ongoing protection and recognition of the heritage significance of the archaeological site.

3.2 Section B – Relationship to strategic planning framework

This section assesses the relevance of the Planning Proposal to the directions outlined in key strategic planning policy documents. Questions in this section consider state and local government plans including the NSW Government's Plan for Growing Sydney and subregional strategy, State Environmental Planning Policies, local strategic and community plans and applicable Ministerial Directions.

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3.2.1 Will the Planning Proposal give effect to the objectives and actions of the applicable regional, or district plan or strategy (including any exhibited draft plans or strategies)?

A Metropolis of Three Cities

In March 2018, the NSW Government released the *Greater Sydney Region Plan: A Metropolis of Three Cities* (“the GSRP”) a 20 year plan which outlines a three-city vision for metropolitan Sydney for to the year 2036.

The GSRP is structured under four themes: Infrastructure and Collaboration, Liveability, Productivity and Sustainability. Within these themes are 10 directions that each contain Potential Indicators and, generally, a suite of objective/s supported by a Strategy or Strategies. Those objectives and or strategies relevant to this Planning Proposal are discussed below.

Infrastructure and Collaboration

An assessment of the Planning Proposal’s consistency with the GSRP’s relevant Infrastructure and Collaboration objectives is provided in **Table 3a**, below.

Table 3a – Consistency of Planning Proposal with relevant GSRP Actions – Infrastructure and Collaboration

Infrastructure and Collaboration Direction	Relevant Objective	Comment
A city supported by infrastructure	O1: Infrastructure supports the three cities	N/A. This Planning Proposal does not impact infrastructure
	O2: Infrastructure aligns with forecast growth – growth infrastructure compact	
	O3: Infrastructure adapts to meet future need	
	O4: Infrastructure use is optimised	

Liveability

An assessment of the Planning Proposal’s consistency with the GSRP’s relevant Liveability objectives is provided in **Table 3b**, below.

Table 3b – Consistency of Planning Proposal with relevant GSRP Actions – Liveability

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

Liveability Direction	Relevant Objective	Comment
A city for people	O6: Services and infrastructure meet communities' changing needs	N/A This Planning Proposal is related to heritage only
	O7: Communities are healthy, resilient and socially connected	
	O8: Greater Sydney's communities are culturally rich with diverse neighbourhoods	
	O9: Greater Sydney celebrates the arts and supports creative industries and innovation	
Housing the city	O10: Greater housing supply	
	O11: Housing is more diverse and affordable	
A city of great places	O12: Great places that bring people together	The Planning Proposal is in keeping with this objective as the buildings on site were carefully designed to respectfully combine them with the history and heritage of the site, evident in the archaeological interpretation zone and permanent exhibition area that is accessible to the public
	O13: Environmental heritage is identified, conserved and enhanced	

Productivity

An assessment of the Planning Proposal's consistency with the GSRP's relevant Productivity objectives is provided in **Table 3c**, below.

Table 3c – Consistency of Planning Proposal with relevant GSRP Actions – Productivity

Productivity Direction	Relevant Objective	Comment
A well connected city	O14: The plan integrates land use and transport creates walkable and 30 minute cities	N/A This Planning Proposal is related to heritage only
	O15: The Eastern, GOP and Western Economic Corridors are better connected and more competitive	
Jobs and skills for the city	O19: Greater Parramatta is stronger and better connected	
	O21: Internationally competitive health, education, research and innovation precincts	
	O22: Investment and business activity in centres	
	O23: Industrial and urban services land is planned, retained and	

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

	managed	
	O24: Economic sectors are targeted for success	

Sustainability

An assessment of the Planning Proposal’s consistency with the GSRP’s relevant Sustainability objectives is provided in **Table 3d**, below.

Table 3d – Consistency of Planning Proposal with relevant GSRP Actions – Sustainability

Sustainability Direction	Relevant Objective	Comment
A city in its landscape	O25: The coast and waterways are protected and healthier	N/A This Planning Proposal is related to heritage only
	O27: Biodiversity is protected, urban bushland and remnant vegetation is enhanced	
	O28: Scenic and cultural landscapes are protected	
	O29: Environmental, social and economic values in rural areas are protected and enhanced	
	O30: Urban tree canopy cover is increased	
	O31: Public open space is accessible, protected and enhanced	
	O32: The Green grid links Parks, open spaces, bushland and walking and cycling paths	
An efficient city	O33: A low-carbon city contributes to net-zero emissions by 2050 and mitigates climate change	
	O34: Energy and water flows are captured, used and re-used	
	O35: More waste is re-used and recycled to support the development of a circular economy	
A resilient city	O36: People and places adapt to climate change and future shocks and stresses	
	O37: Exposure to natural and urban hazards is reduced	
	O38: Heatwaves and extreme heat are managed	

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

Implementation

An assessment of the Planning Proposal's consistency with the GSRP's relevant Implementation objectives is provided in **Table 3d**, below.

Table 3d – Consistency of Planning Proposal with relevant GSRP Actions – Implementation

Implementation Direction	Relevant Objective	Comment
Implementation	O39: A collaborative approach to city planning	The Planning Proposal is consistent with the State Government's Planning Proposal process in accordance with the 'A Guide to Preparing Planning Proposals'. The Planning Proposal considers other strategic planning documents including the Central City District Plan and local strategies. This will be further discussed below.

Central City District Plan

In March 2018, the NSW Government released *Central City District Plan* which outlines a 20 year plan for the Central City District which comprises The Hills, Blacktown, Cumberland and Parramatta local government areas.

Taking its lead from the GSRP, the *Central City District Plan* ("CCDP") is also structured under four themes relating to Infrastructure and Collaboration, Liveability, Productivity and Sustainability. Within these themes are Planning Priorities that are each supported by corresponding Actions. Those Planning Priorities and Actions relevant to this Planning Proposal are discussed below.

Infrastructure and Collaboration

An assessment of the Planning Proposal's consistency with the CCDP's relevant Infrastructure and Collaboration Priorities and Actions is provided in **Table 4a**, below.

Table 4a – Consistency of Planning Proposal with relevant CCDP Actions – Infrastructure and Collaboration

Infrastructure and Collaboration Direction	Planning Priority/Action	Comment
A city supported by infrastructure O1: Infrastructure supports the three cities O2: Infrastructure aligns with forecast growth – growth infrastructure compact O3: Infrastructure adapts to meet future need O4: Infrastructure use is optimised	PP C1: Planning for a city supported by infrastructure <ul style="list-style-type: none"> • A1: Prioritise infrastructure investments to support the vision of <i>A metropolis</i> • A2: Sequence growth across the three cities to promote north-south and east-west connections • A3: Align forecast growth with infrastructure • A4: Sequence infrastructure provision using a place based approach • A5: Consider the adaptability of infrastructure and its potential shared use when preparing infrastructure strategies and plans 	N/A This Planning Proposal does not impact infrastructure.

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

	<ul style="list-style-type: none"> • A6: Maximise the utility of existing infrastructure assets and consider strategies to influence behaviour changes to reduce the demand for new infrastructure, supporting the development of adaptive and flexible regulations to allow decentralised utilities 	
<p>O5: Benefits of growth realized by collaboration of governments, community and business</p>	<p>PP C2: Working through collaboration</p> <ul style="list-style-type: none"> • A7: Identify prioritise and delivery collaboration areas 	<p>N/A</p> <p>This Planning Proposal does not relate to the collaboration areas.</p>

Liveability

An assessment of the Planning Proposal’s consistency with the CCDP’s relevant Liveability Priorities and Actions is provided in **Table 4b**, below.

Table 4b – Consistency of Planning Proposal with relevant CCDP Actions – Liveability

Liveability Direction	Planning Priority/Action	Comment
<p>A city for people</p> <p>O6: Services and infrastructure meet communities’ changing needs</p>	<p>PP C3: Provide services and social infrastructure to meet people’s changing needs</p> <ul style="list-style-type: none"> • A8: Deliver social infrastructure that reflects the need of the community now and in the future • A9: Optimise the use of available public land for social infrastructure 	<p>N/A</p> <p>This Planning Proposal is related to heritage only</p>
<p>O7: Communities are healthy, resilient and socially connected</p> <p>O8: Greater Sydney’s communities are culturally rich with diverse neighbourhoods</p> <p>O9: Greater Sydney celebrates the arts and supports creative industries and innovation</p>	<p>PP C4: Working through collaboration</p> <ul style="list-style-type: none"> • A10: Deliver healthy, safe and inclusive places for people of all ages and abilities that support active, resilient and socially connected communities by (a-d). • A11: Incorporate cultural and linguistic diversity in strategic planning and engagement. • A12: Consider the local infrastructure implications of areas that accommodate large migrant and refugee populations. 	

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

	<ul style="list-style-type: none"> • A13: Strengthen the economic self-determination of Aboriginal communities by engagement and consultation with Local Aboriginal Land Council's. • A14: Facilitate opportunities for creative and artistic expression and participation, wherever feasible with a minimum regulatory burden including (a-c). • A15: Strengthen social connections within and between communities through better understanding of the nature of social networks and supporting infrastructure in local places 	
<p>Housing the city O10: Greater housing supply O11: Housing is more diverse and affordable</p>	<p>PP C5: Providing housing supply, choice and affordability, with access to jobs, services and public transport</p> <ul style="list-style-type: none"> • A16: Prepare local or district housing strategies that address housing targets [abridged version] • A17: Prepare Affordable Rental housing Target Schemes 	
<p>A city of great places O12: Great places that bring people together O13: Environmental heritage is identified, conserved and enhanced</p>	<p>PP C6: Creating and renewing great places and local centres, and respecting the District's heritage</p> <ul style="list-style-type: none"> • A18: Using a place-based and collaborative approach throughout planning, design, development and management deliver great places by (a-e) • A19: Identify, conserve and enhance environmental heritage by (a-c) • A20: Use place-based planning to support the role of centres as a focus for connected neighbourhoods • A21: In Collaboration Areas, Planned Precincts and planning for centres (a-d) • A22: Use flexible and innovative approaches to revitalise high streets in decline. 	<p>The Planning Proposal is in keeping with priority O13 as the buildings on site were carefully designed to respectfully combine them with the history and heritage of the site, evident in the archaeological interpretation zone and permanent exhibition area that is accessible to the public.</p>

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Productivity

An assessment of the Planning Proposal’s consistency with the CCDP’s relevant Productivity Priorities and Actions is provided in Table 4c, below.

Table 4c – Consistency of Planning Proposal with relevant CCDP Actions – Productivity

Productivity Direction	Planning Priority/Action	Comment
<p>A well-connected city O19: Greater Parramatta is stronger and better connected</p>	<p>PP C7: Growing a stronger and more competitive Greater Parramatta</p> <ul style="list-style-type: none"> • A23: Strengthen the economic competitiveness of Greater Parramatta and grow its vibrancy [abridged] • A24: Revitalise Hawkesbury Road so that it becomes the civic, transport, commercial and community heart of Westmead • A25: Support the emergency services transport, including helicopter access • A26: Prioritise infrastructure investment [abridged] • A27: Manage car parking and identify smart traffic management strategies • A28: Investigate opportunities for renewal of Westmead East as a mixed use precinct 	<p>N/A This Planning Proposal is related to heritage only</p>
<p>Jobs and skills for the city O15: The Eastern, GOP and Western Economic Corridors are better connected and more competitive</p>	<p>PP C8: Delivering a more connected and competitive GOP Economic Corridor</p> <ul style="list-style-type: none"> • A28: Investigate opportunities for renewal of Westmead East as a mixed use precinct PPC8 • A29: Prioritise public transport investment to deliver the 30-minute city objective for strategic centres along the GOP Economic Corridor • A30: Prioritise transport investments that enhance access to the GOP between centres within GOP 	
<p>O14: The plan integrates land use and transport creates walkable and 30 minute cities</p>	<p>PP C9: Delivering integrated land use and transport planning and a 30-minute city</p> <ul style="list-style-type: none"> • A32: Integrate land use and transport plans to deliver a 30-minute city • A33: Investigate, plan and protect future transport and infrastructure corridors • A34: Support innovative approaches to the operation of business, educational and institutional establishments to improve the performance of the transport network 	

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	<ul style="list-style-type: none"> • A35: Optimise the efficiency and effectiveness of the freight handling and logistics network by (a-d) • A36: Protect transport corridors as appropriate, including the Western Sydney Freight Line, North South train link from Schofields to WS Airport as well as Outer Sydney Orbital and Bells Line of Road-Castlereagh connections 	
<p>O23: Industrial and urban services land is planned, retained and managed</p>	<p>PP C10: Growing investment, business opportunities and jobs in strategic centres</p> <ul style="list-style-type: none"> • A37: Provide access to jobs, goods and services in centres [abridged] • A38: Create new centres in accordance with the principles for Greater Sydney's centres • A39: Prioritise strategic land use and infrastructure plans for growing centres, particularly those with capacity for additional floorspace 	<p>N/A This Planning Proposal is related to heritage only</p>
<p>O23: Industrial and urban services land is planned, retained and managed</p>	<p>PP C11: Maximising opportunities to attract advanced manufacturing and innovation in industrial and urban services land</p> <ul style="list-style-type: none"> • A49: Review and manage industrial and urban service land, in line with the principles for managing industrial and urban services land, in the identified local government area • A51: Facilitate the contemporary adaption of industrial and warehouse buildings through increased floor to ceiling heights • A52: Manage the interfaces of industrial areas, trade gateways and intermodal facilities by land use activities (a-e) and transport operations (f-g) [abridged] 	
<p>O24: Economic sectors are targeted for success</p>	<p>PP C12: Supporting growth of targeted industry sectors</p> <ul style="list-style-type: none"> • A53: Facilitate health and education precincts by (a-d) [abridged] • A54: Provide a regulatory environment that enables economic opportunities created by changing technologies • A55: Consider the barriers to the growth of internationally competitive trade sectors, including engaging with industry and assessing regulatory barriers 	

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

	<ul style="list-style-type: none"> • A56: Protect and support agricultural production and mineral resources by preventing inappropriate dispersed urban activities • A57: Consider opportunities to implement place-based initiatives to attract more visitors, improve visitor experience and ensure connections to transport at key tourist attractions • A58: Consider opportunities to enhance the tourist and visitor economy in the district, including a coordinated approach to tourism activities, events and accommodation • A59: When preparing plans for tourism and visitation consider (a-g) [abridged] 	
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Sustainability

An assessment of the Planning Proposal's consistency with the CCDP's relevant Productivity Priorities and Actions is provided in **Table 4d**, below.

Table 4d – Consistency of Planning Proposal with relevant CCDP Actions – Sustainability

Sustainability Direction	Planning Priority/Action	Comment
<p>A city in its landscape O25: The coast and waterways are protected and healthier</p>	<p>PP C13: Protecting and improving the health and enjoyment of the District's Waterways</p> <ul style="list-style-type: none"> • A60: Protect environmentally sensitive areas of waterways • A61: Enhance sustainability and liveability by improving and managing access to waterways and foreshores for recreation, tourism, cultural events and water based transport • A62: Improve the health of catchments and waterways through a risk based approach to managing the cumulative impacts of development including coordinated monitoring of outcomes • A63: Work towards reinstating more natural conditions in highly modified urban waterways 	<p>N/A This Planning Proposal is related to heritage only</p>

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

<p>O26: The coast and waterways are protected and healthier</p>	<p>PP C14: Creating a Parkland City urban structure and identity, with South Creek as a defining spatial element</p> <ul style="list-style-type: none"> • A64: Implement South Creek Corridor Project and use the design principles for South Creek to deliver a cool and green Western Parkland City 	<p>N/A This Planning Proposal is related to heritage only</p>
<p>O27: Biodiversity is protected, urban bushland and remnant vegetation is enhanced O28: Scenic and cultural landscapes are protected</p>	<p>PP C15: Protecting and enhancing bushland, biodiversity and scenic and cultural landscapes</p> <ul style="list-style-type: none"> • A65: Protect and enhance biodiversity by (a-c) [abridged] • A66: Identify and protect scenic and cultural landscapes • A67: Enhance and protect views of scenic and cultural landscapes from the public realm 	
<p>O30: Urban tree canopy cover is increased O32: The Green grid links Parks, open spaces, bushland and walking and cycling paths</p>	<p>PP C16: PP C16: Increasing urban tree canopy cover and delivering Green grid connections</p> <ul style="list-style-type: none"> • A68: Expand urban tree canopy in the public realm • A69: progressively refine the detailed design and delivery of (a-c) [abridged] • A70: Create Greater Sydney green Grid connections to the Western Sydney Parklands 	
<p>O31: Public open space is accessible, protected and enhanced</p>	<p>PP C17: Delivering high quality open space</p> <ul style="list-style-type: none"> • A71: Maximise the use of existing open space and protect, enhance and expand public open space by (a-g) [abridged] 	
<p>An efficient city O33: A low-carbon city contributes to net-zero emissions by 2050 and mitigates climate change O34: Energy and water flows are captured, used and re-used</p>	<p>PP C19: Reducing carbon emissions and managing energy, water and waste efficiently</p> <ul style="list-style-type: none"> • A75: Support initiatives that contribute to the aspirational objectives of achieving net-zero emissions by 2050 • A76: Support precinct-based initiatives to increase renewable 	

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<p>O35: More waste is re-used and recycled to support the development of a circular economy</p>	<p>energy generation and energy and water efficiency</p> <ul style="list-style-type: none"> • A77: Protect existing and identify new locations for waste recycling and management • A78: Support innovative solutions to reduce the volume of waste and reduce waste transport requirements • A79: Encourage the preparation of low carbon, high efficiency strategies to reduce emissions, optimise the use of water, reduce waste and optimising car parking provisions where an increase in total floor in 100,000sqm 	
<p>O36: People and places adapt to climate change and future shocks and stresses</p> <p>O37: Exposure to natural and urban hazards is reduced</p> <p>O38: Heatwaves and extreme heat are managed</p>	<p>PP C20: Adapting to the impacts of urban and natural hazards and climate change</p> <ul style="list-style-type: none"> • A81: Support initiatives that respond to the impacts of climate change • A82: Avoid locating new urban development in areas exposed to natural and urban hazards and consider options to limit the intensification of development in existing areas most exposed to hazards • A83: Mitigate the urban heat island effect and reduce the vulnerability to extreme heat • A84: Respond to the direction for managing flood risk in Hawkesbury-Nepean Valley • A85: Consider strategies and measures to manage flash flooding and safe evacuation when planning for growth in Parramatta CBD 	

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3.2.1 Will the Planning Proposal give effect to a council's endorsed local strategic planning statement, or another endorsed local strategy or strategic plan?

The following local strategic planning documents are relevant to the Planning Proposal.

Parramatta 2038 Community Strategic Plan

Parramatta 2038 is a long term Community Strategic Plan for the City of Parramatta and it links to the long-term future of Sydney. The plan formalises several big and transformational ideas for the City and the region.

The Planning Proposal is considered to meet the strategies and key objectives identified in the plan including:

- **Welcoming - 4.3 Respect, protect and celebrate our shared living histories of Parramatta and embrace our heritage.**

The Planning Proposal will continue to protect and recognise the heritage significance of the archaeological site. The proposal will continue to respect, conserve and celebrate Parramatta's heritage values.

Parramatta Local Strategic Planning Statement

Refer to Section 3.1.1 of this Planning Proposal.

Parramatta Local Housing Strategy

Refer to Section 3.1.1 of this Planning Proposal.

Parramatta CBD Planning Strategy

Council adopted the "Parramatta CBD Planning Strategy" at its meeting of 27 April 2015. The Strategy is the outcome of detailed technical studies which reviewed the current planning framework and also a significant program of consultation with stakeholders and the community. The objectives of the Strategy are as follows:

1. To set the vision for the growth of the Parramatta CBD as Australia's next great city.
2. To establish principles and actions to guide a new planning framework for the Parramatta CBD.
3. To provide a clear implementation plan for delivery of the new planning framework for the Parramatta CBD.

The Parramatta LEP 2023 delivered the vision of the Parramatta CBD Planning Strategy in terms of growth and expansion of the vibrant business community. This Planning Proposal is considered to be consistent in that it protects and recognises the heritage significance of the archaeological site without limiting the uses within the existing building.

3.2.2 Is the Planning Proposal consistent with any other applicable State and regional studies or strategies?

There are no State or regional studies or strategies which relate to the site for this Planning Proposal.

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3.2.3 Is the Planning Proposal consistent with the applicable State Environmental Planning Policies?

The following State Environmental Planning Policies (SEPPs) are of relevance to the site (refer to Table 5 below).

Table 5 – Consistency of Planning Proposal with relevant SEPPs

State Environmental Planning Policies (SEPPs)	Consistency: Yes = ✓ No = x N/A = Not applicable	Comment
SEPP No 1 Development Standards	N/A	This SEPP is not relevant to the proposed amendment.
SEPP No 65 Design Quality of Residential Flat Development	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (BASIX) 2004	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (Exempt and Complying Development Codes) 2008	✓	May apply to future development of the site. The Planning Proposal will have the effect of enabling consideration of the application against the provisions of this SEPP for works proposed to parts of the building outside of the curtilage of the State Heritage Listed area.
SEPP (Housing) 2021	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (Resilience and Hazards) 2021	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (Industry and Employment) 2021	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (Transport and Infrastructure) 2021	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (Biodiversity and Conservation) 2021	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (Planning Systems) 2021	N/A	This SEPP is not relevant to the proposed amendment.
SEPP (Precincts – Central River City) 2021	N/A	N/A

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3.2.4 Is the Planning Proposal consistent with applicable Ministerial Directions (s.9.1 directions)

In accordance with Clause 9.1 of the *EP&A Act 1979* the Minister issues directions for the relevant planning authorities to follow when preparing Planning Proposals for new LEPs. The directions are listed under nine focus areas:

1. Planning Systems and Planning Systems – Place Based
2. Design and Place (This Focus Area was blank when the Directions were made)
3. Biodiversity and Conservation
4. Resilience and Hazards
5. Transport and Infrastructure
6. Housing
7. Industry and Employment
8. Resources and Energy
9. Primary production

The following directions are considered relevant to the subject Planning Proposal.

Table 6 – Consistency of Planning Proposal with relevant Section 9.1 Directions

Relevant Direction	Comment	Compliance
1. Planning Systems and Planning Systems – Place Based		
Direction 1.1 – Implementation of Regional Plans The objective of this direction is to give legal effect to the vision, land use strategy, goals, directions and actions contained in Regional Plans.	The Planning Proposal applies to land within Sydney's Central City. The Planning Proposal is consistent with the goals, directions and actions contained in the Greater Sydney Region Plan.	Yes
Direction 1.3 – Approval and Referral Requirements The objective of this direction is to ensure that LEP provisions encourage the efficient and appropriate assessment of development.	The Planning Proposal does not introduce any provisions that require any additional concurrence, consultation or referral.	Yes
Direction 1.4 – Site Specific Provisions The objective of this direction is to discourage unnecessarily restrictive site specific planning controls.	The Planning Proposal does not introduce any site specific provisions.	Yes
Direction 1.7 – Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan The objective of this direction is to ensure development within the Greater Parramatta Priority Growth Area is consistent with the Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan dated July 2017 (the Interim Plan)	The Planning Proposal achieves the overall intent of the Plan and does not undermine the achievement of its objectives, planning principles and priorities for the Greater Parramatta Priority Growth Area.	Yes

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2. Design and Place

This Focus Area was blank at the time the Directions were made.

3. Biodiversity and Conservation

<p>Direction 3.1 – Conservation Zones</p> <p>The objective of this direction is to protect and conserve environmentally sensitive areas.</p>	<p>The Planning Proposal is consistent with this direction, in that it does not apply to environmentally sensitive areas or alter provisions for land in a conservation zone.</p>	<p>Yes</p>
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<p>Direction 3.2 – Heritage Conservation</p> <p>The objective of this direction is to protect and conserve environmentally sensitive areas.</p>	<p>The Planning Proposal is consistent with this direction, in that it continues to protect and conserve the archaeological site.</p>	<p>Yes</p>
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<p>Direction 3.5 – Recreation Vehicle Areas</p> <p>The objective of this direction is to protect sensitive land or land with significant conservation values from adverse impacts from recreation vehicles.</p>	<p>The Planning Proposal is consistent with this direction, in that it is not proposing to enable land to be developed for the purpose of a recreation vehicle area.</p>	<p>Yes</p>
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4. Resilience and Hazards

<p>Direction 4.1 – Flooding</p> <p>The objectives of this direction are to:</p> <ul style="list-style-type: none"> (a) Ensure that development of flood prone land is consistent with the NSW Government’s Flood Prone Land Policy and the principles of the Floodplain Development Manual 2005, and (b) Ensure that the provisions of an LEP that apply to flood prone land are commensurate with flood behaviour and includes consideration of the potential flood impacts both on and off the subject land. 	<p>The Planning Proposal is consistent with this direction, in that existing flood prone land will not be altered by the planning proposal.</p>	<p>Yes</p>
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<p>Direction 4.3 Planning for Bushfire Protection</p> <p>The objectives of this direction are to:</p> <ul style="list-style-type: none"> (a) Protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas, and (b) Encourage sound management of bush fire prone areas. 	<p>The land is not identified as bush fire prone land under Section 10.3 of the Environmental Planning and Assessment Act.</p>	<p>Yes</p>
<p>Direction 4.4 – Remediation of Contaminated Land</p> <p>The objective of this direction is to reduce the risk of harm to human health and the environment by ensuring that contamination and remediation are considered by Planning Proposal authorities.</p>	<p>The land is not within an investigation area within the meaning of the Contaminated Land Management Act 1997 and has not been subject to development as described in Table 1 of the contaminated land planning guidelines.</p>	<p>Yes</p>
<p>Direction 4.1 - Acid Sulfate Soils</p> <p>The objective of this direction is to avoid significant adverse environmental impacts from the use of land that has a probability of containing acid sulfate soils.</p>	<p>The Planning Proposal is consistent with this direction, in that existing acid sulfate soils provisions will not be altered by the planning proposal</p>	<p>Yes</p>
5. Transport and Infrastructure		
<p>Direction 5.1 – Integrating Land Use and Transport</p> <p>The objective of this direction is to ensure that development reduces dependence on cars, increases the choice of available transport and improves access to housing, jobs and services by walking, cycling and public transport.</p>	<p>The Planning Proposal does not increase dependence on cars or impact the choice of available transport.</p>	<p>Yes</p>
<p>Direction 5.2 – Reserving Land for Public Purposes</p> <p>The objectives of this direction are to facilitate the provision of public services and facilities by reserving land for public purposes and facilitate the removal of reservations where the land is no longer required for acquisition.</p>	<p>The Planning Proposal does not include the identification of or removal of and land require for acquisition.</p>	<p>Yes</p>
<p>Direction 6.3 - Site Specific Provisions</p>	<p>The Planning Proposal does not introduce any site specific provisions.</p>	<p>Yes</p>

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6. Housing		
<p>Direction 6.1 – Residential Zones</p> <p>The objectives of this direction are to encourage a variety and choice of housing types, make efficient use of existing infrastructure and services and minimise the impact of residential development.</p>	<p>The Planning Proposal is consistent with this direction, in that it does not include any housing development.</p>	<p>Yes</p>
7. Industry and Employment		
<p>Direction 7.1 – Business and Industrial Zones</p> <p>The objectives of this direction are to:</p> <ul style="list-style-type: none"> (a) Encourage employment growth in suitable locations, (b) Protect employment land in business and industrial zones; and (c) Support the viability of identified centres. 	<p>The Planning Proposal is consistent with this direction, in that it does not apply to business or industrial zones or alter provisions for land in a business or industrial zone.</p>	<p>Yes</p>

3.3 Section C – Environmental, social and economic impact

This section considers the potential environmental, social and economic impacts which may result from the Planning Proposal.

3.3.1 Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

The Planning Proposal is related to heritage only, with the subject site already fully developed and containing existing buildings, including the public piazza and archaeological interpretation zone.

3.3.2 Are there any other likely environmental effects as a result of the Planning Proposal and how are they proposed to be managed?

The main potential environmental impacts to be examined in detail with any future development proposal for the site are:

Heritage

The subject site is identified as item A16 "archaeological site" on Schedule 5 of the PLEP 2023 (see **Figure 15**). The subject site is also identified as item 02027, "Archaeological Site and associated artefacts" on the NSW State Heritage Register (SHR).

The proposed reduction of the PLEP 2023 listing to align with the SHR curtilage will not impact the archaeological site, as all remaining extant State significant historical archaeology within the site is limited to the SHR listing curtilage, and no changes are proposed to the existing SHR listed item.

The Planning Proposal will have the effect of enabling consideration of the application of the provisions of the State Environmental Planning Policy (Exempt and Complying Development

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Codes) 2008 for works proposed to parts of the building outside of the curtilage of the State Heritage Listed area.

Any future development on the subject site within the vicinity of the item will still require a Statement of Heritage Impact to address any potential impacts on the archaeological site.

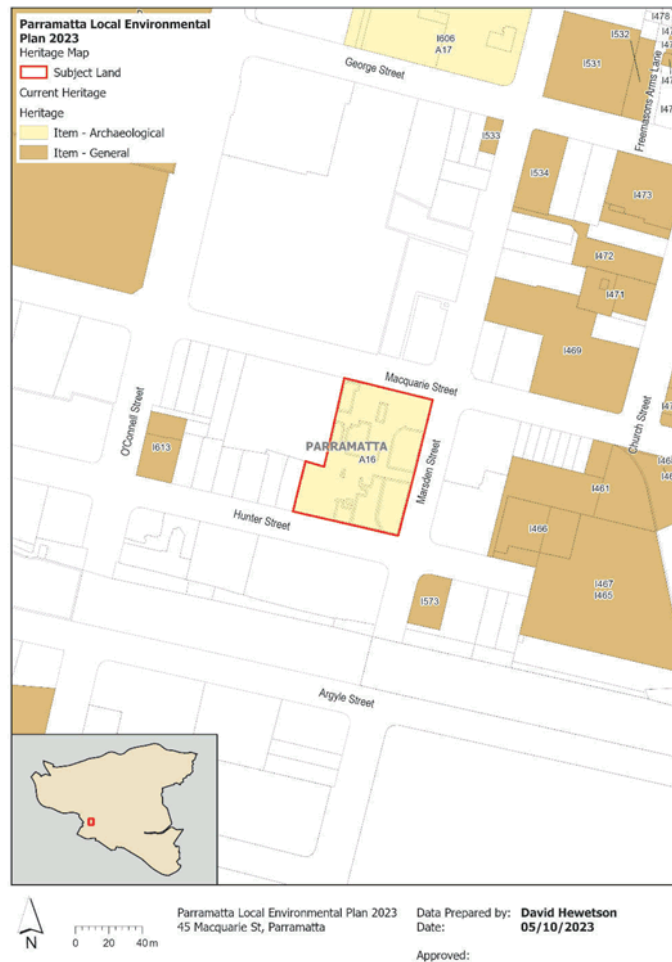


Figure 15 – Heritage item map, Parramatta LEP 2023 for the subject site at 45 Macquarie Street, Parramatta

3.3.3 Has the Planning Proposal adequately addressed any social and economic effects?

The Planning Proposal has considered the significance of the archaeological site and concludes that any social and economic effects have been adequately addressed. The Planning Proposal will continue to manage, protect and promote the heritage character of the archaeological site.

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3.4 Section D – State and Commonwealth Interests

3.4.1 Is there adequate public infrastructure for the Planning Proposal?

There are no potential impacts on public infrastructure as a result of this Planning Proposal.

3.4.2 What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?

Consultation with the State and Commonwealth public authorities will be undertaken once the gateway determination has been issued.

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

PART 4 – MAPS

This section contains the mapping for this Planning Proposal in accordance with the DP&E's guidelines on LEPs and Planning Proposals. **Existing controls**

This section illustrates the current *Parramatta Local Environmental Plan 2023* controls which apply to the site. **Figure 16** illustrates the existing MU1 Mixed Use zone for the site at 45 Macquarie Street, Parramatta.



Figure 16 – Existing zoning extracted from PLEP 2023 Land Zoning Map

Figure 17 illustrates the existing Height of Buildings controls for the site at 45 Macquarie Street, Parramatta.

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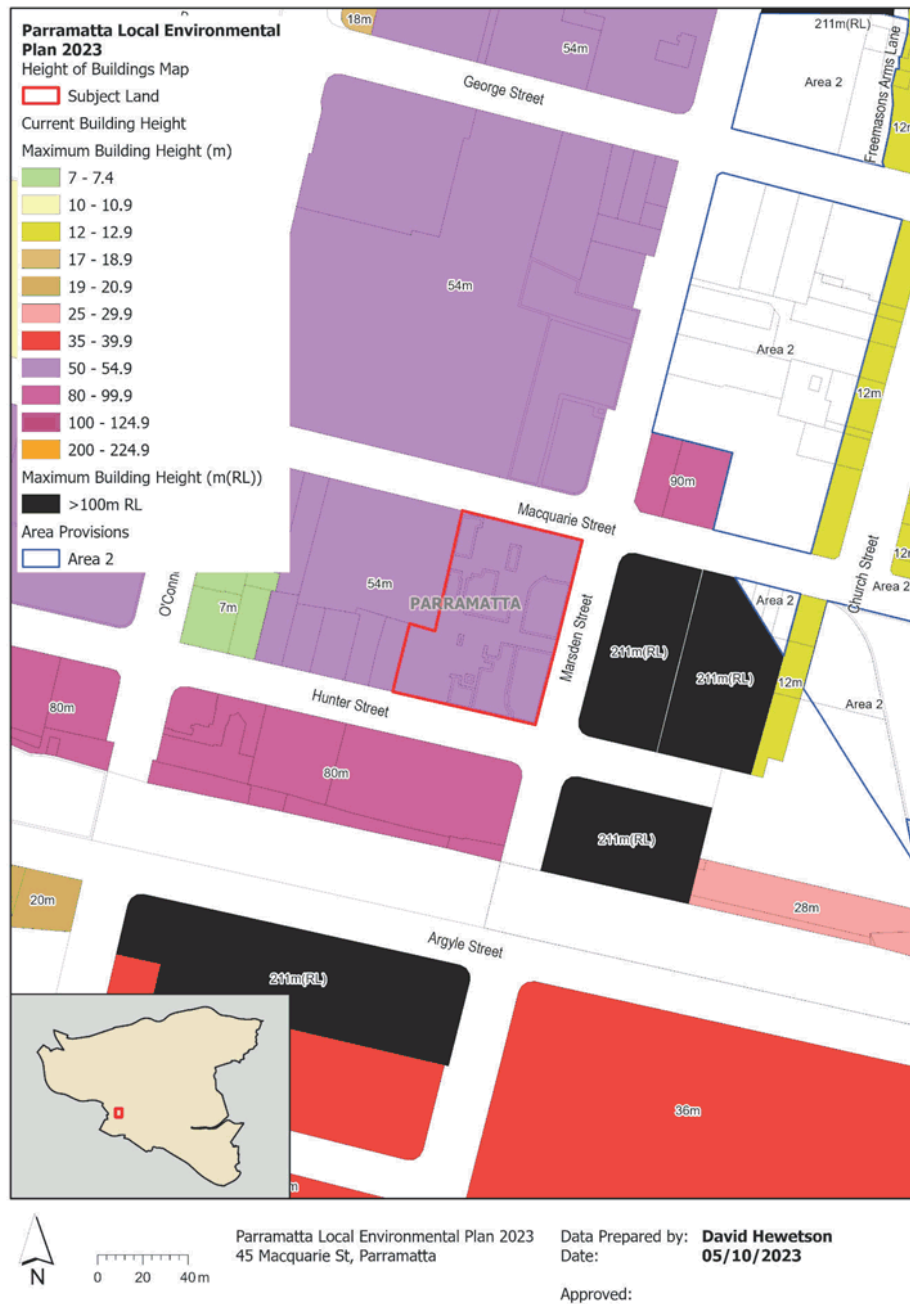


Figure 17 – Existing building heights extracted from the PLEP 2023 Height of Buildings Map

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

Figure 18 illustrates the existing Floor Space Ratio controls for the site at 45 Macquarie Street, Parramatta

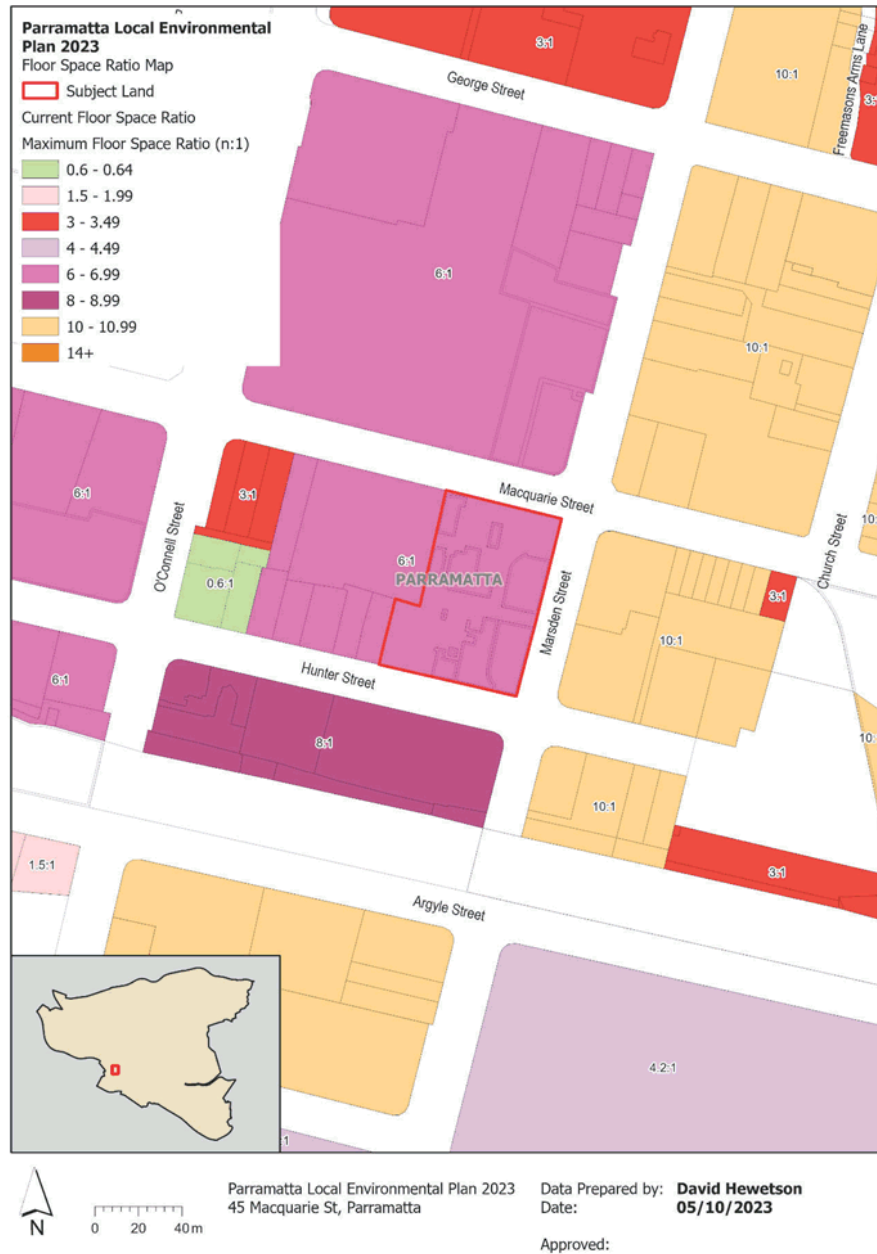


Figure 18 – Existing floor space ratio extracted from the PLEP 2023 Floor Space Ratio Map

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Figure 19 illustrates the existing Heritage Item A16 “archaeological site”, for the site at 45 Macquarie Street, Parramatta

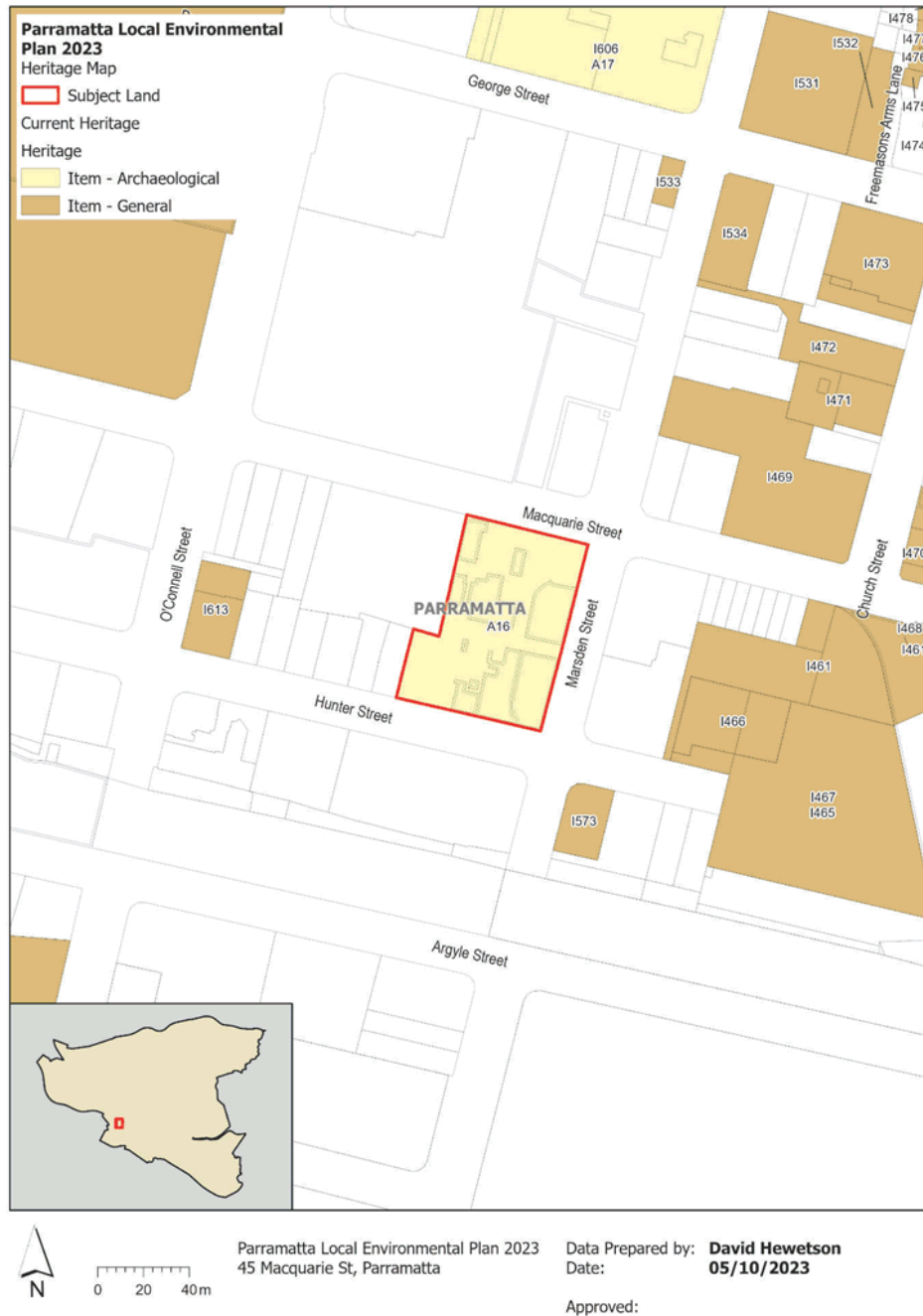


Figure 19 – Existing heritage items extracted from the PLEP 2023 Heritage Map

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

4.2 Proposed controls

The figures in this section illustrate the proposed Heritage map as a result of the assessment and recommendations for the Planning Proposal.

Figure 20 illustrates proposed Heritage map for the site at 45 Macquarie Street, Parramatta

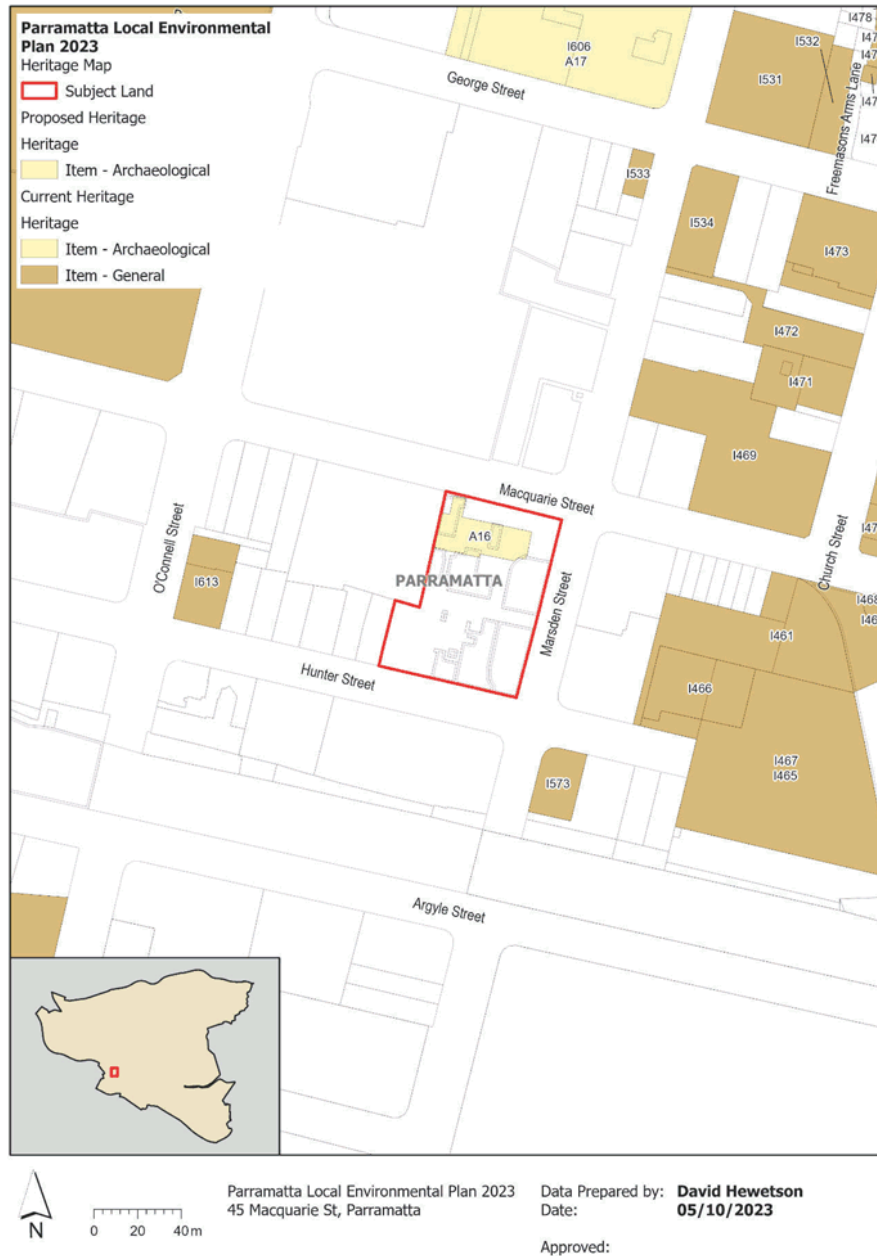


Figure 20 – Proposed amendment to the PLEP 2023 Heritage Map

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PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

PART 5 – COMMUNITY CONSULTATION

The Planning Proposal (as revised to comply with the Gateway determination) is to be publicly available for community consultation.

Public exhibition is likely to include:

- display at Council's Customer Service centre
- display at Council's branch libraries across the LGA;
- display on the Council's web-site; and
- written notification to adjoining landowners.

The gateway determination will specify the level of public consultation that must be undertaken in relation to the Planning Proposal including those with government agencies.

Consistent with sections 3.34(4) and 3.34(8) of the *EP&A Act 1979*, where community consultation is required, an instrument cannot be made unless the community has been given an opportunity to make submissions and the submissions have been considered.

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

PART 6 – PROJECT TIMELINE

Once the Planning Proposal has been referred to the Minister for review of the Gateway Determination and received a Gateway determination, the anticipated project timeline will be further refined, including at each major milestone throughout the Planning Proposal's process.

Table 7 below outlines the anticipated timeframe for the completion of the Planning Proposal.

Table 7 – Anticipated timeframe to Planning Proposal process

MILESTONE	ANTICIPATED TIMEFRAME
Report to LPP on the assessment of the PP	October 2023
Report to Council on the assessment of the PP	November 2023
Referral to Minister for review of Gateway determination	December 2023
Date of issue of the Gateway determination	February 2023
Date of issue or revised Gateway determination (if relevant)	Not Applicable
Commencement and completion dates for public exhibition period	June 2024
Commencement and completion dates for government agency notification	June 2024
Consideration of submissions	July 2024
Consideration of Planning Proposal post exhibition and associated report to Council	August 2024
Submission to the Department to finalise the LEP	September 2024
Notification of instrument	September 2024

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

Appendix 1 – Heritage Assessment Report

[GBA Heritage 2021]

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Planning Proposal LEP Archaeological Listing V by Crown

October 2021

The General Manager
City of Parramatta Council
PARRAMATTA NSW

Dear Sir

HERITAGE ASSESSMENT REPORT LEP ARCHAEOLOGICAL LISTING 45 MAQUARIE ST, PARRAMATTA

On behalf of the owners of the V by Crown mixed use development at 45 Macquarie Street, Parramatta we have pleasure in providing this Heritage Assessment Report in support of a Planning Proposal, prepared by Planning Ingenuity in relation to the State Listed Archaeological resources at the above property.

The Planning Proposal, which has been prepared by Planning Ingenuity and is attached to this letter, is described as follows:

To amend the Parramatta *Local Environmental Plan 2011* by reducing the extent of the archaeological site, identified as A11 at 45 Macquarie St Parramatta, listed on Schedule 5 of the LEP, (Lot 100, DP 12122216) and identified on the Heritage Map (HER10), to align with the extent of the recently gazetted listing of that archaeology on the *NSW State Heritage Register* as item 2027, "Archaeological Site and associated artefacts".

The subject archaeological site was revealed in c2015 as part of the preliminary excavations for a future multi-story tower to be erected on the western corner of Macquarie, Marsden and Hunter Streets. This whole site was subsequently listed as an archaeological site (Item A11) on Parramatta LEP 2011.

Subsequent discussions with the Director and Senior Archaeologist at Heritage NSW, (then OEH) determined that, while the relics identified along the northern portion of the site were likely to be of State Heritage significance, the process of designing and approving a high rise mixed use residential tower, required a degree of flexibility in the statutory definition of the most important relics prior to a formal listing on the NSW State Heritage Register.

As part of the recognition of the value and significance of the archaeology, the proponent and HNSW agreed that a full-scale Archaeological Display and Interpretation Centre for visiting members of the public and scholars, should be developed around the actual relics. The resultant basement level Archaeological Centre is readily identifiable from the large opening in the ground floor level northern plaza of the V by Crown building at 45 Macquarie Street.

The final physical configuration of the Display Centre was selected as the limit of the State Heritage Register listed site. This Planning Proposal seeks to align the extent of the PLEP listed site (A11) with the that SHR listing footprint. For consistency, it proposes to use identical information from the SHR Heritage Inventory for the site.



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ABN 56 073 802 730
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THE STATE HERITAGE LISTING OF THE ARCHAEOLOGY

The formal listing of the site on the NSW State Heritage Register was gazetted on 5 July 2019 and is illustrated on SHR Plan 3220. It is also illustrated on the attached survey plan by Crown Landmark Developments Pty Ltd.

STATEMENT OF SIGNIFICANCE +

The formal **Statement of Significance** for the V by Crown Archaeological Site is:

The two in situ archaeological displays at 45 Macquarie Street, Parramatta are of state heritage significance for their historical values demonstrating the development of Parramatta, the second settlement in NSW, from a Goal Town to a Market Town between the years 1790 and 1823. The in situ remains and wealth of individual artefacts collected from the site, some of which are on permanent display, are compelling evidence of the important role of convicts, native born and free migrants in this transformation.

The archaeological site is of state significance as pollen samples from the site are evidence of the first crops, including cereal crops of barley sown in Parramatta from 1788 to 1790.

The site is of state heritage significance for its aesthetic values as examples of traditional building and construction technology and for the visual appeal or attractiveness of the in-situ retention of the archaeological remains.

The site and its treatment archaeologically as an in-situ museum, is of state significance for the esteem in which it is held in the community, including the community of archaeologists, heritage professionals and those with an interest in our colonial beginnings, not only in Parramatta, but also New South Wales and nationally.

The archaeological site is of state heritage significance for its research significance as the excavation has provided evidence relating to a number of research questions relating to the development of Parramatta, the colony's second settlement, from a Gaol Town to Market Town and the progress of settlement in New South Wales as a whole.

The Archaeological Site at 45 Macquarie Street, Parramatta is of state heritage significance as it contains a rare well-preserved example of a 'convict hut' in the second settlement in the colony of NSW.

It also has state level rarity values as, unlike other sites at Parramatta, it provides clear physical evidence of an early convict hut as well as later layers of the sites occupation as a bakery, wheel wrights workshop, masonry residence and evidence of the origins and expansion of the Shepherd and Flock Hotel. As such it clearly demonstrates the transformation of the settlement at Parramatta from a Gaol Town to a Market Town in the early decades of European occupation.

The site is of state heritage significance as a rare example of the management of an important archaeological site to be retained and conserved in situ rather than excavated and salvaged off site.

The archaeological site at 45 Macquarie St Parramatta is of state heritage significance as a fine example of a remnant 'convict hut' at one of the four original colonial settlements. It also represents the evolution and growth of Parramatta and the colony in its first 50 to 60 years.

DESCRIPTION AND PHYSICAL CONDITION

The formal **Description** on the SHR listing states:

The Main Display Area includes archaeological remains of the convict hut, built c. 1800 on Allotment 16, Section 12, Town of Parramatta. The archaeological excavations in 2005 revealed how the hut was extended and altered until the 1836-1844. The most significant addition was a wheelwright's workshop on the west side of the convict hut, built by John Walker after he leased the allotment from the Crown in 1823. Remains of a sandstone working floor, spattered with molten iron and also two forges were located in this area. Other important changes to the convict hut included the addition of a brick floor and two large fireplaces on the south wall, one of which may have been a bread oven.

The convict hut and its extensions were demolished between 1836 and 1844 to be replaced by a substantial brick cottage with sandstone foundations. There were two large front rooms, a central hallway, front verandah and rear skillion rooms. Above the main rooms were attic bedrooms with dormer windows. The back wall of the skillion had collapsed due to saturation of the soil during a period of heavy rain, coupled with poor drainage. A large timber outbuilding was built over these footings to extend the back of the house in the late nineteenth century. The cottage was finally demolished in the 1950s but the land remained vacant until the 1990s. A failed development resulted in a series of concrete piles being drilled through the archaeological remains, but left most of the site intact.

The second Display Area includes the cellar of the Shepherd and Flock Inn, licensed from 1825 to 1870. The stone-built cellar, with intact timber floor, was backfilled with demolition material and a layer of charcoal, indicating a large fire. The dating of the cellar could only be resolved during the archaeological investigations to open up the site for display in 2016. The cellar is now known to have straddled the boundary between Allotments 17 and 18. Allotment 18 was leased to John Graham on 1 January 1806. It was the site of the Wheatshaf Hotel from 1801 to 1809, which was housed within a typical convict hut and its extensions. The allotment was leased to Thomas Reynolds in 1823, when he also bought the lease to Allotment 17.

The cellar was built over the site of the east wall of the former convict hut on Allotment 17, thus revealing the encroachment onto Allotment 17. Neither of the convict huts on Allotments 17 and 18 could be conserved in situ, since their remains were so poorly preserved.

The SHR listing provides Further Comments about the **stratigraphy** of the subject archaeology:

The depth of stratigraphy on the Macquarie Street frontage of Allotment 16 preserved intact the remains of the convict hut and its extensions, including the wheelwrights workshop. These were overlain by demolition layers and only partially cut through by the later brick cottage, built between 1836 and 1844. The demolition of the cottage in the 1950s also provided protection for the underlying archaeology. Initially it was thought that the concrete piers from the failed 1990s development had destroyed the archaeological remains, but excavation proved their intactness. Because the site had been in a low lying and poorly drained area, there was a historical tendency to build up the ground around the archaeological sites to the level of Macquarie Street, in order to avoid flooding. The preservation of the archaeological remains on Allotment 16 is therefore largely due to this accumulation of layers and to waterlogging of the lower soil profile.

The adjacent buildings on Allotment 17 and 18 were located on higher ground and did not therefore have a similar stratigraphic history. These sites tended to be cut down to the level of the adjacent streets. This resulted in the poor preservation of building remains except for the most recent, but did allow the deep cellar of the Shepherd Inn to survive.

The **Physical Condition** of the archaeological features, as described on the SHR listing states:

Of the sites on the Macquarie Street frontage, the remains on former Allotment 16 and the cellar on Allotment 17-18 were preserved in a condition that was suitable for conservation, interpretation and display. Both the cellar and the lower levels of the convict hut presented waterlogged or anaerobic conditions, allowing for the preservation of the timber floor of the cellar and some of the lower timbers of the convict hut. Not all the timbers could be conserved and, in some cases, modern timbers have been used to indicate the positions of original timbers in the displays.

One of the most unusual features was the depth of stratigraphy on Allotment 16, with over a metre from the original topsoil to the current kerb height on Macquarie Street. Pollen samples were taken from the soil profile,

revealing the changing environment over time and the presence of cereal pollen at the beginning of historical settlement, when Rose Hill was a government farm from 1788 to 1790. The depth of stratigraphy also allowed assemblages from each period of occupation to be treated separately, revealing the paucity of material comforts for the early convict occupants



Fig 1 The residential building at 45 Macquarie St, Parramatta, erected over the subject archaeology



Fig 2 The archaeology is now conserved and displayed below the Macquarie St Plaza



Fig 3 Interpretive information located on the plaza level balustrade



Fig 4.. The archaeological relics are now confined within the basement level walls of the Display Centre



Fig 5 The Display Centre is fitted with many interpretive panels and display cases



Fig 6 The basement Display and Interpretive Centre allows visitors to closely inspect the archaeology



Fig 7 A glazed insert in the plaza floor highlights the Wheelwright's Workshop section of the archaeology



Fig 8 Interpretive panels inform visitors to the Display Centre of the different features



Fig 9 Visitors can get close to the archaeology to gain respect for its cultural heritage values



Fig 10 The eastern part of the archaeology illustrates the cellar of an old hotel

HISTORICAL NOTES

The SHR listing provided the following **Historical Notes**:

Aboriginal and first contact history

The land at Parramatta was the traditional home of the Burramatta people of the Darug language group who had lived there for some 60,000 years before the arrival of the English colonists. The Burramatta people were a coastal or salt-water people, a group bordering the area between the coast and the hinterland. Their traditional lands were a place where the hinterland and coastal groups met to trade and perform ceremonial battles and hold corroborees. (History of the Female Factory Precinct. <https://environment.gov.au/.../parramatta-female-factory-history.pdf>)

The word Burramatta means place of the eel and the eel was the totem symbol for the local people. Each year eels gathered at a particular place where the salt water meets the freshwater to 'lie down' and fatten up for their journey north to the Coral Sea to spawn. (Parramatta. Leanne Tobin and Bonny Djuric. <http://urbantheatre.com.au>) During this time the eels made a significant contribution to the Burramattagal diet. Women fished from boats and men speared fish from the riverbanks or hunted possum in the woodland areas and yam and fruits were gathered from the land. Grass seeds were collected and crushed on stones and later processed into a dough for cooking. Other stones found in the Parramatta area were large and rounded. (History of the Female Factory Precinct. <https://environment.gov.au/.../parramatta-female-factory-history.pdf>)

In April Captain Arthur Phillip sailed up the Parramatta river and declared the land around present day Parramatta to be suitable place for a 'gaol town and farm.'. By September Phillip declared a settlement at what was then called Rose Hill. Initially there was some bartering between the Burramattagal and the colonists but with increased settlement and the alienation of more and more land by the colonists relations soured. The farms destroyed the yam beds and settlement did not allow the local people to freely move through their lands. Facing the diminishing of traditional foods sources, the Burramattagal took to harvesting the new crops of corn which met with retaliation from the farmers. (Parramatta. Leanne Tobin and Bonny Djuric. <http://urbantheatre.com.au>)

In 1789 another blow to the indigenous population occurred when their population was decimated by the outbreak of smallpox. While the population was reduced the many indigenous people of western Sydney including the Burramattagal continued to resist the colonial settlers. From 1790, Pemulwuy was widely seen to be the leader of the conflict and resistance against settlers in outlying settlements including Parramatta, Toongabbie, Georges River and Brickfield Hill. In 1797 was severely wounded during a raid on the government farm at Toongabbie. He was taken to hospital where he subsequently recovered, escaped and continued to fight. Four years later in 1801, Governor King declared that Aboriginals near Parramatta, Georges River and Prospect could be shot on sight and in the following year Pemulwuy was shot by a group of settlers. (Pelmuway Australian Dictionary of Biography adb.anu.edu.au/biography/pemulwuy)

While first contact resulted in the reduction of the Aboriginal population all over NSW, many people of the western Sydney area including Parramatta, survived and their descendants still live in the area today.

History of the township of Parramatta

The following historical overview has been sourced and summarised primarily from the excavation report prepared by Edward Higgenbotham and Associates with historical research by Terry Kass, which provides a comprehensive historical background for the site.

The site is in an area of early European settlement in Parramatta, or Rose Hill as it was originally known, which began in late 1788 as a farm to provide much needed crops for the new colony. The Rose Hill farm was converted into a town in 1790 and renamed Parramatta in June 1791. Initial development in the town centred on what are now George, Macquarie and Church Streets, with the construction of several public and government buildings.

While some early town leases were granted to prominent free persons, such as civil servants or members of the NSW Corps, most of the town allotments were occupied by convict huts. The allotments on which these stood generally measured 100 feet by 200 feet and the convict huts were usually 24 feet by 12 feet, containing two rooms one slightly larger than the other to house between 10 and 14 convicts. The large allotment size was to allow for the convict residents to establish household gardens for fruit and vegetables. In November 1790, Watkin Tench described the town has containing 32 completed convict huts occupied by men on either side of the main street (now George Street), with an additional nine huts for women on what is now Church Street, and several other huts occupied by convict families. By the following year, there were approximately 100 convict huts in Parramatta.

While the town was primarily at this stage a goal town it was not long before town leases were occupied by free persons. In 1796 the first town lease in Parramatta was let to John McArthur for 14 years and was occupied by a former convict who was pardoned in 1794, James Larra. The number of town leases granted to free persons (both emancipists and free settlers) gradually increased between 1800 and 1809.

After his establishment as Governor of NSW, Macquarie escalated this trend. Macquarie took the view that the township of Parramatta and other towns should be the domain of the free settler and that convicts should be housed in a way that the government could keep a tight rein on the supervision and control of the convict population. To this end, by 1821, a new convict barracks was constructed at Parramatta, removing the need for convict huts on the allotments within the town.

Governor Brisbane granted new town leases in Parramatta in 1823, and on 30 June over 300 leases were made, with many of the town's inhabitants gaining secure title. With the increase in the free population and the laying out of several new streets, Parramatta soon grew from a penal, gaol town into a fully-fledged market town.

Site specific history

Allotment 16 - Remains of convict hut, brick cottage and Wheelwrights Workshop

The archaeological site at 45 Macquarie Street contains the remains of a convict hut which was built around 1800. This hut on Allotment 16 was inhabited by a John Paisley until 1823. In 1823 it was occupied by John Walker who was a wheelwright, an Australian born man who married an Australian born woman.

It seems he may have started his working life as a wheelwright working for a Hugh Taylor and later went on to run his own successful business. During the 1820s there is evidence the convict hut was used as a bakery and then in the late 1820s Walker added a wheelwrights workshop to the western side of the hut.

In 1839 the permissive occupancy for allotment 16 was converted to a Town Grant in John Walkers name and between the years of 1836 and 1844 the original convict hut was replaced by a brick cottage comprising two large rooms flanking a central hall way with a skillion at the rear and attic rooms above. Evidence of various extensions over the life of the house are revealed in the excavation.

After John Walker died in 1846 his wife continued to live in the house until 1875. At this time the wife sold the property to John Pratt, a local fruit dealer who soon subdivided the land into two parcels and sold the western parcel on and the western part sold for (Pounds)260, indicating that it already had a house on it. A weatherboard cottage had been erected, but was replaced in 1911 by a 'Federation' style house. The eastern parcel was later sold to a Coach Maker, who retained the cottage. Subsequent owners up to the early 1950s when it became the premises of three Dr Maloufs, retained the cottage.

Allotment 17 and 18 - Basement of the Shepherd and Flock Inn

Originally there were three convict huts in on the site facing Macquarie Street - on Allotments 16, as discussed above; on Allotment 17, where the basement and drain of the shepherd and Flock is located; and Allotment 18 on the corner of Marsden and Macquarie Streets. The hut on Allotment 18 was the site of the Wheatsheaf Hotel between 1801-1809, making it one of the earliest hotels in Parramatta. Unfortunately the evidence of convict huts on Lots 17 and 18 was so poorly preserved that they could not be preserved in situ and so the majority of the area of Allotment 18 is not included in the SHR listing.

Allotment 18 was, from at least 1823, leased to Thomas Reynolds which had become the Shepherd and Flock Inn by 1825. Reynolds was a convict transported to the colony in 1816 on the Ocean. Recommended for emancipation by Rowland Hassel he became a free man in 1820. He married a colonial born woman, Mary Reynolds in 1820 and by 1823 had leased the Allotment 18. Reynolds purchased the neighbouring property (Allotment 17) in 1823 from William Sully and extended the hotel into this area. The cellar is associated with this extension.

The Shepherd and Flock Inn closed in 1870.

Recent history

All buildings on the site had been demolished by the early 1950s, and the area was used as a carpark.

The area was identified as PHALMS AMU 3190. The site is included in the Parramatta Historical Archaeological Landscape Management Study (PHALMS) completed in 2001 as Archaeological Management Unit (AMU) 3190, likely to contain intact archaeological resources of State significance including the sites of convict huts.

The area was excavated in 2005.

In 2012 construction began on the 'V by Crown' development at 45 Macquarie Street, Parramatta. The innovatively designed residential/commercial development was completed in 2015.

In mid 2017 the 'V Heritage' Archaeology Display Centre was opened and celebrates the completion of the conservation and interpretive display of the archaeological relics.

HERITAGE ASSESSMENT**CRITERIA A – HISTORICAL SIGNIFICANCE**

The two *in situ* archaeological displays and associated artefacts are of state heritage significance for their historical values demonstrating the development of Parramatta, the second settlement in NSW, from a Goal Town to a Market Town between the years 1790 and 1823. There is compelling evidence on site of the important role of convicts, native born and free migrants in this transformation.

Allotment 16 was occupied by firstly by a convict named John Paisley and later a colonial born man John Walker who eventually established a wheelwrights workshop on the property. He prospered and replaced the convict hut with a brick cottage. The basement remains are of a hotel established by Thomas Reynolds, a convict who made good in the town of Parramatta in the decades from 1820s to the late 1840s. The Shepherd and Flock was established on the site of one of the earlier hotels in the area. The basement, located on adjacent land bought to extend the hotel premises, demonstrates the growth of the township and colonial society in the early to mid-19th century.

The Archaeological Site and associated artefacts are of state significance as pollen samples from the site have been analysed and shown to contain which contain pollens from cereal from the first crops sown in Parramatta from 1788 to 1790.

John Walker died in 1846, but his widow lived in the house until 1875.

The convict hut on the corner of Marsden Street (Allotment 18) was leased to John Graham on 1 January 1806. This lease is one of only two pre 1823 leases that can be located on the south side of Macquarie Street. It was the site of the Wheatsheaf Hotel from 1801 to 1809, one of the earlier hotels in Parramatta. The allotment was leased to Thomas Reynolds in 1823 and by 1825 had become the Shepherd and Flock Inn. Reynolds had purchased the neighbouring Allotment 17 in 1823, enabling him to extend the Hotel across this boundary. The cellar therefore represents an extension of the Wheatsheaf / later Shepherd Inn building, which closed in 1870. Both allotments are important examples of the trends of development from a gaol town to a market town, a process that had largely been completed by 1823.

CRITERIA C – AESTHETIC / TECHNICAL SIGNIFICANCE

The Archaeological Site and associated artefacts at 45 Macquarie Street are of state heritage significance as it is the first archaeological excavation in Parramatta that revealed remains of a convict hut. Most convict huts reveal only a pattern of post-holes. This convict hut retained waterlogged timber posts, but more importantly a brick floor, associated ovens and the adjacent wheelwrights workshop, showing how the building was extended and used for different purposes over time. The later walls of the overlying 1840s cottage reveal well-built sandstone and brick walls of a large cottage. The remains of buildings and the cellar possess aesthetic significance as examples of traditional building technology and for visual appeal or attractiveness of the *in-situ* retention of the remains.

CRITERIA D – SOCIAL / CULTURAL SIGNIFICANCE

The site and collection are of state significance as the investigation, conservation and management of the heritage values of the subject site is deemed of interest and concern to a broader community, including the community of archaeologists, heritage professionals and those with an interest in our colonial beginnings, not only in Parramatta, but also New South Wales and nationally.

CRITERIA E - RESEARCH POTENTIAL

The Archaeological Site and associated artefacts, 45 Macquarie Street, Parramatta, is of state heritage significance as its research significance as the excavation has provided evidence relating to a number of research questions about the foundation of the colony of NSW. The findings contribute to our understanding of the site, the development of Parramatta, the colony's second settlement, from a Gaol Town to Market Town and the progress of settlement in New South Wales as a whole.

CRITERIA F - RARITY

The Archaeological Site and associated artefacts at 45 Macquarie Street, Parramatta are of state heritage significance as it contains a rare, well preserved example of a convict hut in the second settlement in the colony of NSW. While other huts in Parramatta and the other first four settlements in NSW have evidence of convict huts, this site is unique in that there are significant samples of timber surviving in the post holes for the hut on allotment 16. There is also evidence of convict hut at allotment 18 although this is not so well preserved.

The site also demonstrates the transformation of the settlement at Parramatta from a Gaol Town to a Market Town through evidence of the transformation of the convict hut on allotment 16 is firstly adapted to a residence and then replaced with a timber and masonry house as the occupant, John Walker, established his business as a Wheelwright and prospered. The basement of the Shepherd and Flock Hotel demonstrates the evolution of the site at Allotment 18 from convict hut to hotel and the further expansion of the hotel as the proprietor, Thomas Reynolds improves his business through the early to mid-1800s.

The site had a substantial depth of stratigraphy, enabling separation of the artefact assemblage into several datable phases, from convict occupation, through to the 1880s and later.

The site is also be of state heritage significance as a rare example of the management of an important archaeological site to be retained and conserved in situ rather than excavated and salvaged off site. Of the 48 terrestrial -archaeological sites listed on the SHR this is one of only five sites of excavated archaeology dating from the early colonial years which has been retained, conserved and interpreted in situ.

CRITERIA G – REPRESENTATIVE

The Archaeological Site and associated artefacts at 45 Macquarie Street is of state heritage significance as a fine example of a convict hut at one of the four original colonial settlements. It also represents the evolution and growth of Parramatta and the colony in its first 50 to 60 years.

The information that has been gained from the study of the assemblages from this site provide representative examples of the information that can be gained from artefact analysis.

THE PLANNING PROPOSAL

The final physical configuration of the Display Centre was selected as the limit of the State Heritage Register listed site.

The Planning Proposal seeks to align the extent of the PLEP listed site (A11) with the that SHR listing footprint. For consistency, it proposes to use identical information from the SHR Heritage Inventory for the site.

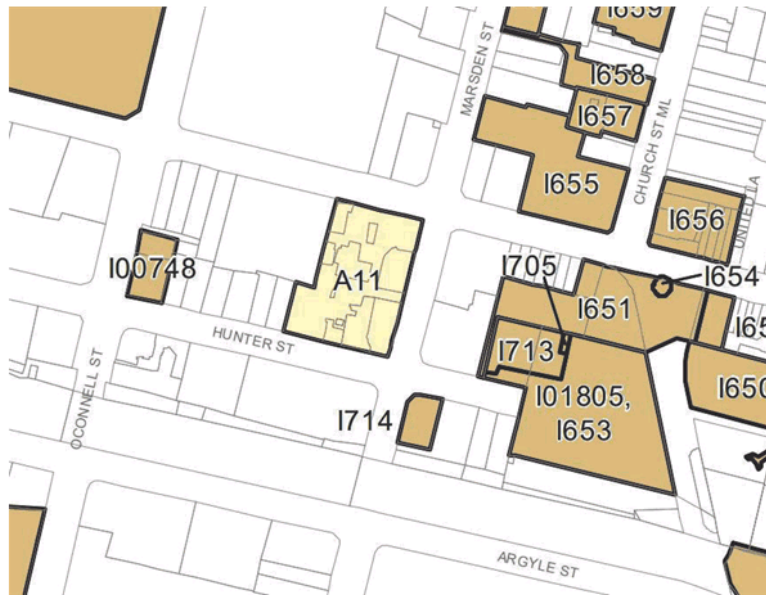


Fig 11 Extract from Parramatta LEP 2011 Heritage Plan showing extent of Item A11

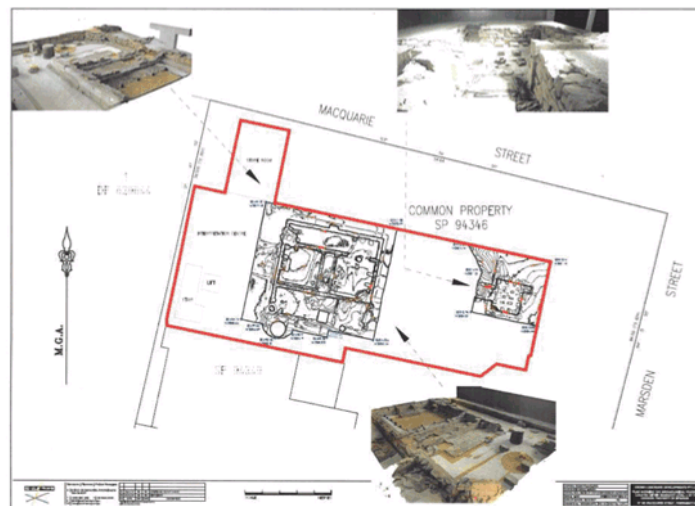


Fig 12 Plan of the existing State Heritage listing, which the Planning Proposal seeks to match for the amended LEP listing to be confined to the northern, Macquarie St frontage of the overall site

RECOMMENDATION

On the basis that the subject Planning Proposal seeks to amend the current LEP boundaries and listing information of the surviving archaeological relics at 45 Macquarie St, Parramatta to match those recently gazetted for the State Heritage Register listing, Parramatta Council and the NSW Department of Environment and Planning should have no hesitation on heritage grounds in approving this change.

- The retained archaeological relics have already been reduced in extent by the construction of the high-rise residential building, as approved by HNSW and PCC.
- The reduced archaeological area is now defined and enclosed by the concrete basement walls that surround the Archaeological Display Centre.
- The retained archaeological relics are protected and conserved under the relevant provisions of the Heritage Act NSW, 1977.
- The ownership of the archaeological relics and the Display Centre fall within the strata title framework of the remainder of the building and site.
- The clarification of the confined extent of the heritage listed archaeological relics will enable changes and upgrades to the remainder of the high-rise building at 45 Macquarie Street to be approved by the relevant consent authority without any need to consider potential heritage impacts on the archaeology.

Yours faithfully
GBA HERITAGE PTY LTD



Graham Brooks
Director
grahambrooks@gbaheritage.com



GRAHAM BROOKS

Managing Director, GBA Heritage Pty Ltd

Positions Held

Managing Director, GBA Heritage Pty Ltd, 2015 -
 Managing Director, Graham Brooks & Associates Pty Ltd, 1996 – 2015
 Director, Schwager Brooks and Associates Pty Ltd, 1984 – 1996
 Associate Director, Travis Partners, 1977 – 1984
 Architect, Pollard Thomas & Edwards, London, 1975 – 1977
 Architect, Commonwealth Department of Works, 1972 – 1975

Professional Qualifications

Bachelor of Architecture (Hons), Sydney University, 1972
 Master of the Built Environment (B Cons) UNSW 1984
 Australian Institute of Architects, 1974
 Associate Royal Institute of British Architects, 1975
 Registered Architect, New South Wales
 Member, Australia ICOMOS

Professional Associations

President ICOMOS International Committee on Cultural Tourism, 2001 – 2011
 Chairman, AusHeritage Ltd, 1999-2001
 Chairman, National Trust (NSW) Historic Buildings Committee, 1996-1999
 Former Heritage Adviser, Liverpool City Council c1995-2005
 Member, Senior Advisory Panel, Global Heritage Fund 2010-
 Member, National Trust of Australia (NSW) 1973-
 Member Australia ICOMOS, 1980-
 UNESCO Monitoring Mission to World Heritage Site of Borobudur, 2003, 2006, 2007
 World Heritage Centre Monitoring Mission to Ajanta & Ellora Caves, India, 2004-2010
 Visiting Professor, Institute of Tourism Studies, Macao, 2006
 Former Executive Committee Member, Australia ICOMOS, 1990-1992
 Former Member Heritage Council Technical Advisory Committee on Materials Conservation, RAI Heritage Committee & RAHS Historic Buildings Committee

CAREER SUMMARY

I have worked in the fields of Architectural Design, Heritage Conservation and Cultural Tourism Management for some 40 years, in Australia, the United Kingdom and more recently for UNESCO in Asia. During that period I have conducted heritage assessments and developed heritage management protocols for hundreds of historic buildings and places. My office has conducted hundreds more under my supervision.

I have lectured widely to business, heritage, professional and student groups on heritage assessments, heritage management, conservation practice, preparing heritage sites for cultural tourism and the methodologies of heritage asset management. I have participated in many appeals before the Land & Environment Court, acting on behalf of both Respondents and Applicants, and have also acted as a Court Appointed Heritage Expert.

PLANNING PROPOSAL – 45 Macquarie Street, Parramatta

Appendix 2 – Supplementary Heritage Information

[GBA Heritage 2023]

(RZ/7/2022)

44

14 March 2023

The General Manager
City of Parramatta
Attn Rachel Machkevitch
Senior Project Officer
Major Projects and Precincts

Email kkirk-torresan@cityofparramatta.nsw.gov.au

Dear Rachel

**DRAFT PLANNING PROPOSAL
45 MACQUARIE ST, PARRAMATTA
ADDITIONAL REQUESTED INFORMATION
REF RZ/7/2022**

Please forgive the long delay in responding to your request to Stratplus, dated 21 December 2022, with regards to a request for further information regarding the Draft Planning Proposal to reduce the extent of the LEP Listed Archaeological Site (A11) at 45 Macquarie St, Parramatta. The site is now commonly known as "V by Crown".

Unfortunately your request, dated 21 December 2022, arrived after the Stratplus' office had closed for the Christmas and New Year period. The request was forwarded to the V by Crown Archaeological Advisory Committee, of which Graham Brooks is a founding and continuing member. Our first reaction has been to refer the request to Dr Edward Higginbotham, the Archaeologist for all the documentary and physical investigations, report preparations, repair and presentation of the remnant archaeology and submissions to Heritage NSW to formally complete the long intended SHR listing. Unfortunately, Dr Higginbotham retired in mid 2021 and confirmed that he was unable to assist in progressing the Draft Planning Proposal.

Consequently, Graham Brooks was requested to respond to the Committee's request. Graham had been the Heritage Adviser on the V by Crown project since its inception, and was familiar with the agreement struck with Heritage NSW to delay a formal SHR gazettal until such time as the retained archaeology was secured and displayed in a defined and completed concrete-walled enclosure at the northern (Macquarie St frontage) of the multilevel basement for the new residential tower.

The extent of the current LEP Listing for A11 is illustrated on LEP Map HER 10. The Draft Planning Proposal seeks to align the LEP mapped area with the now gazetted NSW State heritage Registered Item 2027, "Archaeological site and associated artefacts".

Your letter indicated that the Draft Planning Proposal was reviewed by the City of Parramatta's Heritage Advisory Committee who requested the following information to be referred back to the Committee, when answers could be provided.

The three requests sought by the Heritage Committee were:

1. Provide reasoning to why it is necessary to reduce the existing LEP listing, and additionally, confirm what physical deposits, and what value exists outside the area of the proposed reduced listing

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2. Further details are sought to understand the archaeological significance of the remainder of the site with regard to the threshold for local significance as well as State significance.
3. Demonstrate how existing stratification of the site impacts the proposed listing and vice versa.

BACKGROUND TO THE FORMATION OF THE EXISTING ARCHAEOLOGICAL CENTRE

The agreement with Heritage NSW, made before any development permits were issued for the project, that the gazettal could be delayed, was based on a number of factors:

The research undertaken by Dr Higginbotham from at least 2005, had identified and mapped the survival of two major archaeological sites at the northern frontage to Macquarie Street – extensive evidence of an early convict hut with a later overlay of an early 19th century cottage, and the remains of a cellar, known to belong to an early 19th century pub. The extent and condition of these remains made them very rare and without doubt, of State Significance. The only other archaeological relic on the entire V by Crown site was the remains of a well near the south eastern corner of the overall site.

The Heritage NSW Senior Archaeologist and the then Director were fully aware that the archaeological sites were within the footprint of a major new development, and had been aware of the archaeology for some years, when the site was owned by another developer. Heritage NSW had, during that time, negotiated with that developer for a reduced footprint and additional height bonus for the ten proposed development, provided that any tower was set back in a manner that protected the archaeology at the northern end of the site. Thus, Heritage NSW were prepared to negotiate with the new owner, Crown Developments, to facilitate the overall project on the same proviso – the protection and display of the northern archaeology.

The final design of the existing tower was permitted to be above the northern archaeology on the new proviso that the number of major columns potentially likely to impact the archaeology be reduced by 50%. It was this directive that resulted in pairs of the northern façade columns being paired before they hit the ground – hence the V shaped expression that led to the naming identification of the project as “V by Crown”.

The additional requirement of Heritage NSW was that the archaeology remain sitting on virgin ground and be made available for exhibition to the public. From the outset of these discussions, it was realised that areas of the site without archaeological relics of similar significance, could be totally excavated for the required basements.

Heritage NSW also realised that a lot of construction work would be required before the full extent of the retained archaeology could be listed on the NSW SHR. The agreement was eventually completed with the gazetted SHR boundary surrounding the defined archaeology of the two adjacent sites, supported by sufficient space for a research workshop, store and public interpretation facilities.

Heritage NSW also agreed with a recommendation from Dr Higginbotham that the remnant well on the south east corner of the overall site was of insufficient value to be retained in-situ.

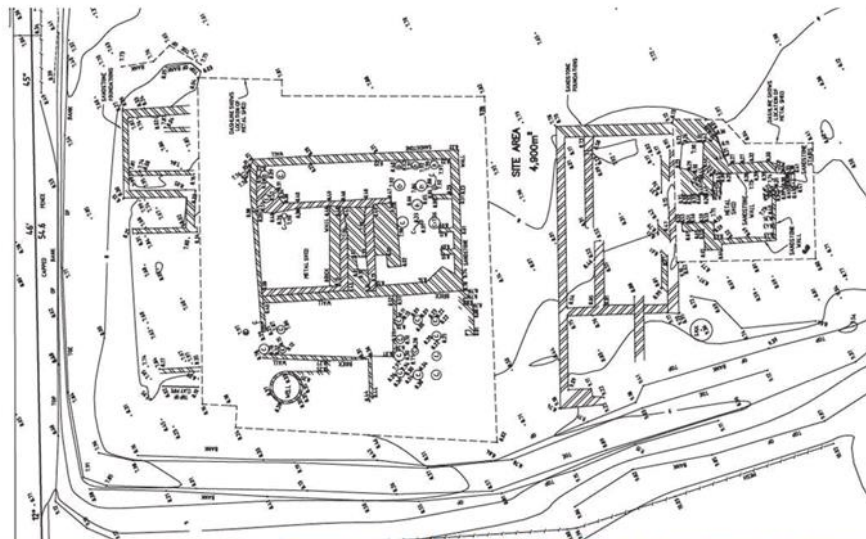
Relevant information to support the above summary is contained overleaf.

EXTRACTS FROM PROJECT DOCUMENTATION THAT DEFINED THE ESHR ARCHAEOLOGY

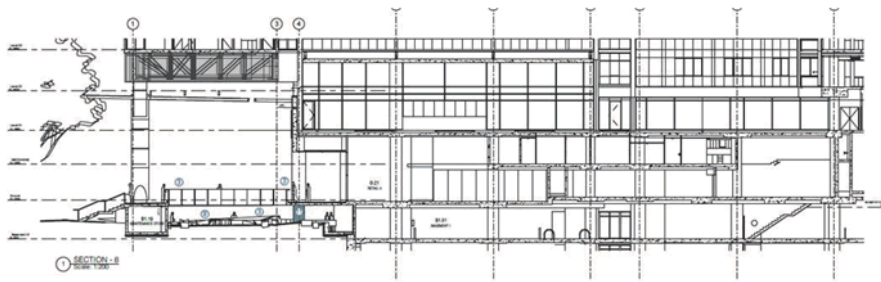


Edward Higginbotham & Associates Pty Ltd, 2005.

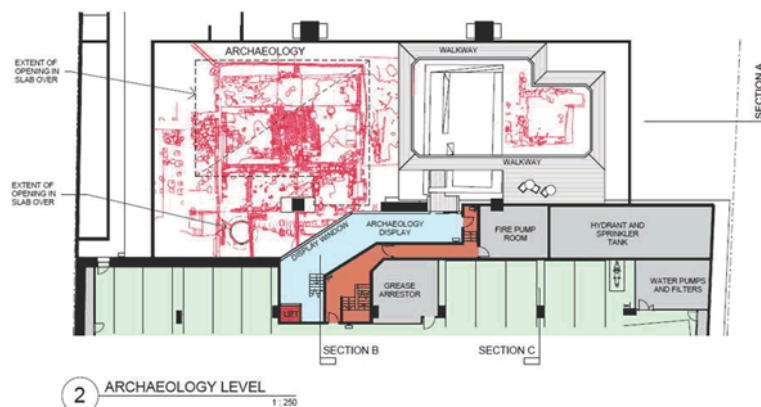
2055 photo of the initial archaeological excavation that revealed the archaeological evidence



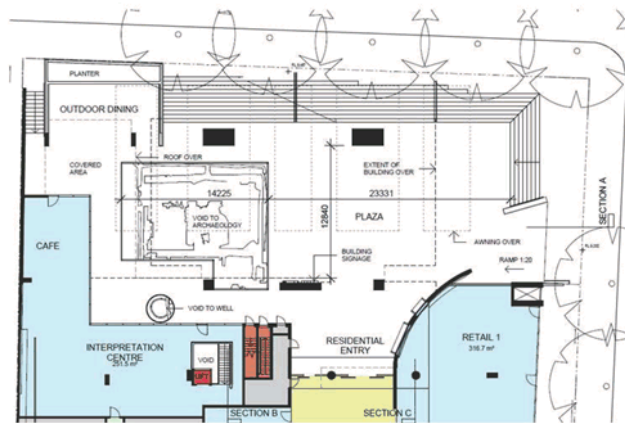
Mapping and detailed photography of archaeological evidence before long term protection when the final development proponent and final proposal were being negotiated.
Material on this page drawn from documentation by Edward Higginbotham & Associates



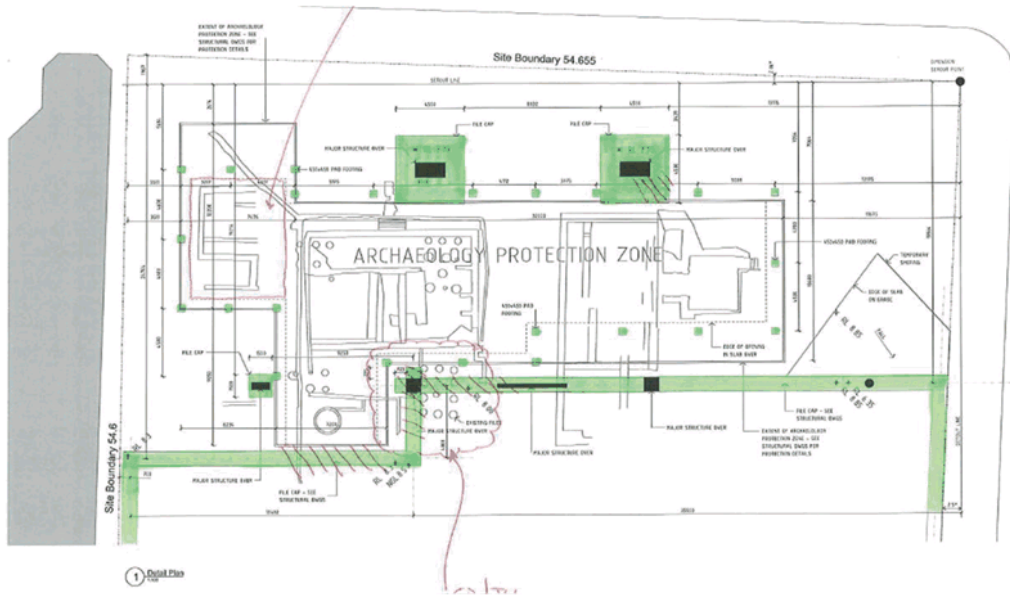
Architectural section with detailed archaeological display proposal by FRD
 Note the excavated depth to accommodate the upper basement level.
 Additional basement levels to the right of the retained archaeology are not shown in this extract



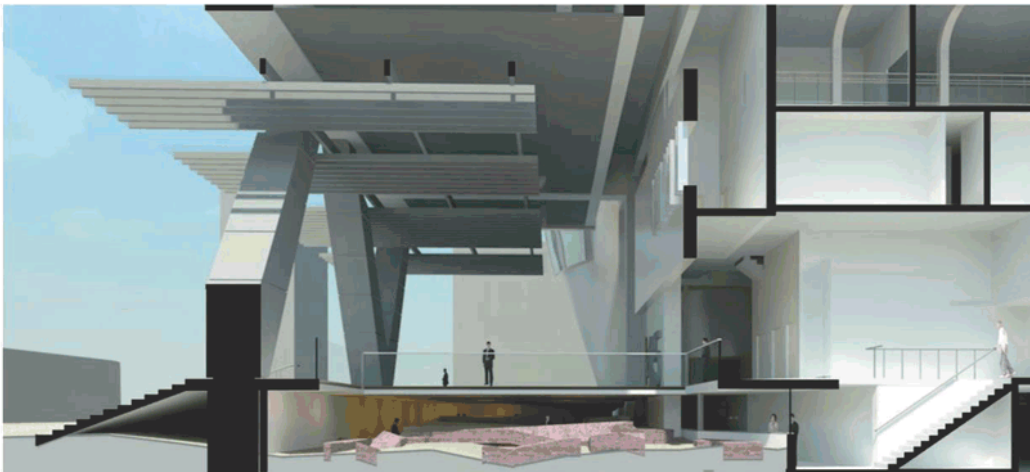
Initial plan of the Archaeological level.
 This layout was ultimately increased to include a conservation workshop plus lift and stair access



Plan of Macquarie St Plaza level with opening above the major archaeological display



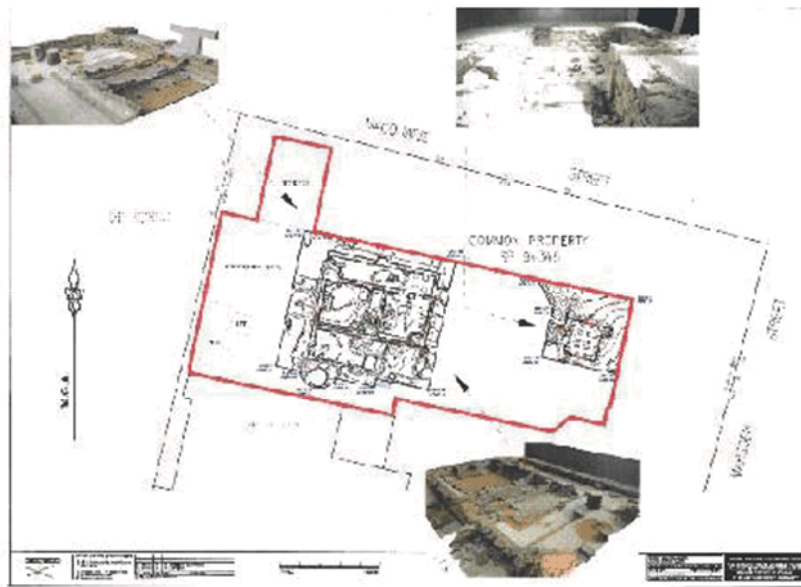
Exploratory architectural plan that led to the reduction of main column footings near the archaeology from four to two, resulting in the V profile of the architectural expression



Indicative sketch of how the basement archaeological display centre would work, with an opening in the Macquarie St plaza



Photos of the completed Archaeological Display Centre



The final SHR boundary to legally and physically protect the state significant archaeology

RESPONSES TO THE REQUESTS FOR MORE INFORMATION

Provide reasoning to why it is necessary to reduce the existing LEP listing, and additionally, confirm what physical deposits, and what value exists outside the area of the proposed reduced listing

Response

The reasoning for reducing the LEP listed area to match the SHR listed area comprises:

- There is no surviving archaeology on the site beyond that now delineated in the SHR curtilage, therefore the additional area of LEP listing is incorrect to the extent that it is now redundant.
- Sound Heritage Management processes need to be based on correct and up to date information.
- The Archaeological Management implications arising from the relevant provisions of the LEP and the NSW Heritage Act, must rely on accurate information.
- The long term management of the building above, with its various common and privately owned strata lots, should be facilitated in a manner that is unencumbered by specific, but potentially redundant and unnecessary development control restrictions that would be generated if the LEP archaeology was not accurately defined.

With regard to the presence and value of any physical archaeological relics outside the SHR listed area, there is no such archaeology surviving, having been removed during the approved excavation for the now existing basements.

Further details are sought to understand the archaeological significance of the remainder of the site with regard to the threshold for local significance as well as State significance.

Response

As discussed above, there is no archaeological significance associated with the remainder of the site.

This fact is confirmed by the location and coverage of the SHR listed area.

Demonstrate how existing stratification of the site impacts the proposed listing and vice versa.

Response

There is no existing stratification remaining on the remainder of the site outside of the SHR listed area.

All of the very important, State Significant Archaeology on the overall V by Crown site at 45 Macquarie St, Parramatta, is contained within the boundary of the SHR listed area. The existing stratification below the retained archaeology has not been disturbed.

Yours faithfully
GBA HERITAGE PTY LTD



Graham Brooks
Director
grahambrooks@gbaheritage.com



GRAHAM BROOKS

Managing Director, GBA Heritage Pty Ltd

Positions Held

Managing Director, GBA Heritage Pty Ltd, 2015 -
 Managing Director, Graham Brooks & Associates Pty Ltd, 1996 – 2015
 Director, Schwager Brooks and Associates Pty Ltd, 1984 – 1996
 Associate Director, Travis Partners, 1977 – 1984
 Architect, Pollard Thomas & Edwards, London, 1975 – 1977
 Architect, Commonwealth Department of Works, 1972 – 1975

Professional Qualifications

Bachelor of Architecture (Hons), Sydney University, 1972
 Master of the Built Environment (B Cons) UNSW 1984
 Australian Institute of Architects, 1974
 Associate Royal Institute of British Architects, 1975
 Registered Architect, New South Wales
 Member, Australia ICOMOS

Professional Associations

President ICOMOS International Committee on Cultural Tourism, 2001 – 2011
 Chairman, AusHeritage Ltd, 1999-2001
 Chairman, National Trust (NSW) Historic Buildings Committee, 1996-1999
 Former Heritage Adviser, Liverpool City Council c1995-2005
 Member, Senior Advisory Panel, Global Heritage Fund 2010-
 Member, National Trust of Australia (NSW) 1973-
 Member Australia ICOMOS, 1980-
 UNESCO Monitoring Mission to World Heritage Site of Borobudur, 2003, 2006, 2007
 World Heritage Centre Monitoring Mission to Ajanta & Ellora Caves, India, 2004-2010
 Visiting Professor, Institute of Tourism Studies, Macao, 2006
 Former Executive Committee Member, Australia ICOMOS, 1990-1992
 Former Member Heritage Council Technical Advisory Committee on Materials Conservation, RAIA Heritage Committee and RAHS Historic Buildings Committee

CAREER SUMMARY

I have worked in the fields of Architectural Design, Heritage Conservation and Cultural Tourism Management for some 45 years, in Australia, the United Kingdom and more recently for UNESCO in Asia. During that period I have conducted heritage assessments and developed heritage management protocols for hundreds of historic buildings and places. My office has conducted hundreds more under my supervision.

I have lectured widely to business, heritage, professional and student groups on heritage assessments, heritage management, conservation practice, preparing heritage sites for cultural tourism and the methodologies of heritage asset management. Since the mid 1980s, I have participated in many appeals before the Land & Environment Court, acting on behalf of both Respondents and Applicants, and have also acted as a Court Appointed Heritage Expert.

**ATTACHMENT 2 – 45 MACQUARIE STREET, PARRAMATTA.
SUBMISSIONS RESPONSE**

STATE AGENCY AND SERVICE PROVIDER SUBMISSIONS

Submission Summary	Officer Response
1. Heritage NSW	
<p>Submitter neither supports nor opposes the proposal</p> <ul style="list-style-type: none"> Submission notes that the proposal involves changing the extent of the curtilage to the Item of local heritage significance to align with the State Heritage Item known as 'Archaeological Site and Associated Artefacts' (SHR item number 02027). Submission notes that the Statement of Significance considers the item to have 'Historical', 'Aesthetic', 'Social', 'Research', 'Rarity' and 'Representative' values. Submitter notes that supporting documentation incorrectly refers to the number of the SHR Item as '2027' as the items number is '02027'. Submitter claims that the SHR Item 02027 is not solely located within the bounds of the boundary for SP 94356. 	<ul style="list-style-type: none"> The first two points are noted. The submission states that the supporting heritage documentation incorrectly refers to the number of the SHR Item as '2027' instead of '02027.' Both GBA's Heritage Assessment Report dated October 2021 and Heritage Additional Requested Information dated 14 March 2023 incorrectly references the SHR number. This error is corrected in the post-exhibition Council report, noting that Council's Planning Proposal document correctly identifies the SHR Item as Item 02027. The proposed reduced heritage curtilage will match the curtilage of the SHR, which is not bound by the strata allotment boundary.

INDIVIDUAL COMMUNITY MEMBER SUBMISSIONS

No.	Submission Summary	Officer Response
1. Submitter from	<p>Submitter objects the proposal.</p> <ul style="list-style-type: none"> Submitter opposes the planning proposal 	<p>Submission objecting the proposal is noted.</p> <ul style="list-style-type: none"> This Planning Proposal only seeks to reduce the size of the local heritage curtilage under PLEP 2023 to align with SHR Item 02027.

No.	Submission Summary	Officer Response
Ferndale Close, Constitution Hill	<ul style="list-style-type: none"> • Submitter raises concerns about the limited nature of on-street parking, and the difficulty of achieving parking at any time of day on street without having to park at a paid parking station. 	<ul style="list-style-type: none"> • The proposed reduced curtilage does not impact existing traffic or parking. • There will be no increase nor intensification of development as a result of the proposal.
2. Submitter from Submitter from Lincluden Place, Oatlands	<p>Submitter supports the proposal.</p> <ul style="list-style-type: none"> • Submitter does not provide a further comment in relation to the proposal. 	Noted.

REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER	13.5
SUBJECT	Gateway Request: Planning Proposal and Draft Site-Specific Development Control Plan for Land at 53-61 Rawson Street, Epping
REFERENCE	F2024/00282 - D09442232
APPLICANT/S	Mecone Group
OWNERS	Canjs Pty Ltd
REPORT OF	Project Officer Land Use

CSP THEME: Innovative

DEVELOPMENT APPLICATIONS CONSIDERED BY SYDNEY CENTRAL CITY PLANNING PANEL Nil

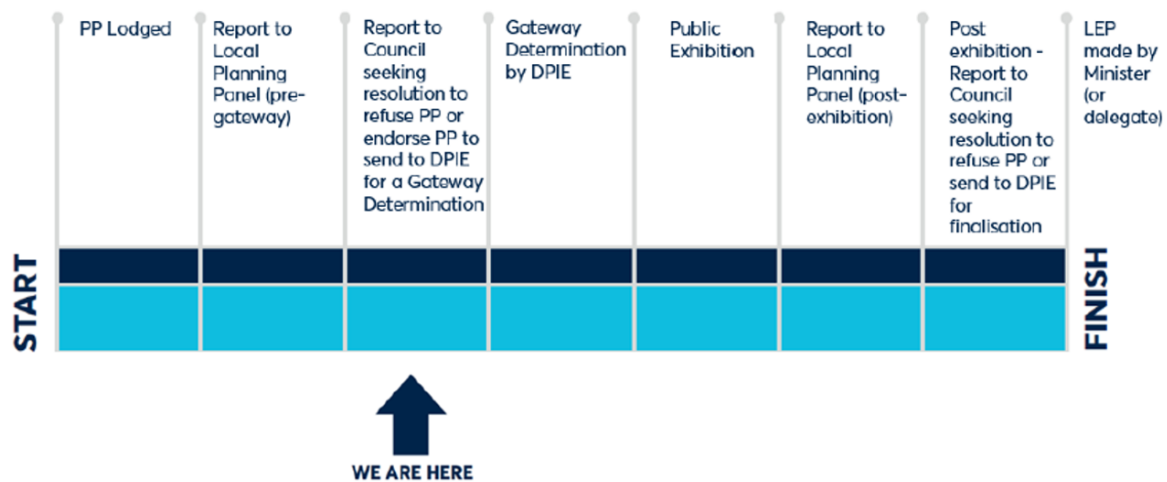
PURPOSE

To seek Council's endorsement of a Planning Proposal and a draft site-specific DCP for land at 53-61 Rawson Street, Epping.

RECOMMENDATION

- (a) That Council approve for the purposes of seeking a Gateway Determination from the Department of Planning, Housing and Infrastructure (DPHI), the Planning Proposal for land at 53-61 Rawson Street, Epping (**Attachment 1**) which seeks to amend the Parramatta Local Environmental Plan 2023 (PLEP 2023) in relation to the subject site by:
 - i. Introducing an additional local provision to allow an additional Floor Space Ratio (FSR) of 1.5:1 for commercial premises only; and
 - ii. Amending the height of buildings control from 48m (15 storeys) to part 103m RL (22m or 5 storeys), part 197m RL (112m or 33 storeys) and part 206m RL (122m or 36 storeys).
- (b) That Council request DPHI to provide Council with the authorisation to exercise its plan-making delegations for this Planning Proposal.
- (c) That Council authorise the CEO:
 - i. To amend the Parramatta Development Control Plan (PDCP) in accordance with the draft Site-Specific Development Control Plan (SSDCP) (**Attachment 2**) to align with the Planning Proposal and to address the matters described in this report; and
 - ii. If a Gateway Determination is issued by DPHI, to place the draft SSDCP on public exhibition concurrently with the Planning Proposal.
- (d) That Council authorise the CEO to correct any minor anomalies of a non-policy and administrative nature that may arise during the plan-making process and finalisation of the documents.

PLANNING PROPOSAL TIMELINE



SUMMARY

- The Planning Proposal seeks to amend the PLEP 2023 to accommodate additional commercial uses by:
 - Introducing a local provision to allow an additional 1.5:1 FSR for commercial premises only, in addition to the current FSR of 4.5:1 (thus making a total 6:1 FSR permitted); and
 - Increasing the height of buildings control from 48m (15 storeys) to part 22m (5 storeys), part 112m (33 storeys) and part 122m (36 storeys).
- The role of the Epping Town Centre as a key commercial centre in accordance with the Parramatta Local Strategic Planning Statement has been significantly impacted by the introduction of extensive areas of high density residential redevelopment in recent years, as a result of planning controls introduced by the State Government in 2014. This high density residential development has limited new commercial development within the Town Centre. The Planning Proposal seeks to strengthen the Epping Town Centre as a key commercial centre by adding 1.5:1 FSR to the site that can only be utilised for commercial premises (comprising business, office, or retail uses).
- The proposed increase in building height from 48m (15 storeys) to a maximum of 122m (36 storeys) is to accommodate a proposed two tower scheme comprising 33 and 36 storey towers atop a 3-5 storey podium (**Figure 1**).
- The draft SSDCP (**Attachment 2**) provides controls to accommodate the proposed two tower scheme (**Attachment 3**) that are consistent with the proposed amendments to PLEP 2023.

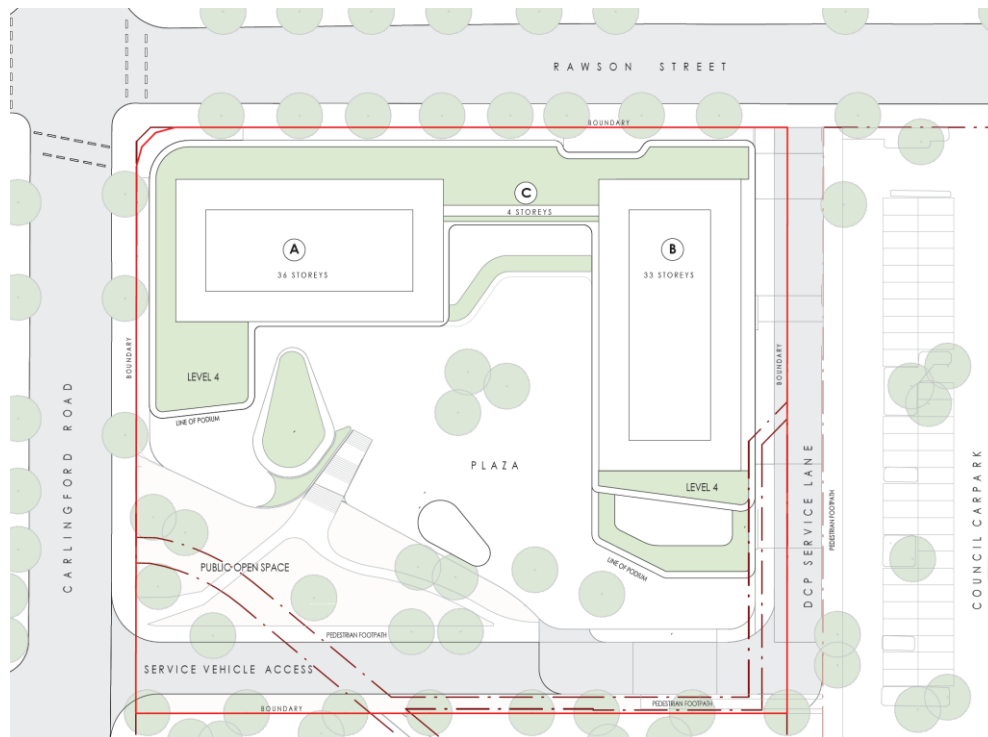


Figure 1: Indicative Site Layout (Tower A = 36 storeys, Tower B = 33 storeys, Podium C = 4-5 storeys)

BACKGROUND

Council Epping Town Centre Commercial Floorspace Planning Proposal

- On 8 February 2021, Council resolved to endorse a Planning Proposal to increase commercial floorspace across the Epping Town Centre for Gateway Determination (refer to **Figure 2** and **Attachment 4** – LPP report for more detail). The Planning Proposal was an outcome of the Epping Town Centre Commercial Floorspace Study, which found that new residential development resulted in a reduction of commercial floorspace that had undermined the role of Epping as a commercial centre.

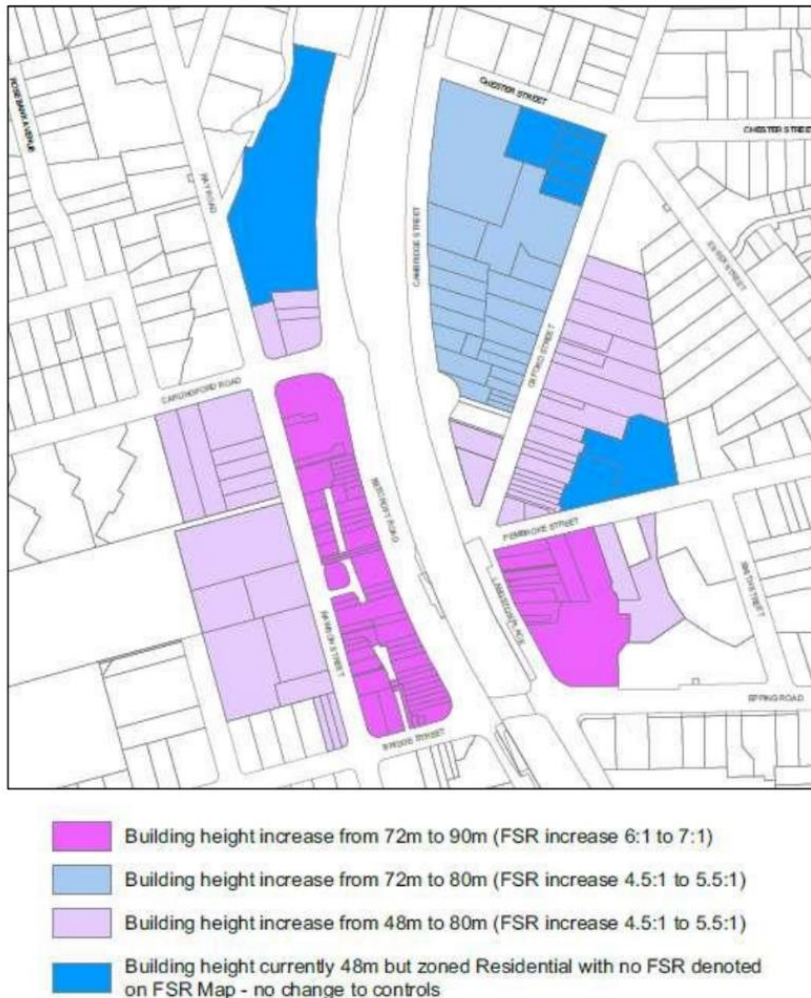


Figure 2 – Proposed building height and FSR changes under the previous Council Planning Proposal

6. The Planning Proposal sought to help meet the projected demand for commercial floor space over the next 20 years in the Epping Town Centre by mandating a minimum 1:1 of non-residential FSR in excess of the current maximum FSR on all land previously zoned B2 Local Centre, including the current Planning Proposal site, and increasing the Height of Building controls to enable the additional floorspace to be accommodated. It was proposed to increase the Height of Building control for the subject site to 80m (23 storeys).
7. In June 2021, the applicant sought pre-lodgment development application (DA) advice for a mixed-use building comprising three 23 storey towers on the site. This application was reliant upon the progression of the Epping Town Centre Commercial Floorspace Planning Proposal but was unable to be supported due to the uncertainty of the draft Planning Proposal and unresolved issues relating to flooding, traffic, and the proposed built form.
8. On 16 September 2021, the (then) Department of Planning and Environment (now DPHI) issued a Gateway Determination refusing the Commercial Floorspace Planning Proposal. The reasons for refusal were that the provision of “non-residential” floorspace would not guarantee the provision of commercial floorspace, the extent of application given many sites were already developed, and that overall traffic impacts were not sufficiently addressed (refer to **Attachment 4** – LPP report). In response to the Department’s concerns, the subject Planning Proposal seeks to only introduce additional commercial

floorspace to a specific site. The traffic impacts of this would also be minimal and can be managed as is explained in later sections.

9. Given the high strategic importance for additional commercial floorspace opportunities to revitalise the Epping Town Centre, applicants have been encouraged to seek to provide commercial floorspace on a site-by-site basis. The subject site is one of the largest developable sites in Epping and is strategically well located to provide a significant amount of much needed additional commercial floorspace. Consequently, it is considered that this Planning Proposal represents a key opportunity to help meet Council's objectives for the Town Centre.
10. At the time of finalising this report, the applicant had on 5 June 2024 lodged a request for a Rezoning Review for the Planning Proposal with DPHI who were reviewing whether the application could be accepted for consideration. The applicant has indicated that if Council resolves to support the Planning Proposal in accordance with the officer recommendation in this report they could withdraw the Rezoning Review application.

SITE AND LOCALITY DESCRIPTION

11. The subject site (**Figure 3**) is known as 53-61 Rawson Street, Epping and comprises seven lots legally described as follows in **Table 1**:

Table 1 – Property Address – Lots and DPs

Property Address	Lot & DP
53 Rawson Street, Epping	Lots 4-7 in DP 19329
53 Rawson Street, Epping	Lots 8 – 9 in DP 975578
61 Rawson Street, Epping	Lot 1 in DP 710711



Figure 3 – Subject site (blue) at 53-61 Rawson Street, Epping (source: NearMap)

12. The 9,089 sqm rectangular site contains a four-storey mixed use building to the north (comprising education and office related uses) and a separate single storey Coles supermarket to the south.
13. The site is zoned E1 Local Centre and is subject to a maximum height control of 48m and a maximum FSR of 4.5:1.

PLANNING PROPOSAL

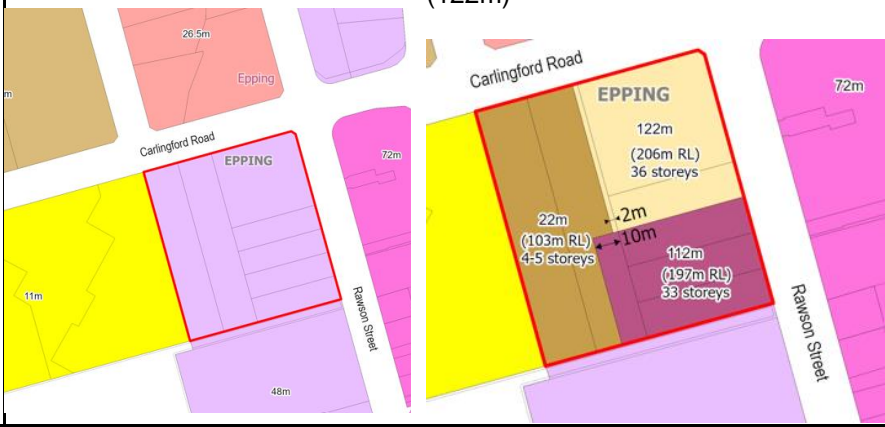
14. In September 2023, the subject Planning Proposal was lodged by the applicant seeking to amend the Height of Buildings control and to add 1:1 commercial FSR to facilitate a mixed-use development comprising three towers. Following detailed review as part of the Planning Proposal assessment it was found that the three-tower configuration was not supported by Council officers as it would lack clear separation between towers, would significantly increase perceived bulk and scale, and would adversely impact view corridors. Following discussions with Council staff, a two-tower scheme was submitted as part of a revised Planning Proposal, which is supported by Council officers.
15. The revised Planning Proposal seeks to introduce an additional local provision specific to the site to allow an additional 1.5:1 commercial FSR (approximately 13,677 sqm comprising business, office or retail premises uses). Notwithstanding the existing 4.5:1 FSR control, which permits a range of uses (including commercial premises) in the E1 Local Centre zone, the additional 1.5:1 commercial only FSR would mean that a maximum 6:1 FSR is permitted for the site, with at least 1.5:1 of the permitted FSR to comprise commercial premises. The increase in commercial floor area is consistent with Council's strategies and

reflects the intention of the previous Council led Planning Proposal by seeking to increase commercial offerings within the Epping Town Centre.

16. An increase in building height is also proposed from 48m to a maximum of 122m to accommodate the proposed two tower scheme inclusive of the proposed additional commercial floorspace. In this respect it should be noted that Council’s previously endorsed Planning Proposal that sought to encourage more commercial floorspace to be developed in the Epping Town Centre proposed an increased building height for the subject site to 80m. Refer to **Table 2** below for an overview of the proposed PLEP 2023 amendments.

Table 2: Proposed PLEP 2023 Amendments

	Existing provisions	Proposed provisions
Zoning	E1 Local Centre	No change
FSR	4.5:1 for uses permitted with consent in E1 Local Centre zone	No change to existing 4.5:1 FSR for uses permitted with consent in E1 Local Centre zone. Addition of 1.5:1 commercial only FSR (6:1 FSR overall). Total 54,673 sqm: <ul style="list-style-type: none"> • 40,996 sqm residential (406 units) • 13,677 sqm non-residential
Height of Building (HoB)	48m	RL 103 (22m), RL 197 (112m) and RL 206 (122m)
Additional Local Provisions	Nil	Add a clause to Part 6, Additional Local Provisions of the PLEP 2023 specific to this site that permits an additional commercial only FSR of 1.5:1. Notwithstanding the existing 4.5:1 FSR, which permits a range of uses (including commercial) in the E1 Local Centre zone, the additional 1.5:1 commercial only FSR would mean that a maximum 6:1 FSR is permitted for the site, with at least 1.5:1 of the permitted FSR to comprise commercial.



17.

ASSESSMENT OF PLANNING PROPOSAL

Local And Strategic Merit Context

16. The Planning Proposal is consistent with the relevant state policies, planning strategies and plans including the Greater Sydney Region Plan, Central City District Plan, Greater Sydney Region Plan: A Metropolis of Three Cities, Central City District Plan, and Ministerial Directions (refer to **Attachment 4** – LPP report, for further details).
17. The Planning Proposal is consistent with Council's Local Strategic Planning Statement (LSPS), which identifies Epping as a Strategic Centre with a broad mix of land uses and a critical focus on infrastructure and growth. The LSPS policy directions state that Epping is a key strategic centre where high-rise development should be focused (**Attachment 1**). The Planning Proposal meets these objectives by delivering additional commercial FSR that will contribute to the role of Epping as a Strategic Centre.
18. The Planning Proposal is also consistent with Council's Local Housing Strategy (LHS), which identifies Epping as a growth precinct with priorities including the provision of new and upgraded open space as well as community facilities. The Planning Proposal meets these objectives by delivering publicly accessible open space in the form of a new park, communal open areas, and public domain works (**Attachment 1**).

Land Use

19. The site presents a key urban renewal opportunity for the Epping Town Centre capable of providing an extensive commercial offering. It is in a highly accessible location, situated adjacent to Boronia Park and within 200m of Epping train station and bus interchange.
20. The Planning Proposal (**Attachment 1**) notes that over the next 20 years there will be demand in the Epping Town Centre for 13,000 sqm of retail floorspace and 55,616 sqm of office floorspace. The established need for commercial floorspace is emphasised by the Planning Proposal and is the principal justification for the additional 1.5:1 FSR being sought. A critical element in supporting the Epping Town Centre as a key commercial hub is the retention of the supermarket currently operating on the site. The applicant has indicated that they intend for this use to be retained and enhanced as part of any redevelopment of the site.
21. The Planning Proposal is supported by a concept design that includes a total 13,677 sqm of commercial floorspace comprising:
 - 7,430 sqm of either business or office floorspace.
 - 6,247sqm of retail floorspace (3,100 sqm supermarket and 3,147 sqm specialty retail).
 - 311 additional jobs created.
22. The Planning Proposal also envisages up to 420 residential apartments that can be accommodated in the existing 4.5:1 FSR within the proposed two towers.

23. The submitted Planning Proposal recommends that a site-specific provision be added to PLEP 2023 that allows for the mapped FSR to be exceeded by 1.5:1 for “non-residential use”. It is recommended that the term “non-residential use” be replaced with “commercial premises” as defined in PLEP 2023. This would include *business premises, office premises and retail premises* but would not include other non-residential uses permissible in the E1 Local Centre zone such as serviced apartments. This would ensure that the additional 1.5:1 FSR is used only for the purposes highlighted in the Planning Proposal and would directly help address the local shortfall in commercial floorspace. The applicant has agreed to the Council officer recommended approach.
24. Other non-residential uses that are otherwise permitted in the E1 Local Centre zone would still be able to be included in any development, however the floorspace utilised for these other uses can only be drawn from the currently mapped FSR of 4.5:1. This approach is consistent with previous advice provided by DPHI relating to the Epping Town Centre Planning Proposal (refer to **Attachment 4** – LPP report).
25. It is noted that the Planning Proposal is supported by several technical studies and analysis that are considered acceptable for the purpose of seeking a Gateway determination. These are accessible through the online [business paper of the 21 May Local Planning Panel](#), and include:
- Urban Design Report
 - Public Domain Plan
 - Transport Impact Assessment
 - Flooding and Flooding Addendum Report
 - Economic Impact Assessment
 - Social Impact Assessment
 - Environmentally Sustainable Design Strategy
 - Wind Assessment.

Urban Design, Built Form and Public Domain

26. Following detailed review as part of the Planning Proposal assessment the applicants originally submitted three-tower configuration was not supported by Council officers as it would reduce consolidated areas of open space, and the lack of clear separation between towers would significantly increase perceived bulk and scale.
27. In response to these concerns, Council officers developed a preferred scheme which facilitated the same FSR but in a two-tower configuration. Although taller, the two-tower scheme (when compared to the applicant’s original three tower scheme) would result in a reduced perception of bulk and scale, improved views to the sky between and around towers, and improved outlook from the towers.
28. Following ongoing discussions with the applicant, a revised Planning Proposal was subsequently submitted on 29 April 2024 that aligned with the Council officer scheme.
29. It is noted that under the current PLEP controls, a four-tower scheme would be necessary to accommodate the existing permissible 4.5:1 FSR whilst complying with maximum building height and PDCP controls. However, the site’s flooding constraints make it unlikely that such a compliant four-tower scheme could be

realised (refer to Flooding section below). Therefore, the Planning Proposal seeks to redistribute the FSR into a two-tower scheme.

30. The proposed two tower scheme (**Attachment 3**) would reinforce the role of the site as a key retail and commercial destination whilst providing open space and a mixture of residential and commercial uses to support high levels of activation within the site and the locality (see **Figures 4 & 5**).
31. Publicly accessible open space is proposed on the ground floor comprising a 1,230 sqm park and 3,370 sqm plaza. The open space will not be dedicated to Council given it is partly flood affected and partly located above a basement, however Council would seek to secure an easement for public access at the development application stage as required by the SSDCP. This would deliver improved site permeability, safety and security and activation of Rawson Street and Carlingford Road. The new park may include a range of play elements that serve both children and adults subject to DA assessment.
32. It is noted that Council officers have amended the applicant’s proposed Height of Buildings map as part of the Planning Proposal (refer to **Attachment 1**) to better align the height mapping with the applicant’s two tower scheme (**Attachment 3**). The applicant has since agreed with Council officer’s recommended height mapping.

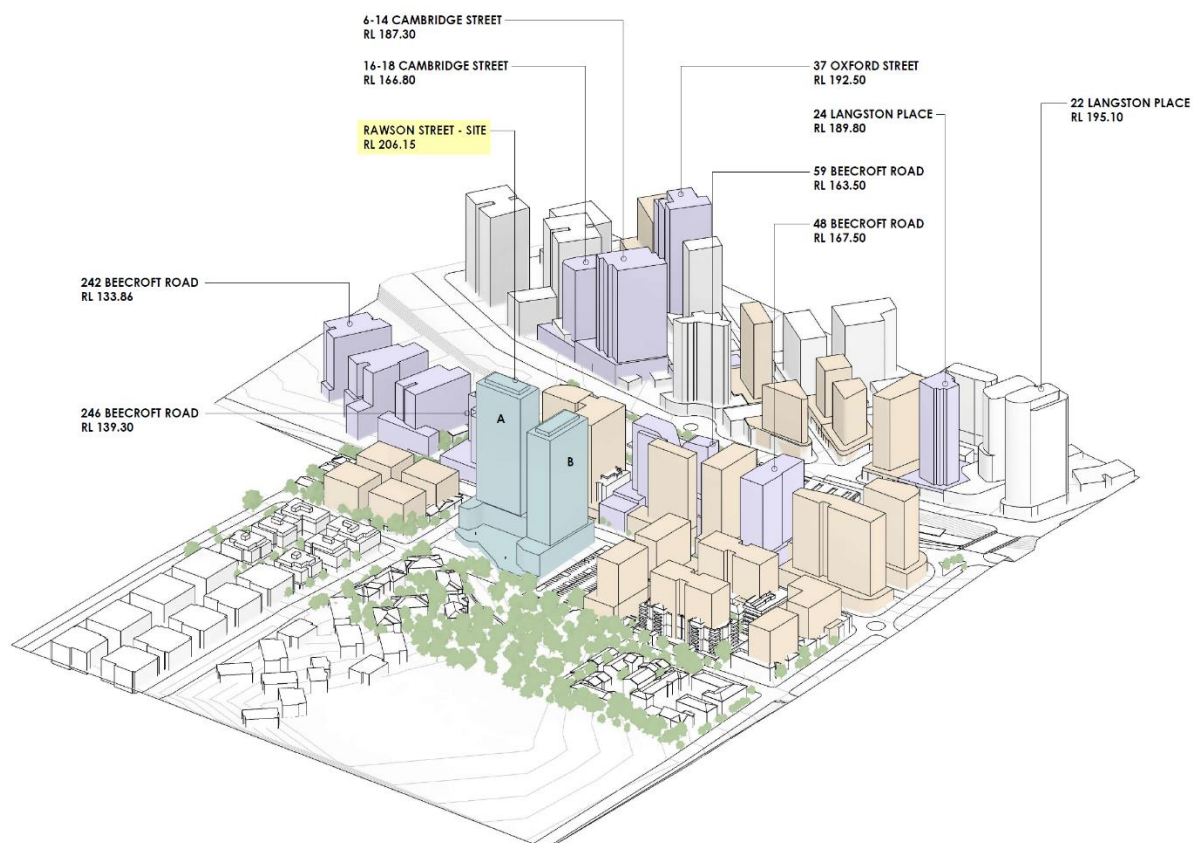


Figure 4: Epping Town Centre Built Form (existing development - white, approved development - purple, development possible under existing controls – orange, proposed subject site development – blue)

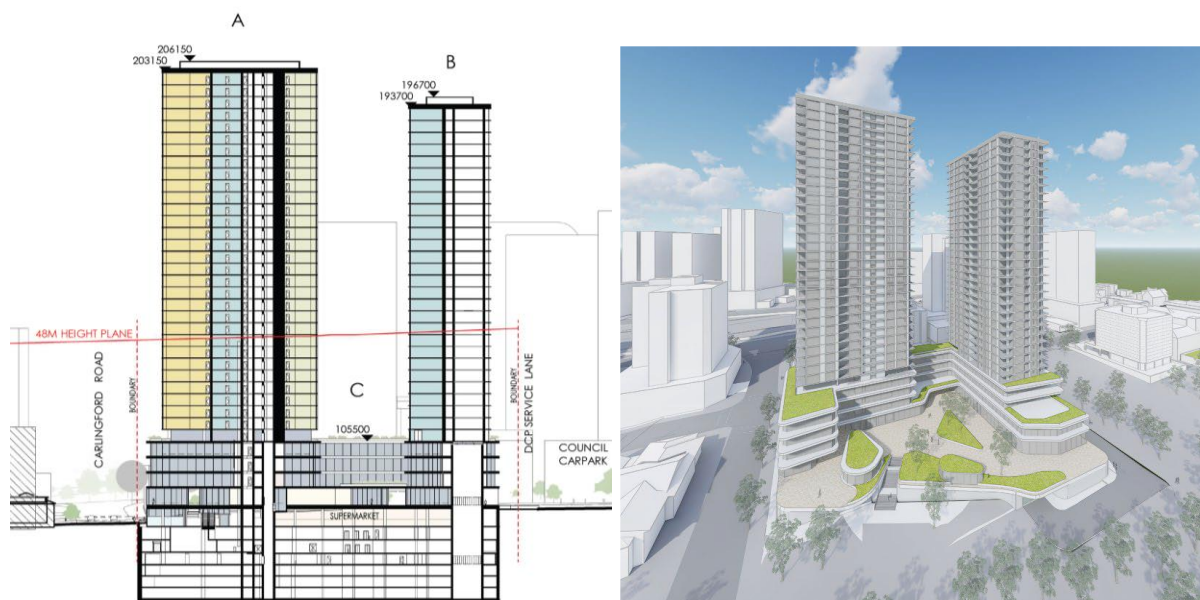


Figure 5: Proposed Scheme in section and massing render (looking east)

Flooding

33. The site is affected by mainstream flooding from the Boronia Park Channel (located to the southwest of the site) with depths between 1-10m during a 1% Annual Exceedance Probability (AEP) flood event, and negligible overland flooding/drainage. The flood affectation during the 1% AEP is isolated to the northwestern portion of the site, outside of the proposed building footprint. The submitted flooding report and flooding report addendum (refer to **Attachment 4** – LPP report) states that Epping Town Centre has a very low flood risk overall, and that flood poses a low risk to the building and its users. It also states that the change in flooding impacts (during a Probable Maximum Flood event) following the proposed redevelopment of the site is minor and poses low risk to the community.
34. The flood report acknowledges that the western laneway traverses the flood affected part of the site but concludes that any flooding concerns can be addressed at DA stage through several mitigation measures. It is recommended that the proposed access provision can be supported subject to the inclusion of flood-specific planning controls in the SSDCP. More detailed analysis of the flood affectation is included in the Local Planning Panel report at Attachment 4.

Traffic And Transport

35. The Planning Proposal will result in a relatively minor increase in traffic generation. The proposed traffic volume anticipated to travel through key surrounding intersections will be 3% additional traffic compared to existing traffic volumes based upon the applicant's TIA. This 3% traffic increase would occur once the entire site is developed at the full 6:1 FSR (inclusive of the proposed 1.5:1 FSR), therefore, the additional traffic increase associated with just the proposed 1.5:1 commercial FSR would be less than 3%.
36. The submitted two tower reference scheme (**Attachment 3**) is based upon the existing laneway configuration provided in the current PDCP and is retained in the proposed draft SSDCP. The laneway configuration envisages half of the proposed southern laneway being constructed on adjoining Crown land (see **Figure 6**) that Council is in the process of compulsorily acquiring. In this respect,

Council resolved in June 2023 to pursue acquisition of this land, for the *purpose to facilitate access to Boronia Park and improve the road network in the Epping Town Centre*. This land is currently in use partly as an access road and partly for carparking as part of the Council owned carpark to the south.

37. Notwithstanding, there has been no commitment from Council that the land to be acquired would be made available to help facilitate development of the subject site. If it is not possible for a portion of the laneway to be constructed on the land that Council is acquiring as currently envisaged in the PDCP, alternative options would be explored at DA stage, which include:
- construction of the laneway solely on the applicant's land;
 - construction of only half of the laneway on the applicant's land to be utilised as a one-way access; and
 - providing direct basement access from the Rawson Street frontage.
38. As part of the preparation of the subject Planning Proposal, input was sought from Transport for NSW (TfNSW) who do not object to the Proposal but have made several recommendations for the applicant's consideration at DA stage. These recommendations have been satisfactorily addressed in the applicant's revised Transport Impact Assessment (TIA) (refer to **Attachment 4 – LPP report**).
39. It is noted that the Works Program in Council's Outside CBD Contributions Plan includes pedestrian crossing and road upgrades to the south of the site on Rawson Street (refer to **Attachment 4 – LPP report** for further details). The proposed additional 1.5:1 commercial FSR would generate additional contributions in accordance with Council's Outside CBD Contributions Plan up to approximately \$1,210,583. The applicant could opt to either pay these additional contributions (whereby Council would undertake the works in accordance with the Outside CBD Contributions Plan) or carry out the works and have the contributions offset via a Works in Kind Agreement at the development application stage.
40. Considering the relatively minor increased traffic that would result from the additional floorspace that would be permitted under the Planning Proposal it is recommended that the Planning Proposal can be supported noting the critical need for commercial activation of the Epping Town Centre.

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

41. A draft Site-Specific Development Control Plan (SSDCP) (**Attachment 3**) has been prepared by the applicant to accompany the Planning Proposal. The draft SSDCP has been reviewed and amended by Council officers where necessary and provides details on site arrangement, road layout, envelope controls and open space including public domain parameters consistent with the concept design for the site.

PROPOSED EPPING TOWN CENTRE MASTER PLAN

42. At the Council Meeting on 13 May 2024, a Notice of Motion was approved that requires the preparation of a scoping study to prepare a Master Plan for the Epping Town Centre that addresses a range of issues including laneways and

circulation within the precinct as well as opportunities to improve traffic and accessibility and built form and public domain interfaces. The Master Plan will also consider the potential future role of Council's Rawson Street car park to the immediate south of the subject site in achieving its objectives and requirements for Epping.

43. Council also resolved that the Master Plan inform a potential review of the existing planning controls for the Centre, and it provide costs and timing for any changes that may be proposed.

PARRAMATTA LOCAL PLANNING PANEL

44. The Planning Proposal was considered by the Parramatta Local Planning Panel at its Meeting on 21 May 2024 (report at **Attachment X**). The Panel provided the following recommendation to Council:

- a) *That Council approve for the purposes of seeking a Gateway Determination from the Department of Planning, Housing and Infrastructure (DPHI), the Planning Proposal for land at 53-61 Rawson Street, Epping (**Attachment 1**) which seeks to amend the Parramatta Local Environmental Plan 2023 (PLEP 2023) in relation to the subject site by:*
- i. Introducing an additional local provision to allow an additional Floor Space Ratio (FSR) of 1.5:1 for commercial premises only (proposed mapping provided at **Attachment 2**).*
 - ii. Amending the height of buildings control from 48m (15 storeys) to part 103m RL (22m or 5 storeys), part 197m RL (112m or 33 storeys) and part 206m RL (122m or 36 storeys) (proposed mapping provided at **Attachment 2**).*
- b) *That Council request the DPHI to provide Council with the authorisation to exercise its plan-making delegations for this Planning Proposal.*
- c) *That Council authorise the CEO:*
- i. To amend the Parramatta Development Control Plan (PDCP) in accordance with the draft Site-Specific Development Control Plan (SSDCP) (**Attachment 3**) to align with the Planning Proposal and to address the matters described in this report; and*
 - ii. If a Gateway Determination is issued by DPHI, to place the draft SSDCP on public exhibition concurrently with the Planning Proposal.*
- d) *That Council authorise the CEO to correct any minor anomalies of a non-policy and administrative nature that may arise during the plan-making process and finalisation of the documents.*

45. The Panel's advice to Council is consistent with the Council Officer recommendation in this report.

PLANNING AGREEMENT

46. There is no draft Planning Agreement proposed to support the Planning Proposal. The Planning Proposal does not seek an uplift in residential FSR, but rather seeks to increase the supply of commercial floorspace which aligns with Council's adopted strategies to protect and strengthen Epping's role a commercial strategic centre. Notwithstanding, a small degree of residential uplift is possible under this Planning Proposal as the provision of some commercial development along the frontages is currently required to meet the objectives of the E1 Local Centre zone under the existing 4.5:1 FSR, which could otherwise be utilised as residential. The increased residential floor area would be minor however and would not warrant any Planning Agreement by itself as development contributions would be sufficient to cover any increased infrastructure demand.
47. The Planning Proposal would deliver in part on the intended outcomes of Council's previous Planning Proposal for the Epping Town Centre referred to above, and a greater amount of commercial floorspace on the subject site than was proposed under Council's earlier proposal. The site is capable of providing a full-line supermarket in the Centre (as it currently does) and would be a catalyst for the revitalisation of the western side of Epping Town Centre. Therefore, it is considered that the positive impact that the Planning Proposal will have on the Centre in terms of the provision of commercial floorspace is sufficient community benefit in this instance.

PLAN-MAKING DELEGATIONS

48. Should Council resolve to endorse the Planning Proposal to proceed, it is recommended that Council request that it exercise its plan-making delegations. This means that once the Planning Proposal has been to Gateway, undergone public exhibition and been adopted by Council, Council officers would deal directly with the Parliamentary Counsel Office on the legal drafting and mapping of the amendment. The LEP amendment is then signed by the CEO before being notified on the NSW Legislation website.

CONSULTATION & TIMING

49. The Planning Proposal and supporting documents were referred internally to various Council staff/teams including City Design, Flooding and Traffic, and Open Space teams. External referrals were also issued to TfNSW and DPHI, who have not objected to the Planning Proposal.

Councillor Consultation

50. At the time of finalising this report the following Councillor consultation was scheduled to be undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
17 June 2024	Councillor briefing	Report finalised prior to briefing.	Report finalised prior to briefing.	Group Manager – Major Projects & Precincts

FINANCIAL IMPLICATIONS FOR COUNCIL

51. Should the Council resolve to proceed with the Planning Proposal, the costs incurred in conducting the community consultation will be covered by the existing fees associated with the submission of the Planning Proposal.

CONCLUSION AND NEXT STEPS

52. This report recommends that the Planning Proposal for 53-61 Rawson Street, Epping be submitted to the DPHI for Gateway assessment, and the draft Site Specific Development Control Plan be endorsed for the purposes of public exhibition.
53. If the Planning Proposal is supported by the DPHI, the Planning Proposal and the draft Site Specific Development Control Plan for 53-61 Rawson Street, Epping will be publicly exhibited for a minimum of 28 days. A further report will be prepared for Council on the outcomes of the public exhibition.

David Birds

Group Manager, Major Projects and Precincts

Robert Cologna

Acting Executive Director, City Planning and Design





Amit Sharma

Acting Executive Director, Finance and Information

Gail Connolly

Chief Executive Officer

ATTACHMENTS:

- | | | |
|---|--|--------|
|  1 | Draft Planning Proposal Report - 53-61 Rawson Street, Epping | 77 pgs |
|  2 | Draft Site Specific Development Control Plan - 53-61 Rawson Street, Epping | 32 pgs |
|  3 | Applicant Reference Scheme - 53-61 Rawson Street, Epping | 46 pgs |
|  4 | 21 May 2024 Local Planning Panel Report - 53-61 Rawson Street, Epping | 19 pgs |

REFERENCE MATERIAL



**CITY OF
PARRAMATTA**

PLANNING PROPOSAL

53-61 Rawson Street, Epping

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Planning Proposal Versions

No.	Author	Version
1.	Simon Coleman	May 2024 (Gateway Request for Council)

INTRODUCTION

This Planning Proposal explains the intended effect of, and justification for, the proposed amendment to *Parramatta Local Environmental Plan 2023* for 53-61 Rawson Street, Epping. It has been prepared in accordance with Section 3.33 of the *Environmental Planning and Assessment Act 1979* and the Department of Planning and Environment (DPE) guide, 'A Guide to Preparing Local Environment Plans' (December 2021).

The Planning Proposal seeks to facilitate a mixed use development (part Commercial and Residential) at 53-61 Rawson Street, comprising of two towers (36 storeys and 33 storeys), with approximately 406 dwellings and 13,677 square meters of commercial floor space.

The Site

The site comprises seven (7) allotments with an area of approximately 9,089m². It is developed with a single storey Coles Supermarket and a four (4) storey mixed use building with education and office related uses.

The site is the largest consolidated landholding in single ownership on the western side of Epping and within the nucleus of a Strategic Centre. It is located within 200m walking distance of Epping train station, metro, and bus interchange.

The site is currently zoned E1 Local Centre, with a maximum FSR of 4.5:1, and Height of Building control of 48m.



Figure 1: Subject site at 53-61 Rawson Street, Epping (source: NearMap)

Planning Proposal Summary

The Planning Proposal controls are summarised in the table below.

	Existing provisions	Proposed provisions
Zoning	E1 Local Centre	No change
FSR	4.5:1 for uses permitted with consent in E1 Local Centre zone	<p>No change to existing 4.5:1 FSR for uses permitted with consent in E1 Local Centre zone.</p> <p>Addition of 1.5:1 commercial only FSR (6:1 FSR overall).</p> <p>Total 54,673 sqm:</p> <ul style="list-style-type: none"> • 40,996 sqm residential (406 units) • 13,677 sqm non-residential
Height of Building (HoB)	48m	RL 103 (22m), RL 197 (112m) and RL 206 (122m)
Additional Local Provisions	Nil	<p>Add a site specific clause to Part 6, Additional Local Provisions of the PLEP 2023 that permits an additional commercial only FSR of 1.5:1.</p> <p>Notwithstanding the existing 4.5:1 FSR, which permits a range of uses (including commercial) in the E1 Local Centre zone, the additional 1.5:1 commercial only FSR would mean that a maximum 6:1 FSR is permitted for the site, with at least 1.5:1 of the permitted FSR to comprise commercial.</p>

Table 1: Planning Proposal Summary

Background

The planning proposal builds on several years of strategic investigations led by City of Parramatta (**Council**) into the role and function of Epping to provide jobs and commercial floor space to reinforce its status as a Strategic Centre. While studies have occurred since 2012, the most recent investigations include the Phase 1 Epping Planning Review and the subsequent planning proposal prepared by Council.

Phase 1 Epping Planning Review

This included the Phase 1 Epping Planning Review in 2017, which determined that the current planning framework was not fit for purpose and that the form of development occurring was viewed as inconsistent with the strategic vision of Epping as set out in State and local planning policy.

Council Epping Town Centre Commercial Floorspace Planning Proposal

The findings of the Phase 1 Epping Planning Review culminated in a Council-led planning proposal for Epping (PP-2021-3070), which proposed a non-residential commercial floor space control in the centre whilst also increasing heights. This was to ensure commercial floor space was viable to be delivered but not at the expense of residential to maintain the viability of urban renewal.

At the time, the planning proposal resulted in a non-residential floor space control (FSR) of 1:1 (5.5:1 in total) and increased heights up to 80m on the site.

The planning proposal was supported by the Local Planning Panel (LPP) and Council endorsed the planning proposal to proceed to a Gateway determination on 8 February 2021.

Department Assessment

On 12 October 2021, the Department of Planning and Environment (the Department) recommended that the proposal not proceed. The Department acknowledged the planning proposal had strategic alignment but lacked sufficient information to support its progression including need for additional technical studies to determine centre-wide cumulative impact.

It recognised provisions, which specifically targeted select sites as wielding development potential, could better achieve the intended outcome. The site was strategically located and was the largest site subject of the entire planning proposal.

Overall, there is a clear and consistent strategic line of sight to support the planning proposal and renewal of Epping into a vibrant and activated centre.

Site Specific Context

The site is the single largest landholding and only viable opportunity capable of providing a full-line supermarket and a significant quantum of associated non-residential floor space. Whilst other sites have potential to amalgamate, the majority of the lots will not be able to accommodate for a full-line supermarket (1,080m² – 5,000m²) and are based on multiple landownership patterns.

The site is a key urban renewal opportunity for Epping. It is the largest amalgamated site at 9,089m² and in single ownership, which is capable of achieving a retail core on the western side of Epping. Furthermore, it is in a highly accessible and convenient location, situated adjacent to Boronia Park and within 200m of Epping train station and bus interchange. It has the opportunity to provide high quality retail and public domain outcomes in close proximity to amenities, services and infrastructure.



Figure 2: Site Investigation of Other Lots in Epping (Source: Kann Finch)

PART 1 – OBJECTIVES AND INTENDED OUTCOMES

The Planning Proposal seeks to introduce an additional local provision specific to the site (53 – 61 Rawson Street, Epping) to allow an additional 1.5:1 commercial FSR (approximately 13,677 sqm comprising business, office or retail premises uses). Notwithstanding the existing 4.5:1 FSR, which permits a range of uses (including commercial premises) in the E1 Local Centre zone, the additional 1.5:1 commercial only FSR would mean that a maximum 6:1 FSR is permitted for the site, with at least 1.5:1 of the permitted FSR to comprise commercial premises.

An increase in building height is also proposed from 48m to 122m to accommodate the proposed two tower scheme inclusive of the proposed additional commercial floorspace. In this respect it should be noted that Council's previously endorsed Planning Proposal that sought to encourage more commercial floorspace to be developed in the Epping Town Centre proposed an increased building height for the subject site to 80m.

Intended Outcomes

The planning proposal seeks to facilitate a high-quality mixed-use development within a Strategic Centre context that aligns with, supports, and promotes key strategic planning priorities of State and local government. In this regard, the objectives and intended outcomes of the Planning Proposal are outlined in the following:

- Facilitate a retail core by revitalising the existing supermarket in support of speciality retail and commercial spaces to attract residents, workers, and visitors to the site, thereby improving retail and services opportunities offered within the Strategic Centre.
- Targeted approach for the site to align with the strategic vision of Epping by providing employment opportunities and street activation through small-scale retail spaces to facilitate day to night economy a, thereby providing lively, socially connected communities within the Epping.
- Assist the Epping Strategic Centre in achieving 4,300 additional jobs and 8,910 of dwelling growth by 2036, thereby meeting the projected growth outlined in the District Plan and LSPS.
- Provide housing growth and employment opportunities within the Epping Strategic Centre, which will be supported by mass transit networks such as Epping train station and the metro.
- Provide active and passive recreation opportunities for future residents, visitors, and workers in the locality to encourage social interaction and inclusion within the community.
- Provide a mixed-use development that will improve employment opportunities, housing choice and public amenity and services to facilitate a 30-minute city.
- Provide a diversity of housing typologies and mixes to provide a variety of housing options within an area that is highly serviced by public transport, infrastructure, and services.

Masterplan (Reference Scheme)

The proposal seeks to create a true retail destination on the western side of Epping, consistent with Council's broader aspirations to prevent the erosion of commercial floor space in the centre. It remains the only opportunity site of a sufficient size on the western side to deliver true commercial floor space in tandem with open space and civic amenity.

A summary of the key elements and vision of the masterplan include:

Item	Description
Land uses	Retention and expansion of the existing supermarket offer and supporting speciality retail, commercial and residential
Building form	2 x mixed use buildings supported by podium: Building A = 36 storeys (RL 206) Building B = 33 storeys (RL 197) Basement parking and loading areas
Gross floor area	Approx. Residential – 40,996m ² = 4.5:1 Approx. Non-residential – 13,677m ² = 1.5:1
Apartments	Approx. 406
Publicly accessible open space	4,600m ² = 50%
Communal open space	3,167m ² = 35%
Deep soil	1,230m ² = 13.5%
Car parking	Compliant with the DCP

Table 2: Masterplan (Reference Scheme) Summary



Figure 3: Massing Render Aerial (Source: Kann Finch)

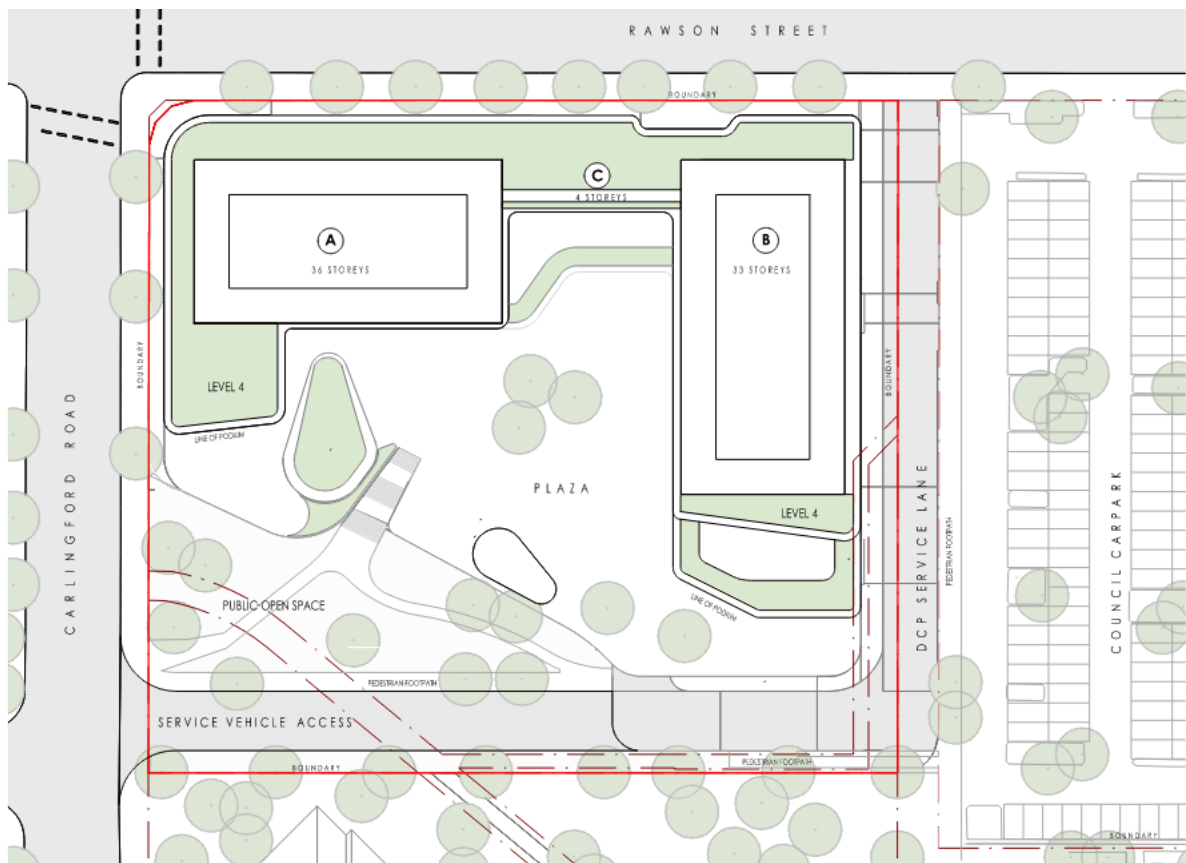


Figure 4: Proposed Masterplan (Reference Scheme)

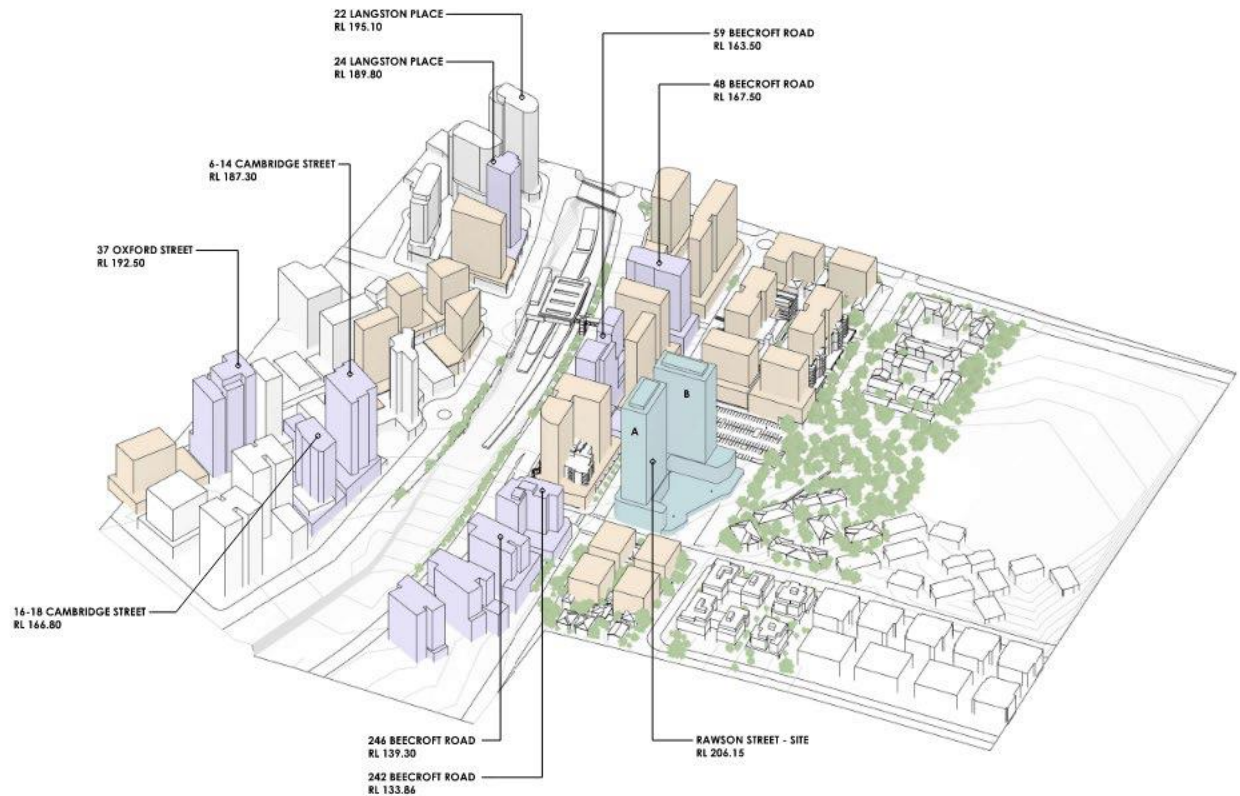


Figure 5: Proposed Masterplan (Reference Scheme) contextualised in Epping Town Centre (Source: Kann Finch)

Indicative Floor Plan Layouts

To support the preferred masterplan, a series of detailed architectural plans have been prepared that demonstrates the capacity of the site to deliver upon the intended outcomes of the proposal. These include:

- Basement 1 Plan includes car parking and loading areas,
- Lower Ground Level Plan includes 3,100m² supermarket, 493m² mini major tenancy,
- Ground Level Plan includes 2,037m² of retail and commercial suites, residential lobbies, a DCP service laneway, a centralised retail plaza, a new park and public domain upgrades,
- Level 1 Plan includes 2,670m² of commercial,
- Level 2 Plan includes 2,380m² of commercial,
- Level 3 Plan includes 2,380m² of commercial,
- Level 4 Plan includes communal open space, communal room, and residential apartments, and
- Level 5 Plan (Typical) includes residential apartments.

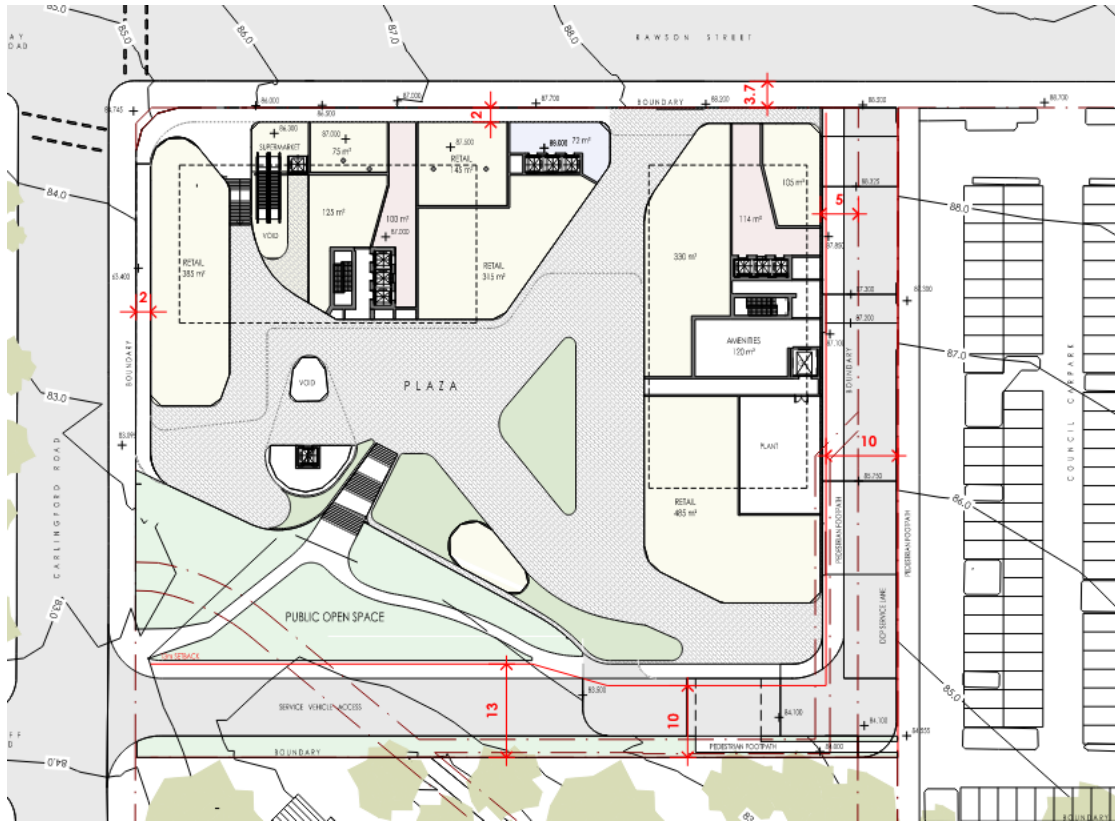


Figure 6: Ground Level Plan (Source: Kann Finch)



Figure 7: Typical Level Plan (Source: Kann Finch)

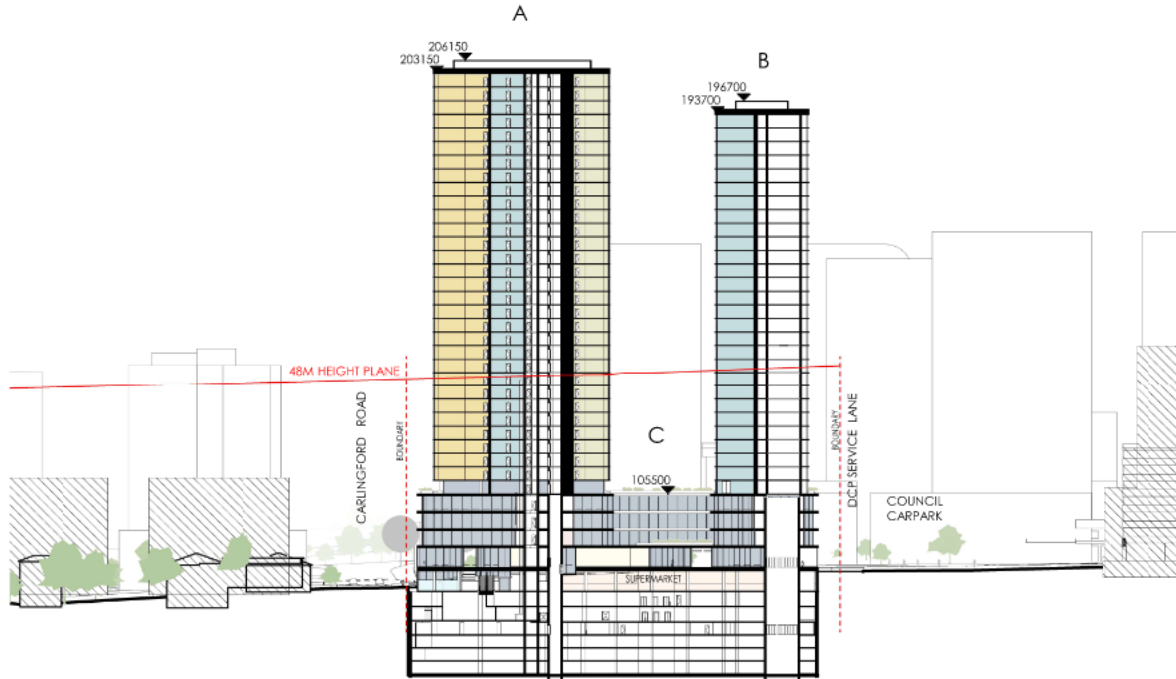


Figure 8: East West Section (Source: Kann Finch)

Built form and land use

The masterplan features a highly permeable podium along Rawson Street and Carlingford Road, which supports three residential towers of varying heights.

The distribution of height responds to the site constraints and has been carefully refined to significantly improve the visual presentation of the site and its interface with Epping more broadly. The setbacks proposed have been designed and sculpted to present slender frontages that minimise visual bulk exposure and produce fast moving shadows.

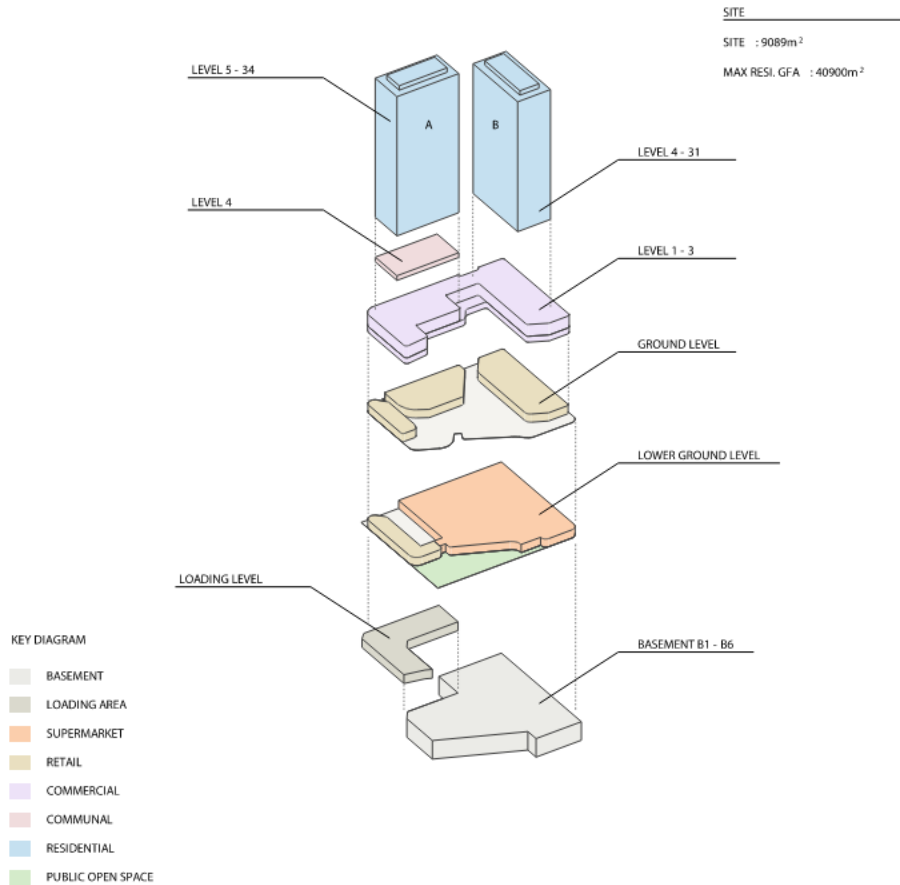


Figure 9: Building Program and Uses (Source: Kann Finch)

Open space and public domain

The masterplan is supported by a detailed landscape strategy by Arcadia (Appendix 3) that supports the creation of a high amenity place and draws inspiration from the Devlins Creek Catchment. The landscape concept is underpinned by the following key moves:

- Introduce a landscaped frontage to Carlingford Road, integrating new open space into existing public areas,
- Create a sympathetic landscaped edge along Carlingford Road, matching the character of Boronia Gardens,
- Planting new street trees along Rawson Street,
- Enhance the central retail atrium with integrated landscaping, improving visual appeal and creating a sense of place,
- Provide landscape screening and deep soil areas along the western boundary to visually screen neighbouring residential development,
- Develop a diverse native landscape setting in the northwest corner, including a bush play zone and water element, and
- Design high-quality landscaped communal open spaces above the podium for residential apartments.



Figure 10: Public Domain Concept (Source: Arcadia)

A key element of the masterplan is the creation of 50% publicly accessible domain areas, which includes the provision of a generous park (1,230m²) in the northwestern corner of the site. The landscape strategy prepared by Arcadia depicts a range of active and passive uses for this space including bush play zone, lookout, playful seating elements and native plantings.

Overall, the design team has carefully considered the needs of the broader community to create a true retail and civic destination for local residents.

Movement and access

The Planning Proposal is based upon the existing laneway configuration provided in the current PDCP and is retained in the proposed draft SSDCP. The laneway configuration envisages half of the proposed southern laneway being constructed on adjoining Crown land that Council is in the process of compulsorily acquiring. In this respect, Council resolved in June 2023 to pursue acquisition of this land, for the *purpose to facilitate access to Boronia Park and improve the road network in the Epping Town Centre*. This land is currently in use partly as an access road and partly for carparking as part of the Council owned carpark to the south.

Notwithstanding, there has been no commitment from Council that the land to be acquired would be made available to help facilitate development of the subject site. If it is not possible for a portion of the laneway to be constructed on the land that Council is acquiring as currently envisaged in the PDCP, alternative options would need to be explored at DA stage,

which could include:

- construction of the laneway solely on the proponent's land;
- construction of only half of the laneway on the proponent's land to be utilised as a one-way access; and
- providing direct basement access from the Rawson Street frontage.

Any such options as those identified above would need to be demonstrated as part of any future DA and be subject to traffic and flooding considerations. If the proponent does seek to provide the laneway partially on the land that Council is currently being compulsorily acquired, suitable negotiations would need to be entered into with Council.

As part of the preparation of the subject Planning Proposal, input was sought from Transport for NSW (TfNSW) who do not object to the Proposal but have made several recommendations for the proponent's consideration at DA stage. These recommendations have been satisfactorily addressed in the revised Transport Impact Assessment (TIA).

It is noted that the Works Program in Council's Outside CBD Contributions Plan includes pedestrian crossing and road upgrades to the south of the site on Rawson Street (refer to Attachment 4 – LPP report for further details). The proposed additional 1.5:1 commercial FSR would generate additional contributions in accordance with Council's Outside CBD Contributions Plan up to approximately \$1,210,583. The proponent could opt to either pay these additional contributions (whereby Council would undertake the works in accordance with the Outside CBD Contributions Plan) or carry out the works and have the contributions offset via a Works in Kind Agreement at the development application stage.

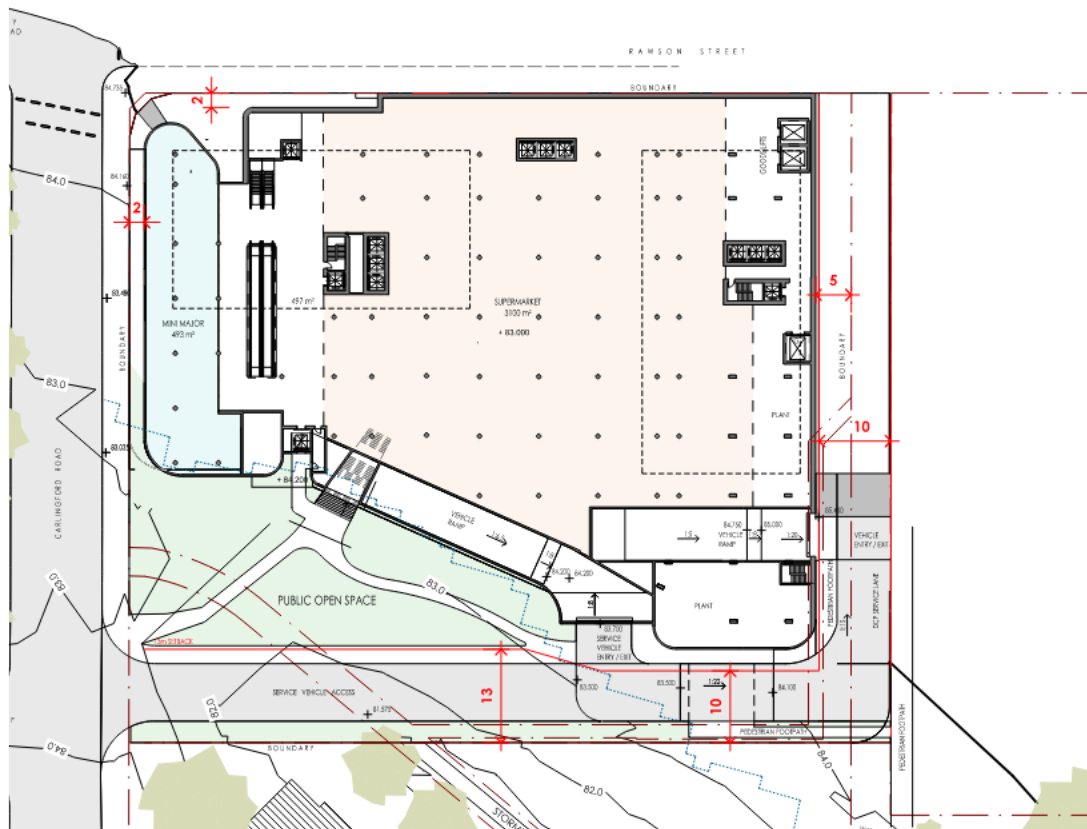


Figure 11: Loading and Access Plan (Source: Kann Finch)

PART 2 – EXPLANATION OF PROVISIONS

This Planning Proposal seeks make the following amendments to *Parramatta LEP 2023 (PLEP 2023)* in relation to the height, floor space ratio, and additional local provision controls for 53 – 61 Rawson Street, Epping.

- **Height of buildings** – Amend height from 48m to varied RLs to reflect future towers (RL 103, RL 197, and RL 206) – this equates to heights of 22m, 112m and 122m.
- **Floor space ratio** – Introduce requirement for non-residential FSR of 1.5:1, resulting in a total floor space of 6:1 across the site via an additional local provision (below).
- **Additional local provision** – Include site in Special Provisions Area map with an accompanying local provision that allows for FSR to exceed those outlined in clause 4.3. The following wording is suggested:
 - 1) **This clause applies to land identified as "Area X" on the Special Provisions Area Map.**
 - 2) **A building on the land may exceed the maximum permissible FSR by up to 1.5:1 if the consent authority is satisfied the additional gross floor area will be used only for commercial uses.**
 - 3) **Development consent must not be granted to the erection of a building on the land unless the consent authority is satisfied—**
 - a) **part of the building will be used for commercial uses, and**
 - b) **that part of the building will have a gross floor area at least equal to a floor space ratio of 1.5:1.**

The inclusion of this development standards is to provide certainty that an appropriate amount of non-residential floor space will be achieved on the site and ensure objectives with **the E1 zone will continue to be achieved. This is consistent with Council's vision for Epping**, which is reinforced by years of strategic investigations including the Epping Planning Review and the subsequent planning proposal.

The provision of 1.5:1 is an appropriate outcome for the site. This has been acknowledged in post lodgement discussions with Council, having regard to its ability to accommodate a significant amount of non-residential floor space unlike many constraint sites within Epping that have fragmented ownership, are heritage impacted, locked up in strata or have recent DA approvals or are under construction.

No changes to the underlying zoning or uses are proposed. The relevant mapping changes are shown below and at Part 4 of this report.

Overall, the proposed provisions are entirely consistent with the outcomes envisaged via the Council-led planning proposal. The proposal represents a refined and targeted approach for strategic sites as contemplated by the Department for the positive renewal of Epping.

Development Control Plan Amendment

A draft amendment to Part 8 of the Parramatta Development Control Plan 2023(DCP) establishes the built form and public domain parameters for future DAs on the site. The DCP provides clarity on a number of nuanced built form controls that respond to the unique setting of the site and to set a high quality vision including:

- **Site layout** – establishing a site plan that dictates the future location of built form, streets, and public domain,
- **Open space and public domain** – setting out the quality and character of the internal plaza and publicly accessible open space area in the northwestern corner of the site,
- **Service lane off Carlingford Road for service vehicles** – this will minimise site ingress/egress off Rawson Street and be supported by appropriate design treatments and flood control measures,
- **Setbacks** – these are more consistent with the current DCP controls for Epping Town Centre than what was originally submitted, with bespoke controls now respond to its prominent corner location at Carlingford Road and Rawson Street and site constraints,
- **Building height** – establishing a height in storeys control for built form to correspond with the proposed LEP height control including a 3-5 storey podium,
- **Floor to floor heights** – to meet NCC requirements, structure, and servicing input, falls within the slab to accommodate populace domain elements and transfer structures,
- **Tower length** – allowing a tower length of 45m to support residential GFA within the tower forms and within the maximum height control, and
- **Footprint size** – capping tower footprints to 990m² (inclusive of GFA, balconies and terraces) to correspond to the tower length control and allow residential GFA to be distributed into two tower forms.

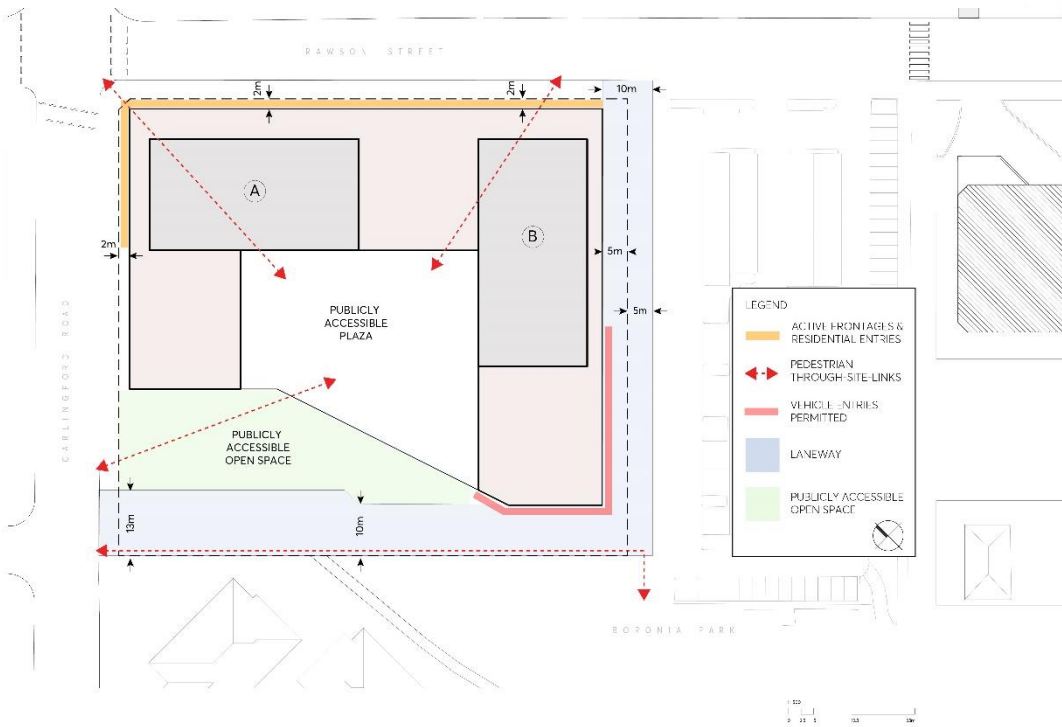


Figure 12: Draft DCP Indicative Concept Plan

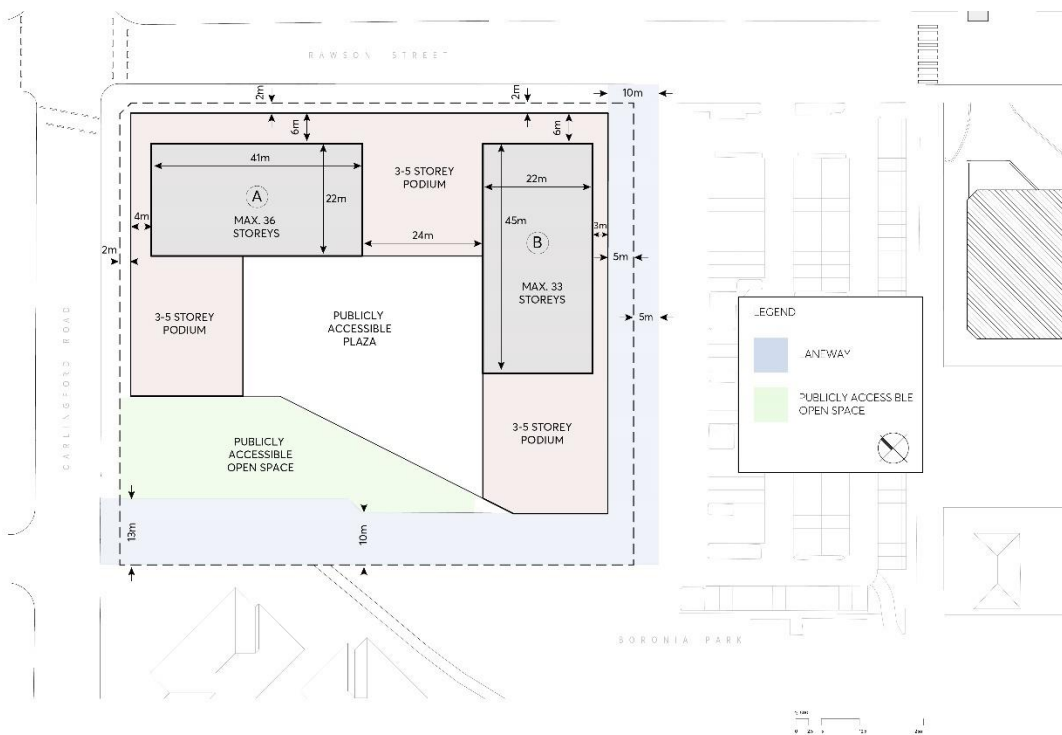


Figure 13: Draft DCP Setback Plan

PART 3 – JUSTIFICATION OF STRATEGIC AND SITE-SPECIFIC MERIT

Section A - Need for the Planning Proposal

Is the Planning Proposal a result of an endorsed local strategic planning statement, strategic study or report?

The planning proposal is the direct result of an endorsed LSPS, strategic studies and reports. These namely include:

- Council's LSPS, which specifically outlines the requirement for new homes and jobs to be concentrated in Strategic Centres, including Epping,
- Council's LHS, which specifically provides priorities to deliver housing in already rezoned precincts including Epping and site-specific planning proposals whilst also providing a review of planning controls in Epping (Epping Planning Review),
- Supporting technical studies provided with Council's planning proposal to introduce a non-residential floor space control in Epping, including the Commercial Floor space and Urban Design Report,
- Related policy directives set out in the Region Plan and District Plan, and Proponent-led planning and design investigations.

The studies provide a clear strategy to see Epping transform into vibrant centre supported by **high quality built form and jobs, reinforcing Epping's position as a Strategic Centre**. In this regard, the planning proposal reflects a consistent line of sight to see positive renewal in Epping that delivers appropriate levels of commercial floor space.

Is the Planning Proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

This planning proposal is considered to be the most appropriate method of achieving the intended urban renewal outcomes for the site and the benefits it could deliver to the broader community.

The previous Council planning proposal was submitted to facilitate commercial floor space and increase heights in Epping. While supported by Council, it did not receive Gateway Determination by the Department on the basis there was insufficient information to support a widespread planning framework for the centre. It acknowledged that the planning proposal had strategic alignment, however, few sites subject of the planning proposal would benefit from the outcomes as a result of a recent development in addition to heritage and overshadowing constraints.

The Department advised that a precinct-wide planning proposal was not considered the best means of achieving the intended outcomes of Epping. It recommended a more refined and targeted approach on select sites to be more appropriate.

Therefore, a site-specific planning proposal for 53-61 Rawson Street is considered to be the most effective way of achieving the means and outcomes of delivering commercial floor space in Epping for the following reasons:

- Many sites in Council's planning proposal would not benefit i.e. resulted in unacceptable overshadowing, heritage impacts to items and conservation zones, unable to be supported by infrastructure and inadequate consideration of traffic. This leaves limited opportunities to provide substantial non-residential floor space while incentivising renewal within the western part of Epping.
- Investigations undertaken by the project team demonstrates that of all the opportunity sites within the western town centre, the subject site is the only site with capacity to accommodate the large scale retail format (i.e. lot size, frontage with, access arrangement, proximity to heritage fabric, recent DA approvals etc).
- The basis of the proposal is commercial floor space – a non-residential FSR of 1.5:1 supports the renewal of 4.5:1 residential. It ensures future renewal does not erode residential capacity in Epping but delivers true mixed use outcome with a full-line supermarket and associated specialty retail offerings as a catalyst for the main street precinct.
- Following discussions with Council post-lodgement, it was agreed the site could accommodate an additional 0.5:1 of non-residential FSR above the originally proposed 1:1 non-residential FSR. The additional 0.5:1 non-residential floor space is depicted on the refined massing to accommodate 4,544m² of commercial areas. The overall provision of 1.5:1 of non-residential FSR will enhance employment opportunities within Epping consistent with Council's draft Economic Development Strategy, which identifies Epping as 'A major employment and business hub.
- The originally submitted proposal provided a non-residential FSR of 1:1, which replaced the existing non-residential uses on the site. The additional 0.5:1 provides for net increase in non-residential uses capable of being delivered.
- The additional 1.5:1 at basement/ground/podium floorplates and the significant site constraints necessitate an increase in height to support residential tower floorplates

and to facilitate high quality amenity outcomes for the commercial/retail levels. The permeable retail levels complement and achieve a superior outcome to a more conventional 'box-like' shopping centre model.

- It allows for the proposed heights to be achieved commensurate with the proposed FSR, addressing the historical mismatch between height and FSR controls in the centre. It will fully support the delivery of new housing and employment in a true mixed use manner.
- It represents a more refined, site-specific approach, which has enabled best design and amenity practice to be applied. As such, appropriate technical analysis has been incorporated to ensure the site is able to achieve a 1.5:1 non-residential floor space, thereby aligning with the strategic planning framework.
- It is the most effective way of providing assurance to Council, the Department, and the community that genuine commercial floor space can be delivered, whilst also supporting renewal that positively contributes to the community and public domain.

Section B – Relationship to strategic planning framework

Will the Planning Proposal give effect to the objectives and actions of the applicable regional, or district plan or strategy (including any exhibited draft plans or strategies)?

This section demonstrates the planning proposals consistency against the Region Plan, District Plan and Council's LSPS. In short, the proposal is considered to be consistent with and give effect to the key priorities and actions contained within:

- Greater Sydney Region Plan, and
- Central City District Plan.

Greater Sydney Region Plan

The planning proposal is consistent with relevant key objectives in the Region Plan as demonstrated in the table below.

Region Plan	Objective	Consistency
1	Infrastructure supports the three cities	Consistent. The proposal is located within the heart of Epping Strategic Centre and within 200m walking distance of bus interchanges, Epping train station and the metro station. The site is well supported by social infrastructure. The site is located within 800m walking distance of Epping Community Centre, Epping Leisure and Learning Centre and Epping Library. Several schools are located within 2km of the site including Epping Public School, Epping Heights Public School, and Sydney Science College.
3	Infrastructure adapts to meet future needs	Consistent. The proposal is supported with transport infrastructure that meet the needs of the future population. Key bus interchange services, Epping train station and the metro are within walking distance of the site. Services infrastructure does not need any major upgrades to accommodate the proposal.
4	Infrastructure use is optimised	Consistent. The proposal will optimise existing infrastructure by situating new homes and employment opportunities in close proximity to bus, train and metro services, open space, retail amenity and other local services.
5	Benefits of growth realised by collaboration of governments, community, and business	Consistent. The proposal has been subject to ongoing discussion and collaboration to ensure an outcome that is consistent with the directions of local planning policy.

Region Plan	Objective	Consistency
6	Services and infrastructure meet communities' changing needs	<p>Consistent.</p> <p>The proposal will provide a number of significant benefits for existing and future residents to reflect the changing role and expectation of Strategic Centres. These include:</p> <ul style="list-style-type: none"> • New high-density housing opportunities in close proximity to a suburban and metro train line, • Public open space including a pocket park, publicly accessible plaza, and communal open space, • A revitalised supermarket supported with retail and commercial spaces, and • Pedestrian improvements in and around the site.
7	Communities are healthy, resilient, and socially connected	<p>Consistent.</p> <p>The proposal will include 50% of the site as publicly accessible open space in the form of a pocket park, communal areas, and a public domain, which will encourage socially connected communities.</p> <p>In addition, the proposal will provide new through site links to improve pedestrian experience and permeability within the site and other sites within the Epping, thereby improving street activation.</p> <p>The public domain has the potential to become a meeting place for future residents, works and visitors, thereby encouraging community interaction.</p>
8	Greater Sydney's communities are culturally rich with diverse neighbourhoods	<p>Consistent.</p> <p>The proposal seeks to provide a range of housing mixes from 1-bedroom to 3-bedroom apartment products to support the ongoing renewal of Epping. Specifically, this renewal will be supported by a generous public domain, new open space, and a significant retail offering.</p>
9	Greater Sydney celebrates the arts and supports creative industries and innovation	<p>Consistent.</p> <p>The proposal will provide an opportunity for public art throughout the precinct. The submitted landscape concept design shows potential for future development to incorporate a strong sense of place and themes of Connecting with Country.</p>
10	Greater housing supply	<p>Consistent.</p> <p>The proposal will support the delivering of approximately 406 apartments within a designated Strategic Centre.</p>
11	Housing is more diverse and affordable	<p>Consistent.</p> <p>The proposal will support the delivering of approximately 406 apartments in a range of 1, 2 and 3-bedroom layouts.</p>
12	Great places that bring people together	<p>Consistent.</p> <p>The size of the site affords opportunity to create a suitably scaled mixed-use development, and a sense of community via an improved</p>

Region Plan	Objective	Consistency
		public realm including a revitalised supermarket, retail and commercial spaces, new park, and public domain.
14	A Metropolis of Three Cities – integrated land use and transport creates walkable and 30-minute cities	<p>Consistent.</p> <p>The site forms a significant part of the nucleus of the Epping Strategic Centre. It is within 200m walking distance to retail spaces, key bus interchange services and the Epping train station and metro.</p> <p>In conjunction with on-site retail and commercial uses, community infrastructure and open space, the proposed development will strengthen 30-minute city outcomes.</p>
16	Freight and logistics network is competitive and efficient	<p>Consistent.</p> <p>The proposal will not impact nor reduce freight and logistics networks.</p>
17	Regional connectivity is enhanced	<p>Consistent.</p> <p>The proposal will support increased connectivity of people across Greater Sydney by situating renewal within walking distance of major transport infrastructure.</p>
19	Greater Parramatta is stronger and better connected	<p>Consistent.</p> <p>The site is located in a rich transport area, making it already accessible, and within a 30-minute train and bus commute to other surrounding major employment centres.</p>
21	Internationally competitive health, education, research, and innovation precincts	<p>Consistent.</p> <p>The proposed density of development is strategically located near education precincts, i.e. Macquarie University.</p>
22	Investment and business activity in centres	<p>Consistent.</p> <p>The proposal will facilitate renewal of the site with true commercial floor space being delivered with a full-line supermarket and speciality retail offerings to stimulate business activity in Epping.</p> <p>Importantly, the improved retail offering on the site will encourage critical mass within Epping to undertake their daily shopping needs as opposed to driving to other supermarkets and shopping centres at Carlingford Court, Top Ryde, and Macquarie Park.</p>
24	Economic sectors are targeted for success	<p>Consistent.</p> <p>The existing supermarket is currently not supported by specialty retail offerings, which ultimately make shopping in Epping less appealing in comparison to other centres.</p> <p>Renewal of the site will improve the economic performance of the supermarket and revitalise a key site in Epping.</p>

Region Plan	Objective	Consistency
28	Scenic and cultural landscapes are protected	Consistent. The proposal is designed with a strong focus on Connection to Country, as demonstrated in the accompanying Urban Design report.
30	Urban tree canopy cover is increased	Consistent. The proposal provides deep soil (13.5%), allowing for growth of large and mature trees across the site. This is significant for an urban renewal site in the heart of a Strategic Centre.
31	Public open space is accessible, protected and enhanced	Consistent. The proposal will provide approximately 50% of the site as publicly accessible open space and includes new open space for passive recreation. This is considered to be well above and beyond typical renewal infill proposals. The site's renewal will significantly enhance open space accessibility in the centre.
32	The Green Grid links parks, open spaces, bushland and walking and cycling paths	Consistent. The proposal is entirely consistent with the Green Grid and provides new open space in the northwestern portion of the site that responds to existing open space in Boronia Park.
33	A low-carbon city contributes to net-zero emissions by 2050 and mitigates climate change	Consistent. The proposal is designed to have a strong focus on reducing carbon emissions. Refer to the accompanying ESD report, which specifies the strategic elements of the built form that will aid in facilitating a low-carbon city.
34	Energy and water flows are captured, used, and re-used	Consistent. As referred to in the accompanying ESD report, rainwater harvesting and re-use, site electrification and facilities, energy efficient lighting systems and lighting controls will be utilised.
35	More waste is re-used and recycled to support the development of a circular economy	Consistent. The proposal will promote waste re-use and recycling processes where possible.
36	People and places adapt to climate change and future shocks and stresses	Consistent. The proposal includes processes that will aid in adapting to climate change and future shocks and stresses, as demonstrated in the accompanying ESD report.
37	Exposure to natural and urban hazards is reduced	Consistent. The proposal has been designed so as to mitigate flood impacts by not proposing any works on the flood affected portion of the site.

Region Plan	Objective	Consistency
38	Heatwaves and extreme heat are managed	Consistent. The proposal provides 13.5% of deep soil area to mitigate urban heat island effect and reduce vulnerability to extreme heat.

Table 3: Greater Sydney Region Plan

Central City District Plan

The planning proposal is consistent with relevant key objectives in the District Plan as demonstrated in the table below.

District Plan	Objective	Consistency
C1	Planning for a city supported by infrastructure	Consistent. The site is considered to be in a prime location, being in close proximity to major transit links, retail spaces, and major road networks. It is also within walkable distance of an established recreational facility, i.e., Boronia Park. The proposal also seeks to provide new recreational and community infrastructure on-site in the form of communal areas, retail and commercial spaces, a revitalised supermarket and other active/passive recreation spaces.
C3	Providing services and social infrastructure to meet peoples changing needs	Consistent. The proposal provides adequate open space as well as community infrastructure to meet the needs of the future population. The site is well supported by social infrastructure. The site is located within 800m walking distance of Epping Community Centre, Epping Leisure and Learning Centre and Epping Library. Several schools are located within 2km of the site including Epping Public School, Epping Heights Public School, and Sydney Science College.
C4	Fostering healthy, creative, culturally rich, and socially connected communities	Consistent. The proposal is for a mixed-use development, which seeks to activate the Rawson Street and Beecroft Road streetscape by providing retail and recreational spaces that will be a focal space for the community to meet, socialise and connect. It will facilitate a progressive development that can provide a dynamic mix of residential living, public spaces, and commercial floor space.
C5	Providing housing supply, choice, and affordability, with access to jobs and services	Consistent. The proposal will deliver diverse housing typologies in an accessible location catering for different stages of life including for young couples, families and also downsizers and retirees. The housing typology proposed will feature a range of one, two and three-bedroom units. The site is well positioned to provide high quality housing in a suitable location, near high transit networks and

District Plan	Objective	Consistency
		major roads to support access to amenity, jobs, and services.
C9	Delivering integrated land use and transport planning and a 30-minute city	<p>Consistent.</p> <p>The site integrates retail, commercial and high-density residential land uses in proximity to key bus interchange services, Epping train station and the metro along Beecroft Road, providing connection with Parramatta CBD.</p> <p>The site's location within a rich transport environment achieves the outcome to deliver a 30-minute city.</p>
C16	Increasing urban tree canopy cover and delivering Green Grid connections	<p>Consistent.</p> <p>The proposal seeks to provide a total of 13.5% of deep soil area. In addition, 50% of the site will be publicly accessible open domain.</p>
C17	Delivering high quality open space	<p>Consistent.</p> <p>The proposal will deliver 50% of publicly accessible open space in the form of a new park, communal open areas, and a public domain.</p> <p>The inclusion of a significant open space offering in the northwestern portion of the site for a range of passive uses is well above the typical expectations for urban infill proposals within the nucleus of a Strategic Centre.</p>
C19	Reducing carbon emissions and managing energy, water, and waste efficiently	<p>Consistent.</p> <p>The proposal is capable of implementing a range of sustainable practices, including:</p> <ul style="list-style-type: none"> • Achieve a 5.5 Star NABERS Rating for commercial office space, • Achieve a 3 Star NABERS Water Rating for commercial office space, • Achieve a 7 Star average NatHERS rating for residential dwellings, • Implementing a full electrified precinct, • Responsibly sized waste separation and storage areas, and • Rainwater harvesting and reuse. <p>Refer to the accompanying ESD report at Appendix 8.</p>
C29	Adapting to the impacts of urban and natural hazards and climate change	<p>Consistent.</p> <p>The proposal will adapt to impacts of urban and natural hazards and climate change through the use of energy efficient lighting systems, application of Water Sensitive Urban Design (WSUD) principles, rainwater harvesting and reuse and site electrification and facilities that will enable on-site renewable energy production.</p> <p>Refer to the accompanying ESD report at Appendix 8.</p>

Table 4: Central City District Plan

Is the planning proposal consistent with a council LSPS that has been endorsed by the Planning Secretary or GSC, or another endorsed local strategy or strategic plan?

Local Strategic Planning Statement

The planning proposal is entirely consistent with Council's LSPS. Under Parramatta's LSPS, Epping is reaffirmed as a Strategic Centre in which a wide mix of land uses (commercial and residential) is envisaged with high levels of amenity and walkability. Importantly, it is only one of two strategic centres in the LGA, with Sydney Olympic Park being the other.

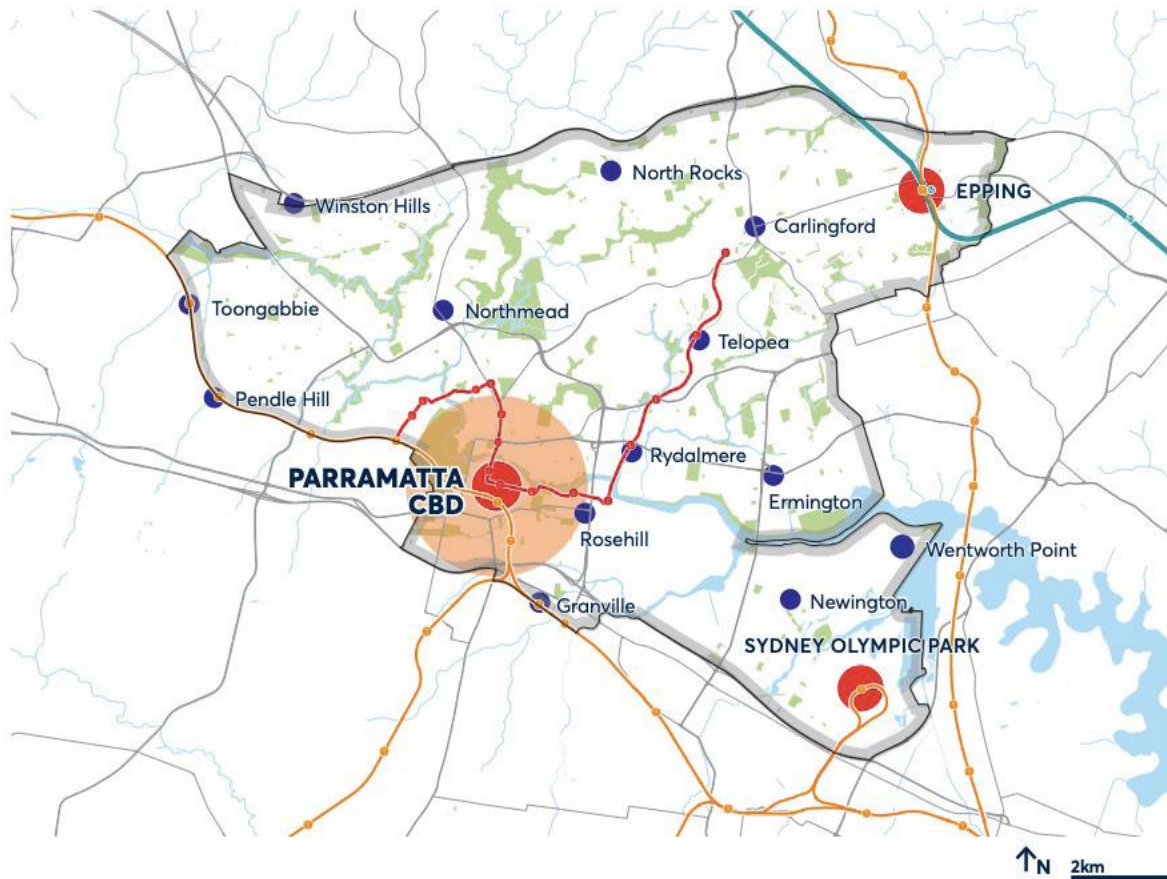


Figure 14: Parramatta LSPS Centre Hierarchy

The LSPS defines Strategic Centres as:

In accordance with the District Plan, Epping and Sydney Olympic Park are Council's designated Strategic Centres. The District Plan says that the expectations for strategic centres are, in terms of land use, as follows:

- co-location of a wide mix of land uses, including residential;
- high levels of amenity and walkability and being cycle friendly; and
- areas identified for commercial uses, and where appropriate, commercial cores.

The LSPS specifies that a future City of Parramatta will need to have increased commercial floor space in Epping, in conjunction with a concentration of high-rise development, thereby achieving the specified housing and job targets.

In this regard, the proposal will be entirely consistent with the LSPS. Key reasons include:

Delivering non-residential floor space, thereby generating employment opportunities, and providing a new focal point on the western side of Epping. The proposed revitalisation of the Coles Supermarket will be supported with speciality retail and commercial spaces, attracting local residents to the centre and creating a true destination and community focal point.

- Provides a level of density that complements existing development on the eastern side of Epping.
- Locating housing in a highly accessible location, within a Strategic Centre context and in close proximity to key transit nodes, i.e. Epping train station, the metro and bus interchanges, supported by infrastructure and open space.
- Delivering a diversity of housing typologies and mixes, ranging from studio apartments to larger 3-storey apartments.
- A new public domain, park, and communal open space areas to facilitate social inclusion, interaction, and meeting for the Epping community.

As such, the proposal is entirely consistent with the LSPS and will fulfill the role of Strategic Centres as identified in the District Plan and LSPS.

LSPS	Objective	Consistency
P1	Support job growth in key employment centres to reinforce Greater Parramatta's role as the Central City .	Consistent. In accordance with the Economic Impact Assessment report prepared by Atlas Economics (Appendix 6), the findings suggest that the 'Proposal is expected to generate an annual GRP of \$88.6 million to the local economy and support almost 311 Full Time Employment (FTE) jobs on-site'.
P3	Support the growth of Parramatta's night time economy with a focus on Parramatta CBD and Strategic Centres at Sydney Olympic Park and Epping as well as Westmead	Consistent. The proposal supports the growth of night time economy by providing a mixed-use development within a Strategic Centre context. The proposed retail and commercial opportunities available for the site are capable of delivering outcomes for night time activity.
P7	Encourage the design of development in Growth Precincts, Strategic Centres and Local Centres that maximises accessibility to, and safety of, existing and planned public transport services, including heavy rail, light rail, bus, and ferry which includes technological innovation and improved liveability, sustainability, and place management outcomes.	Consistent. The proposal supports the transformation of Epping as a Strategic Centre by introducing new open spaces that will better facilitate access to the public transport network. The site is conveniently located within a 200m walk of key bus interchange services Epping train station and the metro.
P11	Explore opportunities for transport infrastructure to facilitate higher order employment within Strategic	Consistent. The proposed site is located in a rich transport environment, noting the close proximity to Epping metro, Epping train station and a

LSPS	Objective	Consistency
	Employment Lands in the GOP area.	variety of key bus interchanges. As such, the proposed development seeks to provide employment opportunities, which will be supported by high transit networks.
P12	Focus high-rise development in Parramatta CBD and Strategic Centres (Epping and Sydney Olympic Park) as shown on the Structure Plan Map	<p>Consistent.</p> <p>The proposal is entirely consistent with this direction by providing higher density development in Epping. The built form is consistent with the scale of surrounding development in Epping and will complement the scale of towers on the eastern side of the rail line.</p>
P24	Provide for a range of housing types and sizes that cater to the Parramatta community to ensure housing diversity consistent with the City of Parramatta Local Housing Strategy (once endorsed by Council and DPIE).	<p>Consistent.</p> <p>The proposal is capable of delivering a range of 1, 2 and 3-bedroom apartments. The preferred masterplan shows a potential mix of:</p> <ul style="list-style-type: none"> • 1 bed = 24%, • 2 bed = 62%, and • 3 bed = 14%,
P30	Provide for appropriate scale public artwork and cultural facilities in Local and Strategic Centres, as well as Parramatta City Centre Art and Culture Walk, to promote cultural expression and a distinctive sense of the place.	<p>Consistent.</p> <p>The proposal is capable of supporting public art. The publicly accessible open space and civic spaces have potential to accommodate a range of interpretative structures, public domain elements and treatments to reinforce the site as a destination of the western side of Epping. These will be further progressed at DA stage.</p> <p>The proposal is further capable of supporting public art and has an opportunity to build on the strength of the Connection to Country narrative developed by the design team.</p>
P31	Support the design and planning of Growth Precincts and Housing Diversity Precincts that commemorates the history of the site or locality to provide a link between past and future generations.	<p>Consistent.</p> <p>The proposal will commemorate history of the local area. The design narrative was formulated to integrate the reinstated overland flow path as a main feature in the landscape design of the new park at the northwestern corner of the site.</p> <p>The narrative builds upon the understanding that the creek and waters of the upper Lane Cove River are important to the traditional custodians of the land and waters.</p>
P33	Create a high quality and safe walking and cycling network across the LGA to cater for and encourage short trips (up to 2km) to local centres, jobs, public and shared transport services, schools, local open space, Green Grid, and other trip generators.	<p>Consistent.</p> <p>The proposal will support Sydney's Green Grid by incorporating a generously sized open space area adjacent to Boronia Park.</p> <p>Furthermore, the provision of a full-line supermarket with speciality retail will promote local pedestrian trips in Epping and minimise vehicle travel to surrounding retail centres including Macquarie Park, Carlingford Court, and Top Ryde.</p>

LSPS	Objective	Consistency
P35	Advocate for bringing-forward the Sydney Metro West delivery, as well as other city-shaping transport (Parramatta to Epping, Parramatta to Western Sydney Airport, Parramatta to Norwest, Parramatta to Kogarah via Bankstown and Parramatta Light Rail Stage 2) and with improved walking and cycling access and public spaces to those services.	<p>Consistent.</p> <p>The proposed height and scale of the development is considered to be appropriately placed in a location that is highly serviced by frequent transit networks.</p>
P39	Encourage a thriving small business sector where new and existing businesses can grow and expand.	<p>Consistent.</p> <p>The proposal seeks to provide a dedicated 1.5:1 non-residential floor space ratio, by way of speciality retail stores to facilitate a retail core for the western side of Epping.</p> <p>The proposed retail shops will be supported with the expanded supermarket offering, specialty shops and commercial suites with the aim of attracting future residents, workers, and visitors to the site as a key retail node.</p>
P46	Advocate for the outcomes of the Epping Town Centre Review when finalised to understand future employment needs within the Epping Strategic Centre	<p>Consistent.</p> <p>The proposed development aligns with the strategic vision for Epping by implementing a substantial quantum of commercial and retail land uses, which have been eroded by the increased residential development in the locality.</p> <p>Whilst providing a substantial amount of floor space it will allow for other proposals to contribute to employment and housing supply. It does not preclude the ability of other proposals to be pursued to support the vision of Epping.</p>
P53	Protect and increase tree canopy cover and vegetation across public and private land.	<p>Consistent.</p> <p>The proposal will provide 13.5% of deep soil area, which will improve the ecological value of the locality.</p>
P54	Enhance street tree canopy to support walkability	<p>Consistent.</p> <p>Increased street tree canopy can be provided, thereby being consistent with Councils vision.</p>
P56	Provide for a diversity of green spaces to support different community needs such as for recreation, relaxation, and enjoyment.	<p>Consistent.</p> <p>The proposal provides a new park which has potential to improve linkages to Boronia Park via pathways. In addition, a new permeable public domain is proposed, which will promote social inclusion.</p> <p>Overall, a range of publicly accessible spaces are proposed across the site to support the community.</p>

LSPS	Objective	Consistency
P59	Make Parramatta a low carbon city.	Consistent. The proposal is supported by an ESD report, which outlines strategies to ensure redevelopment of the site responds to a zero-carbon environment.
P62	Accelerate low carbon transport and emerging trends in mobility.	Consistent. The proposal seeks to create a highly permeable environment that encourages active and public modes of transport. Strategies include providing site-through links and charging stations, whilst the site's strategic location encourages the use of public transport.
P64	Reduce flood risk through planning controls that support flood detention, diversion, and improved conveyance.	Consistent. The proposed development is strategically located away from the flood prone areas of the site to mitigate adverse impacts. In addition, the site is able to comply with relevant applicable planning controls.

Table 5: Local Strategic Planning Statement

Parramatta Local Housing Strategy

The LHS establishes a 20-year strategic direction for the City of Parramatta, providing evidence to support the preparations of the LSPS and the housing targets identified in the District Plan. The LHS states that additional housing should be focused in identified growth precincts, which includes Epping Strategic Centre. The planning proposal is considered to achieve the outcomes of the LHS, as demonstrated by the following:

Epping is identified as a growth precinct that offers the highest opportunity in achieving a 30-minute door-to-door journey to work, noting the transit opportunities present. The LHS states: Growth precincts should be the key focus to deliver increased housing contributing to the achievement of the 30-minute city, best utilise planned transport upgrades and focus City resources for the substantial task of efficient infrastructure delivery to support new communities.

Therefore, the planning proposal contributes to the 30-minute city by providing high-quality housing and employment within a transport rich environment. The remaining dwelling capacity within the Epping Strategic Centre post 2021 is 4,490 dwellings, with 4,420 dwellings provided from 2016 to 2021. It is important to note based on our extensive analysis of opportunity sites in Epping, there are very few left of meaningful size to deliver a holistic and true mixed-use development including a full-line supermarket. In this respect, the proposal **serves as one of the key sites that has genuine capacity to contribute to Epping's housing targets in tandem with a strong presence of commercial floor space.**

Epping Commercial Floor Space and Urban Design Report

The Epping Commercial Floor Space Urban Design Report was prepared by Council to document and address the erosion of commercial floor space within Epping.

The study was driven by the findings of a commercial floor space study in 2017 (see Section 3.5.2), which concluded that between 40,000-45,000m² of commercial floor space and 13,000m² of retail floor space was required for Epping by 2036.

As such, the urban design study sought to rectify this by mandating a minimum provision of 1:1 non-residential floor space within the centre. This would allow the envisaged floor space to be met. In addition, the study recommended an increase in heights that should accompany the proposed floor space. The site was identified as having a maximum height of 80m.

Therefore, the planning proposal is considered to achieve the intended outcomes of the urban design study and commercial floor space, by providing a 1.5:1 non-residential floor space in the form of a 4-5 storey podium with increase building heights.

Is the planning proposal consistent with any other applicable State and regional studies or strategies?

Future Transport Strategy

The planning proposal is consistent with other applicable State strategies including Future Transport Strategy. The Strategy is an update to the 2056 Transport Strategy for NSW published in 2018.

It is a 40-year strategy supported by plans for regional NSW and Greater Sydney that seeks to align transport with land use. It acknowledges key interchanges at Epping will provide improved links between Sydney and regional NSW.

The proposal is consistent with a range of directions under the Future Transport Strategy including:

- C1.1. Enhance 30-minute metropolitan cities,
- C1.2. Connect our regional cities, centres, towns, and villages,
- C2.1. Support car-free, active, sustainable transport options,
- C3.1. Provide transport choices for people no matter where they live,
- P1.2. Support growth around public transport,
- P2.1. Support thriving and healthy 15-minute neighbourhoods,
- P2.2. Manage street space as public space, and
- P4.1. Ensure a net increase in urban trees and no net loss in biodiversity.

Is the planning proposal consistent with applicable State Environmental Planning Policies?

Yes, as outlined in the table below the planning proposal is consistent with relevant State Environmental Planning Policies (SEPP).

SEPP	Consistent	Comments
SEPP (Biodiversity and Conservation) 2021	Yes	The proposal does not contradict or hinder the application of the SEPP.
SEPP (BASIX) 2004	Yes	The proposal does not contradict or hinder the application of the SEPP.
SEPP (Exempt and Complying Development Codes) 2008	Yes	The proposal does not contradict or hinder the application of the SEPP.
SEPP (Housing) 2021	Yes	The proposal does not contradict or hinder the application of the SEPP. The architectural drawings (Appendix 1) demonstrate the proposal is capable of complying with the key design criteria and guidance of Housing SEPP and the ADG.
SEPP (Industry and Employment) 2021	Yes	The proposal does not contradict or hinder the application of the SEPP.
SEPP (Planning Systems) 2021	Yes	The proposal does not contradict or hinder the application of the SEPP.
SEPP (Resilience and Hazards) 2021	Yes	The proposal does not contradict or hinder the application of the SEPP. A contamination study has been prepared (Appendix 11), which demonstrates the site can be made suitable for its intended purpose subject to additional testing.
SEPP (Transport and Infrastructure) 2021	Yes	The proposal does not contradict or hinder the application of the SEPP.

Table 6: SEPP Consistency

Is the planning proposal consistent with the applicable Ministerial Directions (Section 9.1 directions) or key government priority?

Yes, as outlined in the below table the planning proposal is consistent with all applicable Section 9.1 directions. Where the planning proposal is inconsistent with a direction, justification is provided.

Ministerial Direction	Consistent	Comments
Focus area 1: Planning Systems		
1.4 Site Specific Provisions	Yes	<p>The proposal proposes the introduction of an Additional Local Provision that will permit an additional 1.5:1 FSR on the site provided the consent authority is satisfied it is used for non-residential purposes.</p> <p>The application of Additional Local Provisions is common practice in PLEP 2023 and is therefore considered suitable to facilitate development to be carried out.</p>
Focus area 2: Design and Place	N/A	
Focus area 3: Biodiversity and Conservation	N/A	
Focus Area 4: Resilience and Hazards		
4.1 Flooding	Yes, and justified by Direction	<p>The proposal will increase the development/dwelling density on land identified as being partially flood affected.</p> <p>A flood assessment has been prepared (Appendix 5), which demonstrates the proposed works will have no impact on existing flood behaviour.</p> <p>The flood assessment provides a detailed response to the directions, as discussed below.</p>
4.4 Remediation of Contaminated Land	Yes	<p>The proposal does not seek to amend the list of permissible uses in the zone.</p> <p>For the avoidance of doubt, a PSI has been prepared (Appendix 11) to support the planning proposal. It confirms the site can be made suitable for the proposed development.</p>

Ministerial Direction	Consistent	Comments
4.5 Acid Sulfate Soils	Yes	As above
Focus Area 6: Housing		
6.1 Residential Zones	Yes	The proposal will support housing choice to cater for future housing needs and locate these to make efficient use of infrastructure and services. Importantly, the provision of a 1.5:1 non-residential requirement will not reduce the permissible residential density of land consistent with Direction 6.1(2)(b).
Focus Area 7: Industry and Employment		
7.1 Business and Industrial Zones	Yes	The proposal will retain the existing E1 Local Centre zone and facilitate additional employment opportunities on the site via a 1.5:1 non-residential FSR control. The proposal represents one of the largest consolidated landholdings on the western side of Epping capable of fulfilling Council's aspirations to see true employment uses in the centre.
Focus area 8: Resources and Energy	N/A	
Focus area 9: Primary Production	N/A	

Table 7: Ministerial Direction Consistency

Direction 4.1 Flooding

The objectives of the Flooding Direction, as outlined in the Local Planning Direction are outlined as follows:

- a) *ensure that development of flood prone land is consistent with the NSW Government's Flood Prone Land Policy and the principles of the Floodplain Development Manual 2005, and*
- b) *ensure that the provisions of an LEP that apply to flood prone land are commensurate with flood behaviour and includes consideration of the potential flood impacts both on and off the subject land.*

A flood assessment has been prepared by GRC Hydro (Appendix 5). GRC Hydro state the preferred masterplan has been deliberately situated outside areas of significant flow in the 1% AEP event and as such, there will be no impacts on flood behaviour as a result of the planning proposal.

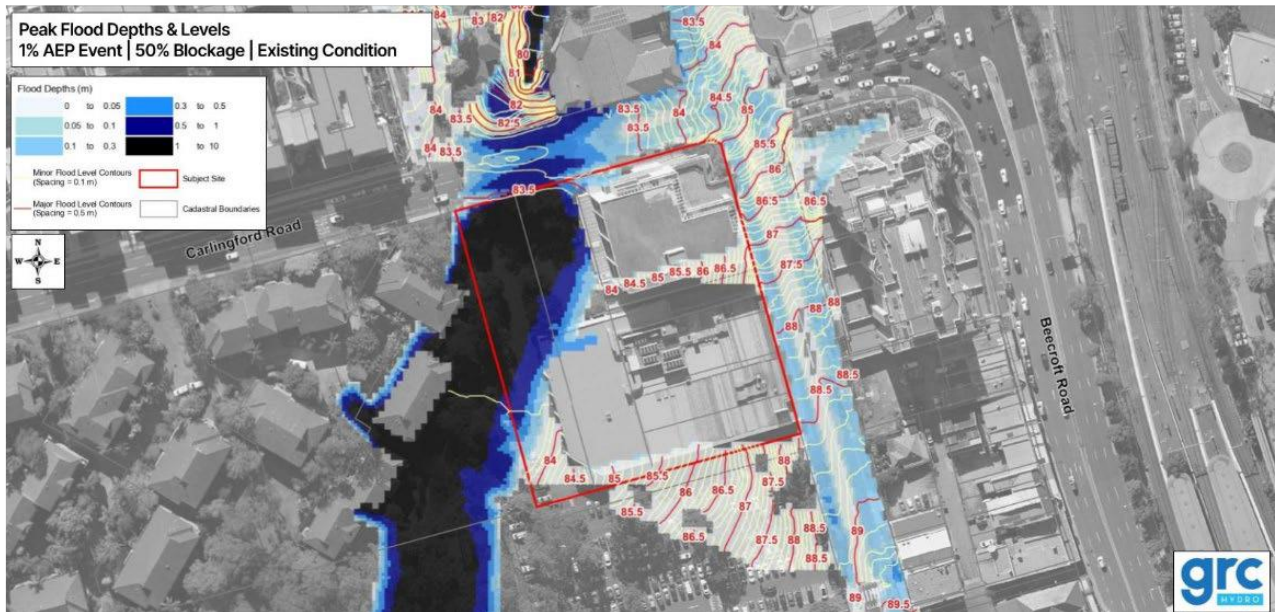


Figure 15: Peak Flood Depths and Levels – 1% AEP Existing Condition (Source: GRC Hydro)

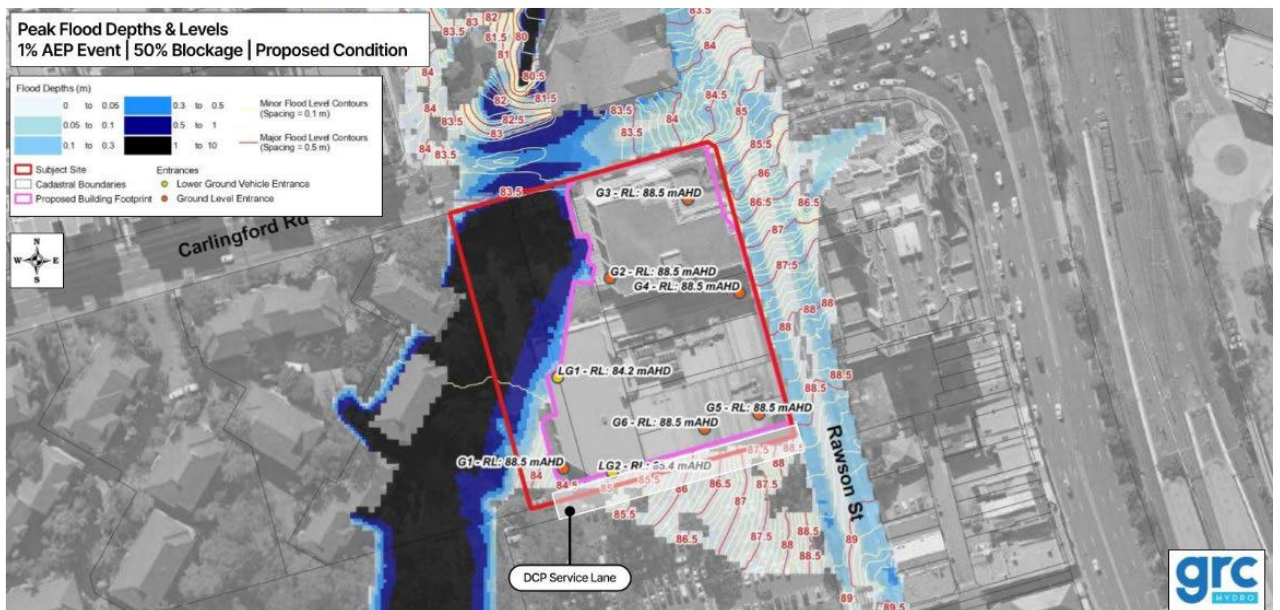


Figure 16: Peak Flood Depths and Levels – 1% AEP Post Development Condition (Source: GRC Hydro)

GRC Hydro have reviewed the preferred masterplan relative to several planning instruments including PLEP 2023, PDCP 2011 and the relevant ministerial directions. These include:

- The planning proposal demonstrates consistency with the controls and objectives of PLEP 2023 and DCP, as well as demonstrating the proposal is consistent with the NSW Floodplain Development Manual 2005.
- The planning proposal meet the relevant flood planning levels and off-site impact requirements. Egress via Rawson Street avoids all interaction with hazardous

mainstream flooding.

- The key principles of the Floodplain Development Manual 2005 are that no development should occur in floodway, floor levels should meet flood planning level requirements and flood risk should be managed. All key three principles are met by the planning proposal and compliance with PLEP 2023 and the DCP further demonstrate this.
- The planning proposal does not result in any impacts on adjacent development in the 1% AEP event.
- The planning proposal and preferred masterplan is not proposed in an area of high hazard. Furthermore, residential levels are significantly elevated above the 1% AEP mainstream flood level of 83.7m AHD at the site.
- Safe egress to Rawson Street is available in evacuation events.

A review of the planning proposal and preferred masterplan demonstrates the planning proposal is consistent with the objectives and requirements of Direction 4.1.

Furthermore, a letter has also been prepared by GRC Hydro dated 24 April 2024, which considers the flood impacts of the proposal against the amendments made following post lodgement and the refined masterplan. The letter confirms that there are no changes that would change the previously presented report or conclusions. GRC Hydro state:

...based on the information presented to GRC Hydro that the flood assessment (GRC Hydro 2023), including the risk assessment and outcomes, are still valid with the proposed changes provided by Oakstand on the 23rd April 2024. No changes have been proposed to the key items contributing to the conclusion of the proposed "Epping Town Centre" being of a low flood risk. As such, there is no need to update either the modelling or reporting presented in the 'Epping Town Centre, Flood Assessment for Planning Proposal,' Revision C, GRC Hydro, 5th December 2023.

Section C – Environmental, social and economic impact

This section considers the potential environmental, social, and economic impacts which may result from the Planning Proposal.

Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

The site is located within an established urban context. As such, the likelihood of critical habitat or threatened species, populations or ecological communities being impacted by the proposed development is considered unlikely.

Are there any other likely environmental effects as a result of the Planning Proposal and how are they proposed to be managed?

The proposal has assessed matters concerning flooding, traffic, urban design and built form in consideration and preparation of the planning proposal. As demonstrated below, any impacts can and will be appropriately managed.

Discussion and assessment of the environmental and urban context is discussed below.

Urban Design

Following lodgement of the planning proposal, the proponent and Council worked constructively to develop a refined masterplan and built form massing for the site.

The updated masterplan was developed in response to the desire for future redevelopment to deliver well-proportioned built forms to strengthen the street wall presence at Rawson Street and Carlingford Road and concentrate residential floor space within two tower forms.

This refined massing strategy ensures impacts to neighbouring properties and the public domain are minimised, while facilitating publicly accessible open spaces and retaining the function of the role of the site as a key mixed-use destination of the western side of Epping.

In response to the changes post lodgement, Gyde have prepared an Urban Design Addendum (Appendix 2), which builds on previous analysis of the lodged Urban Design Report that evidences the site has the capacity to become a key retail node in Epping. The Urban Design Addendum is supported by a suite of new principles that have guided refinements to the massing post lodgement.

Summary of Original Urban Design Analysis

As part of the originally submitted Urban Design Report, the analysis confirmed:

- 1) The site has the capacity to accommodate large format retail including a supermarket, as a result of the site size and lot depth.
- 2) An opportunity sites analysis confirmed the site remains the largest and only viable location to deliver true non-residential floor space, including a full-line supermarket and supporting retail. Most of the existing built form in Epping is either constrained by Strata lots, recently built developments, fragmented lot ownership, irregular site geometries and heritage.

The findings in the submitted Urban Design Report reinforce the proposition that the site is a

unique opportunity to provide additional retail and commercial floor space. Genuine renewal of the site will allow for the creation of a vibrant and active retail hub that will provide an alternative choice for residents instead of traveling to Carlingford Court or Macquarie Centre for their daily needs. This is entirely consistent with Council's long-standing commitment to delivering non-residential floor space in Epping.

Amended Massing and Masterplan Outcomes

The amendments to the planning proposal, and subsequent refinements to the massing post-lodgement builds on a comprehensive body of built form testing. This extensive testing and amendments to the proposal were framed by a range of considerations including orientation of tower forms to facilitate outlook and sky exposure to the park and amplify visual permeability, enhance visual connectivity, redistribute mass to reinforce the street wall at Rawson Street and Carlingford Road and strengthen the commercial floorspace offering by increasing non-residential FSR.

In consultation with Council staff, the amendments establish a balanced distribution of scale across the podium and tower forms, which affords significant improvements to the ground plane and the appearance of the site when viewed from the surrounding streetscape. These refinements result in towers of 33 and 36 storeys and a revised non-residential FSR of 1.5:1 (6:1 total).

In relation to the refined massing and its visual impacts, it presents with increased scale however, the towers are more legible as individual forms whereas towers in the previous massing, the towers presented in a cluster formation with tower heights transitioning to the north.

The amended podium form provides enhanced spatial containment to the street. Where the previous scheme provides a 'staggered' podium edge, the amended podium is increased in scale to express a 4-5 storey street wall to define the corner.

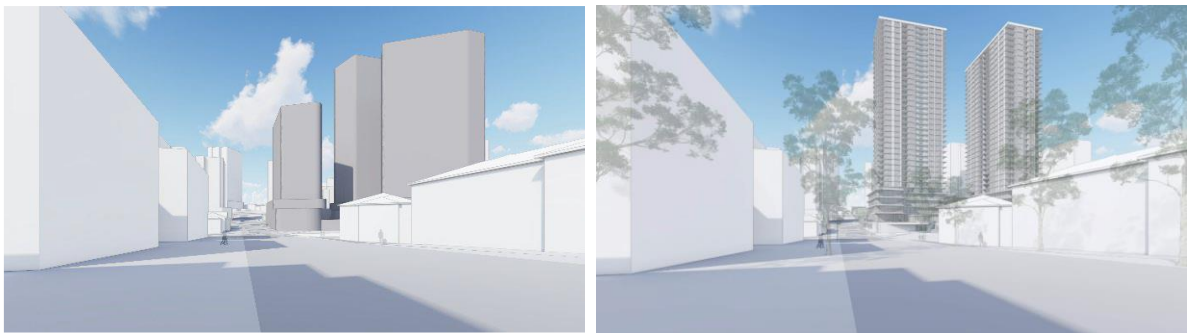


Figure 17: Perspective View from Carlingford Road – Looking East (Source: Kann Finch)

In short, the masterplan delivers:

- 1) Improved the built form response to deliver high quality mixed-use development on a key site in Epping within immediate walking distance of public transport,
- 2) Maximised building separation at sensitive interfaces by concentrating scale at the corner of Rawson Street and Carlingford Road,
- 3) Strengthened the podium form and emphasising height at the northern end of the centre to complement Council's vision for a wider urban profile.
- 4) Increased tower setbacks and enhanced public domain outcomes along Rawson Street to

complement the evolving character of the western side of Epping.



Figure 18: Perspective View from Boronia Park – Looking North (Source: Kann Finch)

Design Excellence and Amenity

In addition to the extensive massing analysis undertaken, the project team engaged with Council's DEAP on a potential configuration of built form with heights similar to what has been proposed under this planning proposal. Initial proposals were presented to the final DEAP workshop on 20 January 2022, which noted the following:

The general massing and building heights are considered acceptable

The acknowledgment of building heights from the DEAP have carried over through post-lodgement engagement discussions with Council in framing the refined masterplan for the site.

This refined masterplan has undergone testing against SEPP 65 and the ADG to demonstrate a future proposal is capable of exhibiting a high quality architectural design and amenity for future occupiers.

The table below assesses the preferred masterplan against the ADG (refer to Appendix 2 for a detailed discussion on ADG consistency). The proposal will exceed many of the key numeric design criteria set by the ADG.

Criteria	Target	Compliance
Solar access	Minimum 70%	71%

Criteria	Target	Compliance
No solar	Maximum 15%	7%
Natural cross ventilation	Minimum 60% up to 9 storeys	71%
Communal open space	Minimum 25%	35% (15.5% of podium space, 13.5% of communal space in the western portion of the site and 6% forming a communal room)
Deep soil	Minimum 7%	13.5%
Building separation	24m (habitable to habitable)	24m achieved

Table 8: ADG Compliance

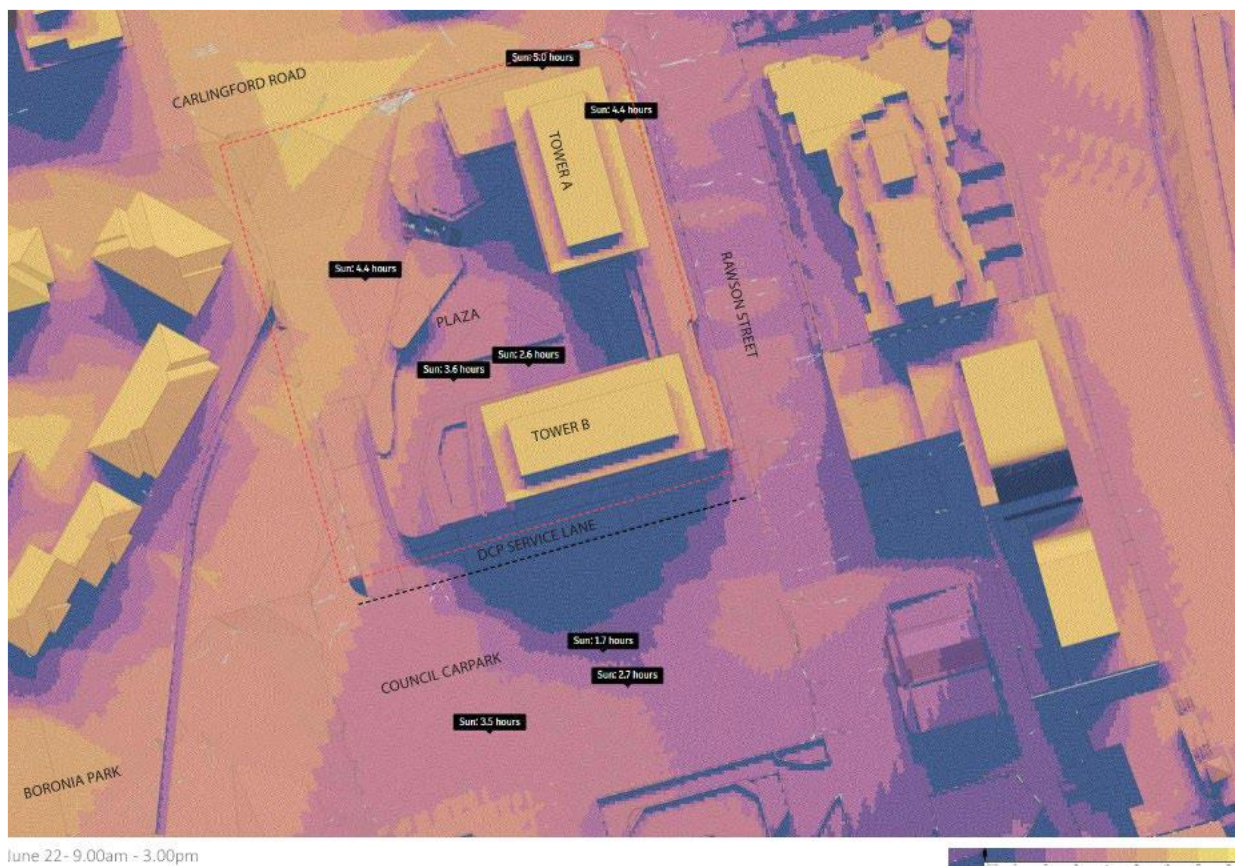


Figure 19: Solar Insolation Testing (Source: Kann Finch)

Overshadowing

The preferred masterplan and massing have been optimised to minimise overshadowing impacts to residential uses and Boronia Park to the west. In particular:

- The geometry of tower forms and the allocation of height, including the offset alignment of towers, has optimised the opportunities for maintaining solar access to ground plane areas within the internal plaza.
- Shaded areas to the south of the site are predominantly located over, or just beyond, the proposed DCP service laneway with good levels of solar access to remaining areas.
- The preferred massing delivers solar access to a majority of Council's car park for 3 or more hours between 9am and 3pm mid-winter.

Detailed shadow diagrams have been prepared between 9am and 3pm mid-winter to determine shadow impacts of the preferred masterplan. The shadow diagrams indicate that:

- Neighbouring residential development in Boronia Gardens will have suitable levels of sunlight maintained, with only shadow cast at only between 9am-10am.
- Boronia Park will not be impacted by additional overshadowing after midday during mid-winter. No additional overshadowing will occur during the busy after-school hours.
- Council's car park is located immediately south and therefore, experience impacts from any future development on the site. However, the sculpted tower forms will provide fast moving shadows and three or more hours of solar access to the majority of the car park will be provided.

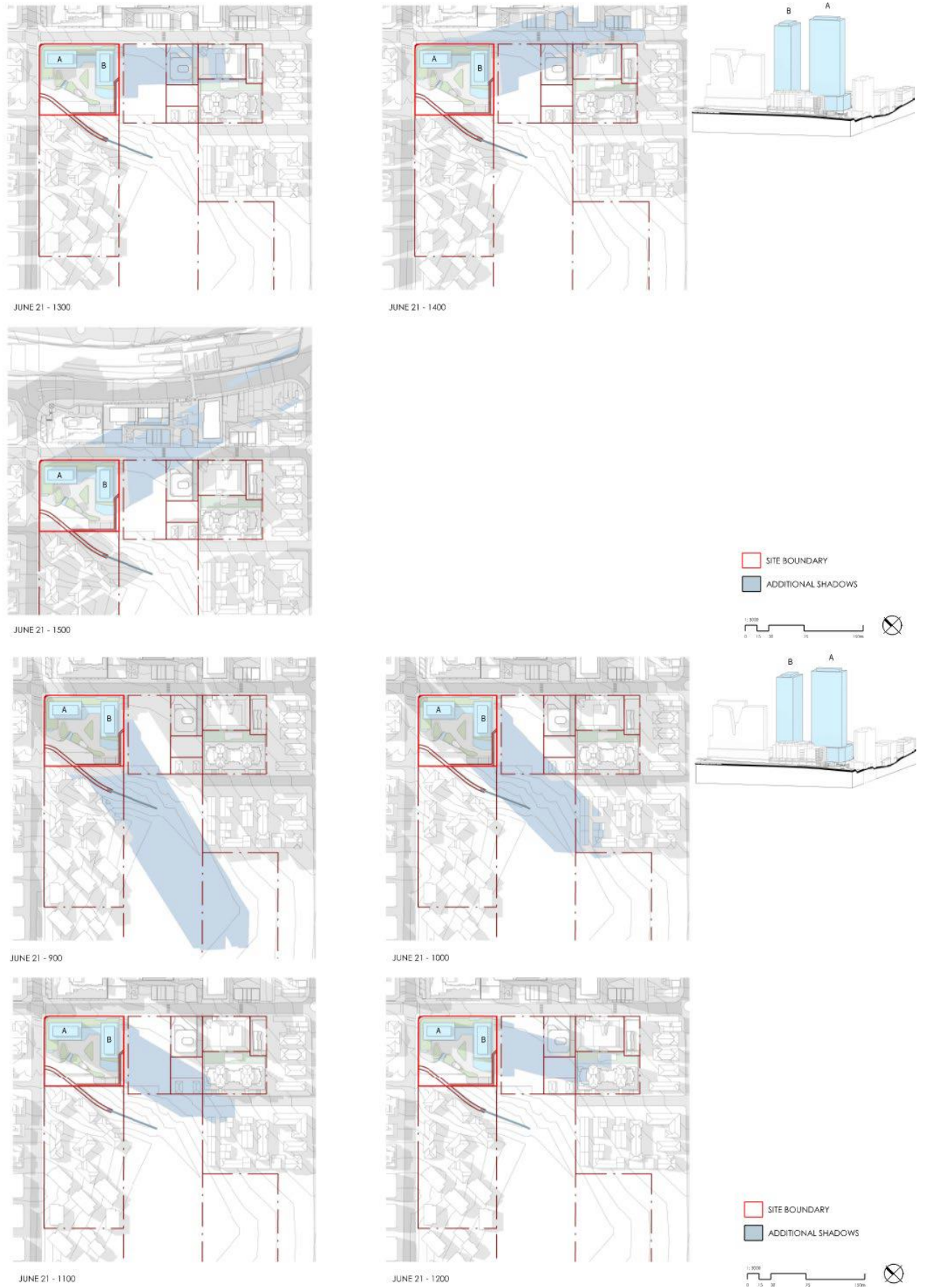


Figure 20: Overshadowing Diagrams (Source: Kann Finch)

Open Space and Public Domain

The proposal is supported by a landscape strategy prepared by Arcadia (Appendix 3), which proposes a concept drawn from local landscape and the Delvins Creek catchment. The concept proposes a diverse range of open space and landscape areas distributed across the site and include the following strategies:

- Introduce a landscaped frontage to Carlingford Road, integrating new open space into existing public areas,
- Create a sympathetic landscaped edge along Carlingford Road, matching the character of Boronia Gardens,
- Plant new street trees along Rawson Street,
- Enhance the central retail atrium with integrated landscaping, improving visual appeal and creating a sense of place,
- Provide landscape screening and deep soil areas along the western boundary to visually screen neighbouring residential development,
- Develop a diverse native landscape setting in the northwest corner, including a bush play zone and water element, and
- Design high-quality landscaped communal open spaces above the podium for residential apartments.

In addition, the public domain plan allows for a future pedestrian connection from Carlingford Road into Boronia Park. This will support improved pedestrian access to open space and provide a green link to the proposed open space area in the northwest corner of the site.



Figure 21: Public Domain Plan (Source: Arcadia)

These open space areas amount to 4,600m² (50%) of the ground plane being publicly accessible and include a generously sized park 1,230m² (13.5%).

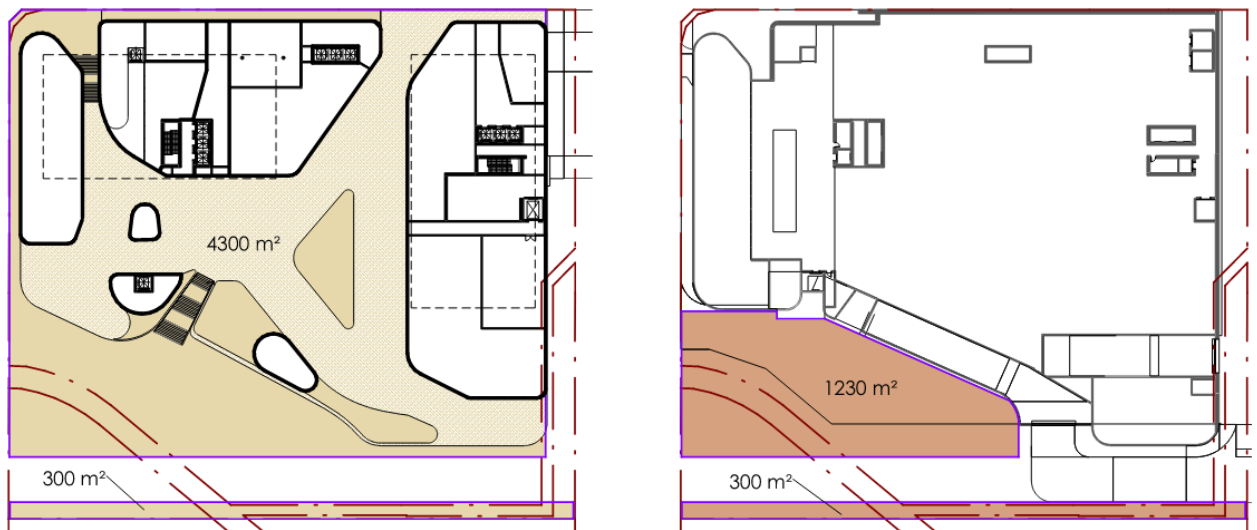


Figure 22: Ground Plane Publicly Accessible Space (Left) And Deep Soil (Right) (Source: Kann Finch)

Traffic and Transport

A TIA has been prepared by Stantec (Appendix 4), which provides traffic assessment of the proposal including trip generation, sustainable transport measures, compliance with DCP rates and traffic generation. A summary of the TIA is provided below, which has been updated to reflect the refined massing post lodgement.

The design currently allows for a single consolidated driveway along the southern boundary of the site at Rawson Street aligned with the DCP 2011 service lane. In accordance with DCP 2011, the service lane could be extended along the western boundary of the site to Carlingford Road.

The proposal incorporates around 556 parking spaces over five basement levels. The car park will provide parking for residents, staff, and visitors with access control (roller doors/ boom gates) to ensure secure access and separation of users.

The proposed development could be expected to generate in the order of 309 and 559 vehicle trips respectively in the AM and PM peak hours (including service vehicle trips). When considering that 25 per cent of retail traffic is passing trade and hence while they are included in the total generation, they are not "new" trips on the road network, the development results in 273 and 450 "new" vehicle trips respectively in the AM and PM peak hours.

The proposed traffic anticipated to travel through the key surrounding intersections is expected to be minor, contributing up to three per cent additional traffic compared to existing traffic volumes.

The proposed site will have a net increase in vehicle generation of around 132 and 138 new vehicle trips respectively in the AM and PM peak hours compared to existing land uses on site. For the purpose of modelling the traffic impact of the development, the proposed redevelopment has been assessed based on having a net increase in vehicle generation of around 144 and 146 vehicle trips respectively in the weekday AM and PM peak hours. The differential in traffic uplift is based on the existing commercial building with ground floor retail generating low traffic volumes (one and nine vehicle trips during each peak hour), however the new commercial and specialty retail land use is assessed based on full traffic yield as per traffic generation rates agreed with Transport for NSW and Council.

The existing pedestrian crossing along Rawson Street on the southern edge of the Council car park currently operates near or at capacity during weekday peak hours during the high pedestrian volumes traveling to / from the rail and bus interchange at Beecroft Road. The development proposes to deliver pedestrian operated signals to better manage the flow of traffic and pedestrians. These signals present a significant benefit to the operation of Rawson Street generally during peak periods and would improve access to both existing and future development within the town centre.

The traffic assessment considers uplift in background traffic generated by potential developments within Epping Town Centre, resulting in a further uplift of 249 and 296 vehicles in the weekday AM and PM peak hour.

Traffic analysis presented in this report indicates it is clear the development has a relatively minor impact on the operation of surrounding intersections, with or without background traffic growth from developments within the town centre, with exception of the Carlingford Road/ Rawson Street/ Ray Road intersection during the AM peak hour specifically due to the limited capacity of the right turn from

Rawson Street to Carlingford Road to accommodate an uplift in traffic. Notwithstanding, the provision of a third eastbound lane along Carlingford Road between Rawson Street and Beecroft Road would result in increased capacity for vehicles exiting Rawson Street and allow for similar performance of the intersection under following development of the site, however, may not deliver enough capacity to accommodate all potential development within the town centre.

In the context of the broader aspirations surrounding development within Epping, as well as aspirations surrounding development that promotes sustainable travel given proximity to a rail and bus interchange and integrated land uses that co-locates jobs, housing, and retail, thereby containing trips internally to Epping, the impacts of the planning proposal can, on this assessment be satisfactorily managed.

Flooding

A Flood Assessment has been prepared by GRC Hydro (Appendix 5). GRC Hydro undertook the following methodology to determine the flooding affectations of the site:

- DRAINS hydrologic model to derive flows for the 5% AEP, 1% AEP, 0.5% AEP and PMF using the methodologies as outlined in the ARR 2019,
- TUFLOW hydraulic model to derive water levels, depths, velocities, and hazard for the 5% AEP, 1% AEP, 0.5% AEP and PMF of existing conditions,
- -Assess the flood conditions and risks of existing and proposed conditions and review model results,
- -Model the proposed plan and assess the flood impacts,
- Review pertinent planning documentation for applicable flooding controls, and
- Develop flood maps which present and proposed flood depth, level and hazard for each event, and flood level impacts for 1% AEP event.

GRC Hydro state the preferred masterplan has been deliberately situated outside areas of significant flow in the 1% AEP event and as such, there will be no impacts on flood behaviour as a result of the planning proposal.

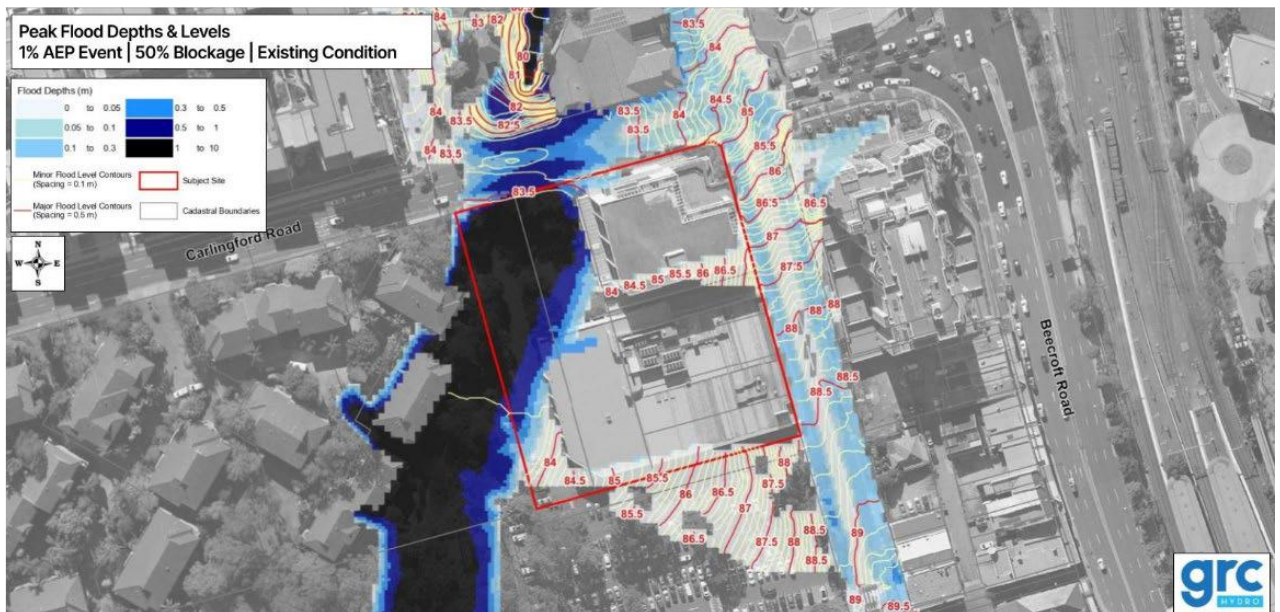


Figure 23: Peak Flood Depths and Levels – 1% AEP Existing Condition (Source: GRC Hydro)

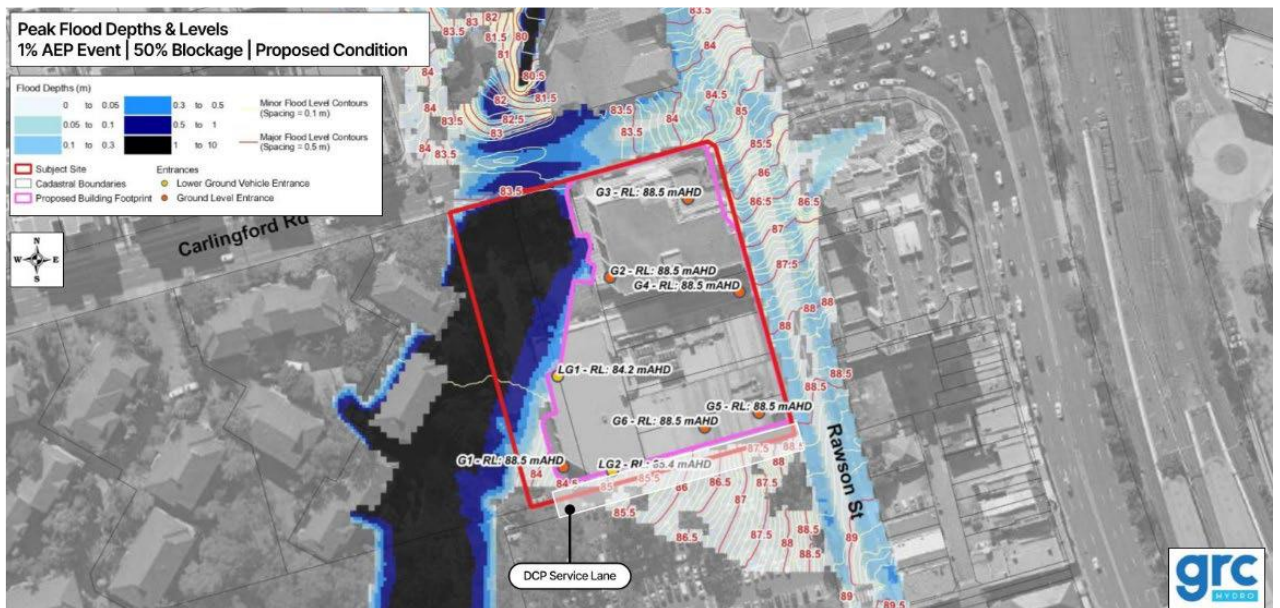


Figure 24: Peak Flood Depths and Levels – 1% AEP Post Development Condition (Source: GRC Hydro)

GRC Hydro have reviewed the preferred masterplan relative to several planning instruments including PLEP 2023, PDCP 2011 and the relevant ministerial directions. These include:

- The planning proposal demonstrates consistency with the controls and objectives of PLEP 2023 and DCP, as well as demonstrating the proposal is consistent with the NSW Floodplain Development Manual 2005.
- The planning proposal meet the relevant flood planning levels and off-site impact requirements. Egress via Rawson Street avoids all interaction with hazardous mainstream flooding.

- The key principles of the Floodplain Development Manual 2005 are that no development should occur in floodway, floor levels should meet flood planning level requirements and flood risk should be managed. All key three principles are met by the planning proposal and compliance with PLEP 2023 and the DCP further demonstrate this.
- The planning proposal does not result in any impacts on adjacent development in the 1% AEP event.
- The planning proposal and preferred masterplan is not proposed in an area of high hazard. Furthermore, residential levels are significantly elevated above the 1% AEP mainstream flood level of 83.7m AHD at the site.
- Relatively safe egress to Rawson Street is available in evacuation events.

A review of the Planning Proposal and preferred masterplan demonstrates that the planning proposal has considered the site's constraints, with the proposed built form responding to and mitigating any associated impacts resulting from the flood prone land.

Furthermore, a letter has also been prepared by GRC Hydro dated 24 April 2024, which considers the flood impacts of the proposal against the amendments made following post lodgement and the refined masterplan. The letter confirms that there are no changes that would change the previously presented report or conclusions. GRC Hydro state:

...based on the information presented to GRC Hydro that the flood assessment (GRC Hydro 2023), including the risk assessment and outcomes, are still valid with the proposed changes provided by Oakstand on the 23rd April 2024. No changes have been proposed to the key items contributing to the conclusion of the proposed "Epping Town Centre" being of a low flood risk. As such, there is no need to update either the modelling or reporting presented in the 'Epping Town Centre, Flood Assessment for Planning Proposal,' Revision C, GRC Hydro, 5th December 2023.

Contamination

A PSI has been prepared by Douglas Partners (Appendix 11) that considers the suitability of the site for the proposed use. Douglas Partners concludes the site can be made suitable for the proposed development subject to the following:

- Obtain and review the SafeWork NSW records,
- Additional soil sampling and testing to meet a sampling density, combined with the current locations, commensurate with a Detailed Site Investigation (DSI) as described in NEPC (2013),
- The additional sampling and testing should preferably be undertaken following building demolition to facilitate ease of access and visual assessment of fill through test pitting,
- Assessment of groundwater quality beneath the site, and
- Hazardous building material survey of the buildings present on site, prior to demolition; and
- If required following the additional investigations, preparation of a remediation action plan (RAP).

Pedestrian Wind

A Pedestrian Wind Environment Statement has been prepared by Wintech to assess the wind effects of the preferred masterplan (Appendix 9).

Windtech state that while the preferred masterplan incorporates a range of positive wind mitigation strategies, there are areas of the proposed development that are likely to experience and be exposed to stronger winds. Several recommendations are proposed that are capable of being incorporated into a future DA for the site including:

- Ground level trafficable areas:
 - Retain proposed north-western landscape area with densely foliating tree and hedge planting within.
 - Inclusion of continuous impermeable awning along Rawson Street frontage on Ground level.
 - Inclusion of an impermeable awning at the base of Tower B along the southern aspect on Ground level.
 - Inclusion of an impermeable awning at the base of Tower A along the western aspect on Ground level.
 - Retain proposed landscape areas with densely foliating tree and hedge planting within the central communal open space on Level 1 and at the entrances into the area.
 - Inclusion of a combination of densely foliating evergreen planting, baffle screening along the arcade entrances to the central open communal open space on the Ground Level.
- Elevated communal open spaces (podium)
 - Retain proposed landscape areas with densely foliating tree and hedge planting within.
 - Inclusion of a perimeter screening to a height of 2-2.5m high in between Towers A and B on Level 4.
- Private balconies and terraces
 - Full height impermeable screens or full height louvres along one of the exposed aspects of the corner balconies i.e., single aspect design.

Overall, consideration of the above recommendations is expected to result in suitable wind conditions for various trafficable outdoor areas within and around the development for intended uses, and that wind speeds will satisfy the applicable criteria for pedestrian comfort and safety typical of Epping.

The proponent intends on undertaking further wind tunnel testing at detailed design stages to quantitatively assess the wind conditions and to verify the necessity of the treatments and recommendations. This will be further explored at detailed design and DA stage.

Sustainability

An ESD Strategy has been prepared by Stantec Australia (Appendix 8), which outlines a number of initiatives that will be explored in detailed DA stage to support the NSW Government's targets of Net Zero. Key responses include:

- Site electrification and facilities to enable on-site renewable energy production,
- Rainwater harvesting and reuse,
- Energy efficient lighting systems (internal and external) and lighting controls,
- Façade thermal performance for new elements in line with NCC 2022 Section J,
- Efficient domestic hot water and HVAC system equipment,
- Timer and motion controls of lighting and ventilation to reduce unnecessary energy consumption,
- Explore opportunities to reduce embodied energy reduction associated to construction material selection,
- Increased access to natural daylight with an aspiration to exceed ADG solar access and cross ventilation requirements.
- Water efficient fixtures and fittings (WELS ratings),
- Application of WSUD principles,
- Responsibly sized waste separation and storage areas, and
- Increased indoor environmental quality through the use of low-VOC paints, adhesives and sealants.

The above responses will be explored further by the proponent prior to lodgement of a DA.

Has the planning proposal adequately addressed any social and economic effects?

The proposal will deliver a number of positive social and economic outcomes, thereby ensuring that future on-site residents, workers, and visitors have access to retail and commercial amenity, community services and infrastructure, civic amenity in addition to recreation.

Social Impacts

An SIA has been prepared by Cred Consulting (Appendix 7), which provides an audit of social infrastructure within 200m, 400m, 800m and 2km of the site. Overall, the site is well located within an existing strategic centre and has a range of local, district and regional facilities within 200m to 2km of the site.

The following levels of infrastructure were audited for each proximity benchmark distance:

- Local facilities - Within 800m of the site,
- District facilities - Within 2km of the site, and
- Regional facilities - Within 5km of the site.

An audit of public facilities shows that:

- Within 800m of the site, there are 4 local facilities,
- Within 2km of the site, there are 9 district facilities., and
- Within 5km of the site, there are 4 regional facilities.



Figure 25: Location of Social Infrastructure Within 2km Of the Proposal (Source: Cred Consulting)

Infrastructure demand

Based on the findings of the SIA, demand for social infrastructure generated by the proposal are as follows:

- Library Floor Space - Benchmarked demand of 190m² of library space is likely to be generated through planning proposal. City of Parramatta's Community Infrastructure Strategy (COPCIS) indicates that for Catchment Three (which Epping suburb is located within) there is a gap of 1,014m² of library space in 2019. The Epping Library and Leisure Centre has recently undergone refurbishment, including the addition of a new floor level, to address increased library space demand for the area.
- Early education and care – Benchmarked demand for 21 places is likely to be generated by the proposal. The proposed demand does not trigger a need for an on-site facility.
- Out of School care – Benchmarked demand for 19 places is likely to be generated by the proposal. The proposed demand does not trigger a need for an on-site facility.
- Public Hospital Beds – Benchmarked demand for 2.8 hospital beds is likely to be generated by the proposal.
- Open Space - Benchmarked demand for 3.2 ha. of public open space is likely to be generated by this proposal. Currently, there is a provision of approximately 50 ha. of public open space in the Epping suburb. In 2021, there is demand for an additional 40 ha in the suburb. The planning proposal includes 0.11 ha of public open space (including park). Therefore, the planning proposal will generate an additional demand of 3.09 ha. of public open space for the Epping suburb.
- Indoor recreation centre – The proposal does not trigger benchmarked need for a facility on-site. There is a benchmarked demand for 1 indoor recreation centre for the Epping suburb in 2021.
- Skate Facilities – The proposal does not trigger benchmarked need for a facility on-site. There is a benchmarked demand for 3-6 skate facilities for the Epping suburb in 2021.
- Multipurpose outdoor courts – The proposal does not trigger benchmarked need for a facility on-site. The COPCIS indicates that there is a moderate gap in hard courts in the suburb of Epping.
- Outdoor fitness station – The proposal does not trigger benchmarked need for a facility on-site. The COPCIS indicates that the current provision in Epping meets the benchmarked need for outdoor fitness stations.
- Play spaces – Benchmarked demand for 0.5 play spaces is likely to be generated through by this proposal. The COPCIS indicates that there are currently 9 play spaces in the Epping suburb. It also indicates that for Catchment Three (which Epping suburb is located within) there is a gap of 3 play spaces in 2019. Currently one play space is proposed as part of the planning proposal. Therefore, provision meets demand.
- Indoor Courts – The proposal does not trigger benchmarked need for a facility on-site. The COPCIS indicates that the current provision in Epping meets the benchmarked need for indoor courts.
- Aquatic facilities (local) – The proposal does not trigger benchmarked need for a

facility on-site. The COPCIS indicates that the current provision in Epping meets the benchmarked need for aquatic facility courts.

- Dog off-leash areas – The proposal does not trigger benchmarked need for a facility on-site. There are 4 dog off-leash areas for the suburb of Epping.

It is acknowledged that the future development of the site will require the payment of 7.11 contributions which will contribute towards additional social infrastructure demand as generated by the proposal. Priority community needs are identified in Table 9 of the SIA.

Chapter 6 of the SIA provides a summary of the social impacts of the planning proposal as well as potential mitigation measures to address issues and enhance positive social impact. This has been summarised in the table below.

Identified Social Impact		Enhancement/Mitigation Measures
POSITIVE IMPACTS		
1. Supply of additional housing	The proposal will provide an additional 420 apartments, which may cater to smaller household sizes within the Epping suburb, including working age population.	Provide a minimum of 20% 3 bedroom apartments, to cater for the large proportion of families with children who reside in Epping suburb.
2. Publicly accessible public open space	The lower ground level is designed to accommodate a range of activities for people of all age groups. This includes bush play zones, flexible communal open space with lawn, seating, and alfresco dining.	Provide adequate wayfinding signage, universally designed seating and landscaping, noise mitigation measures for residential tenants.
3. Improved pedestrian access after construction	The planning proposal provides wide footpath, thoroughfares, and multiple access points into the ground level for pedestrians.	Wide footpath on Rawson Street with end of trip facilities and opportunity for walking loop as part of Boronia Park.
4. Access to Boronia Park	The planning proposal retains access to nearby carpark which leads to Boronia Park.	Opportunities to enhance direct link to Boronia Park, provision of amenities (e.g. drinking fountain and seating) and signage.
5. New full line modern supermarket with supporting speciality retail post construction	The planning proposal proposes to demolish the existing supermarket and build a new one with supporting specialty retail.	Incorporation of best practice universal design principals, provision of seating, opportunity for art displays.
6. Rawson Street and Carlingford	The planning proposal will change the existing character of the town centre	Provide places to 'stay' in the public domain, provide natural areas which soften the urban

Identified Social Impact		Enhancement/Mitigation Measures
Road activation post construction	through the delivery of mixed-use towers with supermarket on lower ground level and retail on ground level.	landscape, enhance
7. Provision of additional retail and commercial space within close proximity to Epping Station	The planning proposal will add additional retail and commercial space, helping to make a retail destination on the western side of Epping.	Opportunity to incorporate subsidised space as part of commercial/retail offering for community benefit (e.g. dedication of retail space for a social enterprise such as a café)
8. Employment opportunities	During and after construction, this mixed-use planning proposal will provide opportunities for local employment in the Epping high growth area, close by to public transport.	NA
9. Communal open space	This proposal includes communal open space for use by residents.	Embellish communal open space with high quality amenities, ensure regular maintenance.
10. Communal space	The planning proposal will include a community space of 775m ² adjoining the communal open space on Level 1.	Ensure space is bookable, design to be multi-purpose and take advantage of proximity to communal open space, engage with community to determine purpose, form, and function.
11. Connection to Country	Initial consideration of Connection to Country as part of the design of the podium/ plaza and landscaping	Explore opportunities to strengthen Connection to Country interpretation.
NEGATIVE IMPACTS		
1. Pressure on existing social infrastructure	The social infrastructure proposed by the Planning Proposal does not meet all community needs generated by the proposed development and therefore new residents will add additional pressure on the existing social infrastructure in Epping suburb.	Consider contributions towards priority community needs through Section 7.11 and Housing productivity contributions.
2. No proposed provision of affordable housing	The Planning Proposal in its current form does not incorporate provision of affordable housing.	There is opportunity to provide affordable rental housing as part of future development of the site.

Identified Social Impact		Enhancement/Mitigation Measures
3. Limited Pedestrian access	Pedestrian access in and around Rawson Street is likely to be affected during construction, impacting wayfinding.	Provide appropriate notice to affected stakeholders, provide alternate wayfinding routes, enhance active transport connections.
4. Noise during construction	Noise during the construction period may impact on the quality of life of neighbouring residents.	Provide appropriate notice and contact details to affected community members.
5. Temporary closure of supermarket	During construction, it is likely that Epping residents, workers and visitors will not be able to access the existing supermarket	Provide appropriate notice to affected stakeholders including construction timeframes

Table 9: Social Impact Assessment

A SIA Addendum was prepared by Cred Consulting in response to the refined masterplan following lodgement. It notes that the main change has been the consolidation of three to two tower forms and increased commercial floor space and publicly accessible domain.

Cred Consulting maintains that the impacts identified in the original report remain valid and notes:

The recent changes to the planning proposal align with Council's strategic goals for the area, which ads another positive social impact to the development. Additionally, all other social impacts, enhancement suggestions , and mitigation measures identified in the 2023 report remain valid.

Overall, the social impact assessment for the planning proposal remains overwhelmingly positive and is supported.

Economic Impacts

An EIA has been prepared by Atlas Economics (Appendix 6) to assess the need for the land uses proposed and examine the economic impacts of the planning proposal. This report has been updated to reflect the refined massing with a non-residential FSR of 1.5:1.

Changing role of Epping and site response

Atlas state that Epping centre was historically a minor suburban commercial market that offered lower priced office space that was attractive to local businesses and business owners who lived locally and sought to work close to home.

As high-density development has displaced many of the commercial buildings, the centre's role has evolved to become one that provides for local services and that fulfills a convenience role. This is evident from the change in employment profile observed over the 2011-2021 period, with health and education-related employment growing in proportion.

Based on the business occupier profile and activity, the demand for commercial space is broader than just demand for office floor space. The tenancy profile of businesses currently accommodated on the Site (various education and tutoring centres, specialist medical practices) is indicative of the spread of demand for commercial floor space in the centre.

Atlas go on to state that at present, the centre has a Coles supermarket and some minor specialty shops but overall has a limited retail offer. Residents generally travel to Macquarie Park, Carlingford, Eastwood, or Beecroft to have their convenience retail needs met.

Furthermore, the EIA notes the centre is in a state of transition, with large scale development activity revealing:

- A much larger residential population, with many commuting to Sydney CBD and Macquarie Park for work,
- A fall in local employment as former commercial buildings have been redeveloped, and
- A growth in local employment in education and training and notable decline in retail employment.

While developments in the centre have resulted in a large number of new households and residents, many of the sites are small in area. This limits the ability for large scale provision of retail/commercial floor space that would enable retail uses to cluster and that would be overall feasible. This reality can be observed from developments in the pipeline and developments that have already been completed where only there is only minor provision of commercial space and employment.

The site therefore plays an important role in contributing to the Epping's capacity to enable local residents to have their convenience, shopping and recreational needs met. This would contribute to improving the self-containment of the centre and reducing trips beyond the centre except for higher-order shopping.

Economic assessment

During the construction phase the planning proposal is expected to generate significant economic impacts for the LGA including:

- \$407.1 million in output (including \$237 million in direct activity),
- \$147.4 million contribution to GRP (including \$60.6 million in direct activity),
- \$83 million in incomes and salaries paid to households (including \$40.3 million in direct income), and
- 855 FTE jobs (including 449 FTE directly employed in construction activity).

During the operational phase, the planning proposal is expected to result in a net increase in economic activity through direct and indirect (flow-on) annually at:

- \$164.2 million in additional output (including \$88.5 million in direct activity),
- \$88.6 million in additional contribution to GRP (including \$46.8 million in direct activity),
- \$51.1 million in additional incomes and salaries paid to households (including \$31.6 million in direct income), and
- 493 additional FTE jobs (including 311 FTE jobs directly related to activity on the site).

The Proposal is also expected to generate additional household expenditure supported through new dwellings within the Parramatta LGA. This activity is estimated to support on an ongoing annual basis (once fully developed and occupied):

- \$59.7 million in total output (\$35.2 million directly)
- \$34.7 million additional in contribution to GRP (including \$21.2 million in direct activity),
- \$14.6 million additional incomes and salaries paid to local workers (including \$8.2 million directly), and
- 187 FTE jobs (including 128 additional FTE jobs directly related to activity on the site).

Overall, Atlas concludes the proposal will make a significant contribution to the Parramatta economy. The planning proposal is expected to generate an annual GRP of \$88.6 million to the local economy and support almost 311 FTE jobs on-site during operational phase.

The planning proposal will contribute to meeting demand for retail and local commercial services including the growing health and education-related businesses seeking to locate in the centre. Importantly, it will facilitate better self-containment in terms of trip generation and contribute to an increase in provision of much-needed contemporary commercial floor space.

The economic impacts estimated demonstrates the planning proposal has economic merit, having the ability to reinforce the functionality of Epping as a Strategic Centre and contribute significantly to the local economy.

Section D – State and Commonwealth Interests

Is there adequate public infrastructure for the planning proposal?

The proposal is located in an established, urban area and as such, existing services and utilities are available and can readily accommodate future development.

Nonetheless, the proposal is accompanied by an Electrical and Hydraulic Services Infrastructure Report, prepared by Stantec (**Appendix 10**), which confirms the following findings:

- Augmentation will be required to provide power to the site, It will be necessary to decommission and remove the 2 off existing substations and replace with new chamber substations (3 x 1500kVA transformers required to service the site).
- The proposed development is well serviced from existing Carrier infrastructure. No carrier diversions are required and it is not expected that there will be any carrier backhaul charges.
- The authority sewer infrastructure surrounding the site is of sufficient capacity to service the proposed development. The sewer assets will be subject to alterations and deviations to allow for the construction of the development.
- The authority water infrastructure surrounding the site is of sufficient capacity to service the proposed development.
- The authority gas infrastructure surrounding the site has sufficient capacity to service the needs of the proposed development. Formal applications will need to be undertaken.

Based on the above, the proposal notes that existing services are able to accommodate the site. Nonetheless, further investigations will be undertaken to determine whether any upgrade of existing facilities is necessary in consultation with Council and service providers.

Refer to the Electrical and Hydraulic Services Infrastructure Report in **Appendix 10**.

Section E – State and Commonwealth Interests

What are the views of the State and Federal public authorities and government agencies consulted in order to inform the Gateway determination?

Consultation has occurred with a number of State authorities including the Department, Council and TfNSW as part of the scoping report and pre-consultation processes.

In particular, Council referred the scoping report to TfNSW on 13 February 2023, with a response provided on 29 March 2023. A copy of this correspondence is provided at Appendix 12. Overall, the consultation did not identify any major issues that would preclude an amendment to PLEP 2023.

Prior to preparation of the traffic analysis, the proponent's traffic consultant (Stantec) liaised with TfNSW and Council to provide input on the proposed transport methodology/assumptions. This includes requests for concurrence on traffic generation rates and traffic growth assumptions.

Consultation will continue during the course of Council's review of the planning proposal, Department assessment and in accordance with any conditions and engagement requirements set by the Gateway Determination.

Part 4 – MAPS

The planning proposal seeks to amend the following maps of the Parramatta Local Environmental Plan 2023 as follows:

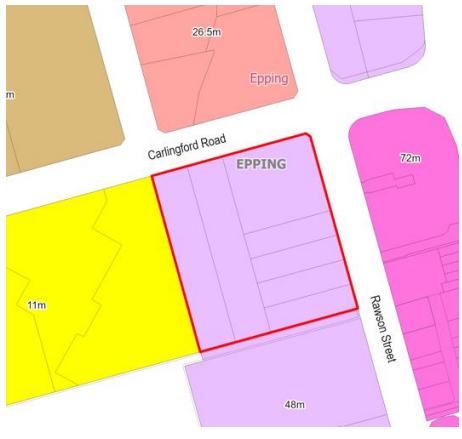


Control	Existing	Proposed
<p>Height of Buildings</p>	<p>48m</p> 	<p>RL 103 (22m), RL 197 (112m) and RL 206 (122m)</p> 
<p>Additional Local Provisions</p>	<p>Nil</p>	<p>Add a clause to Part 6, Additional Local Provisions of the PLEP 2023 specific to this site that permits an additional commercial only FSR of 1.5:1.</p> <p>Notwithstanding the existing 4.5:1 FSR, which permits a range of uses (including commercial) in the E1 Local Centre zone, the additional 1.5:1 commercial only FSR would mean that a maximum 6:1 FSR is permitted for the site, with at least 1.5:1 of the permitted FSR to comprise commercial.</p> 

Table 10: Proposed Maps

PART 5 – COMMUNITY CONSULTATION

The planning proposal will be placed on public exhibition in accordance with the Gateway Determination, should the Department support the proposal. Confirmation of the public exhibition period and requirements for consultation will be detailed as part of the Gateway Determination.

Any further community consultation will be conducted in accordance with Sections 3.33 and 3.34 of the EP&A Act, the Guidelines and Council's policies. This may involve:

- Public exhibition of the planning proposal including:
- **Notification on Council's website,**
- Notification in writing to affected and adjoining landowners, unless Council is of the opinion that the number of landowners makes it impractical to notify them,
- Notification letters to relevant State agencies and other authorities nominated by the Department, and
- Undertaking of any other consultation methods appropriate for the proposal.

Any further detailed design DA for the site would also be exhibited in accordance with Council's requirements, at which point the public and any authorities would have further opportunity to comment on the proposal.

PART 6 – PROJECT TIMELINE

A primary goal of the plan making process is to reduce the overall time taken to gazette LEPs. The Gateway Determination will confirm the level of information necessary to support the planning proposal and the consultation requirements.

In order to meet these timeframes, the inclusion of a project timeline in the planning proposal will provide a mechanism to monitor the progress of the planning proposal through the plan making process.

The table below provides the project timeline anticipated for the subject planning proposal, which is proportionate to the nature and scale of the proposal.

MILESTONE	ANTICIPATED TIMEFRAME
Consideration by Local Planning Panel	May 2024
Council decision	June 2024
Gateway determination	October 2024
Commencement and completion of public exhibition period	November – December 2024
Consideration of submissions	February 2025
Post-exhibition review and additional studies (if required)	April 2025
Submission to the Department for finalisation	May 2025
Gazettal of the LEP amendments	June 2025

Table 11: Timeline Table

APPENDICES

Appendix 1 – REVISED ARCHITECTURAL REPORT - 53-61 Rawson
Street Epping

Appendix 2 – REVISED URBAN DESIGN REPORT - 53-61 Rawson Street
Epping

Appendix 3 –REVISED PUBLIC DOMAIN PLAN - 53-61 Rawson Street
Epping

Appendix 4 – REVISED TRAFFIC IMPACT ASSESSMENT - 53-61
Rawson Street Epping

Appendix 5 – REVISED FLOODING ADDENDUM - 53-61 Rawson Street
Epping

Appendix 6 – REVISED ECONOMIC IMPACT ASSESSMENT - 53-61
Rawson Street Epping

Appendix 7 – REVISED SOCIAL IMPACT ASSESSMENT - 53-61 Rawson
Street Epping

Appendix 8 – ENVIRONMENTALLY SUSTAINABLE DEVELOPMENT
STRATEGY - 53-61 Rawson Street Epping

Appendix 9 – REVISED WIND ASSESSMENT - 53-61 Rawson Street Epping

8.1.1 EPPING STRATEGIC CENTRE

The Epping Strategic Centre comprises of Epping Central located to the west of the rail line, Epping Town Centre located to the east of the rail line, and its surrounding residential and commercial planned precincts (Figure 8.1.1). This centre is identified by its access to public transport (serviced by the Metro North West Line, Sydney Trains T9 Northern Line and NSW TrainLink Central Coast & Newcastle Line), provision of mixed-use commercial, retail and residential development, enhanced public domain, and significant heritage context.

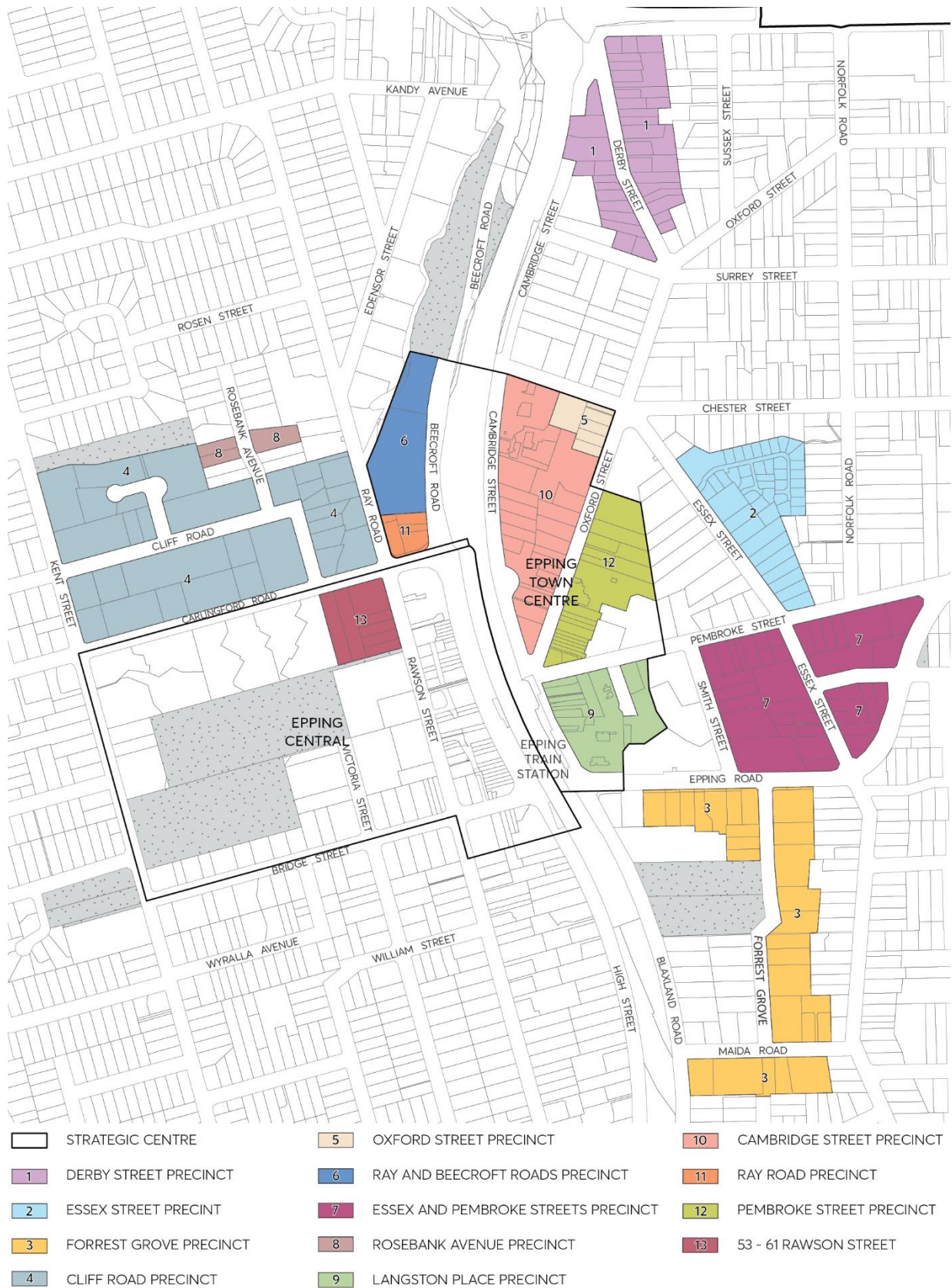


Figure 8.1.1 – Epping Strategic Centre

8.1.1.1 EPPING CENTRAL

8.1.1.1.1 DESIRED FUTURE CHARACTER

Epping Central is focused around Epping Railway Station and is characterised by a compact and vibrant Centre Core immediately adjacent to the station, surrounded by lower density development adjacent to the Core. The lower density area recognises the heritage significance and character of the area, in particular the heritage items and heritage conservation areas.

The Centre Core accommodates higher density commercial, retail and residential development in the form of high quality, tall slim-line towers in the areas fronting Rawson Street and Beecroft Road (between Bridge Street and Carlingford Road). The heights and densities of existing low rise residential flat buildings surrounding Boronia Park remain unchanged and provide a buffer between new high density development in the Centre Core and existing low density development at the periphery.

New development within the Centre Core contribute to public domain improvements, new laneway connections and active ground level uses (particularly along Rawson Street, Beecroft Road and new laneways) that provide high levels of pedestrian amenity and reinforce the role of these streets as a vibrant retail/commercial area. The number of vehicular access points along Rawson Street are minimised to maximise pedestrian safety and to ensure the fine grain pattern of ground floor uses are continued along the length of street with minimal interruption.

Building tower elements are suitably setback from all street alignments so that they do not visually dominate the street, allow a pedestrian scale to be maintained at street level, and reduce overshadowing impacts on the public domain.

Pedestrian connections are improved throughout the centre, and between the western and eastern side of the railway line. An above ground pedestrian link connecting new development in Beecroft Road directly into the Epping Railway Station is encouraged. New through site vehicular connections between Rawson Street car park and Carlingford Road alleviate vehicular movements at the existing Rawson Street/Carlingford Road intersection.

New development is designed and sited in a manner that protects the amenity of occupants on adjoining properties and, where relevant, provides a sympathetic response to heritage items and conservation areas. New development also protects the amenity of future building occupants by appropriately considering noise and vibration impacts from Beecroft and Carlingford Roads, and the railway line. High rise development must not result in wind tunnelling impacting upon both the public domain and new and existing development.

Where properties adjoin Boronia Park, new development address and casually survey the Park, whilst also minimising overshadowing impacts. The future use of the Council owned car park in Rawson Street is subject to future master planning and endorsement by the City of Parramatta Council.



Figure 8.1.1.1 – Epping Town Centre Precinct Map

Objectives

In addition to general objectives listed in Part 8 of this DCP, specific objectives of this precinct are identified below.

- O.01 Ensure that new development provides a strong interface to Epping Railway Station and improves connections between the railway station and the eastern and western sides of the centre.
- O.02 Provide high quality built form and to ensure that new buildings provide articulation, modulation and attractive composition of building elements.
- O.03 Ensure that new development maintains and enhances the character and function of Rawson Street and Beecroft Road as a retail/commercial street by continuing the fine grain pattern of ground floor uses.
- O.04 Ensure that new development responds well to heritage items and conservation areas.
- O.05 Ensure new development is suitably treated to reduce noise and vibration impacts from Beecroft Road and Railway Line.

Investigation Areas

As shown in Figure 8.1.1.2 Council will investigate future options for the use of the Council owned car park site in Rawson Street to determine the most appropriate future use of the site. This would be subject to a further Masterplan exercise and endorsement by City of Parramatta Council.

A 'kiss and ride' zone enabling commuters to be set down/picked up in Rawson Street near pedestrian lane links to the railway station to be considered in future redevelopment of Council's car park site. Alternatively, this may be able to be achieved on the eastern side of Rawson Street, in consideration of the amalgamation of existing laneways between Becroft Road and Rawson Street into redevelopment sites.

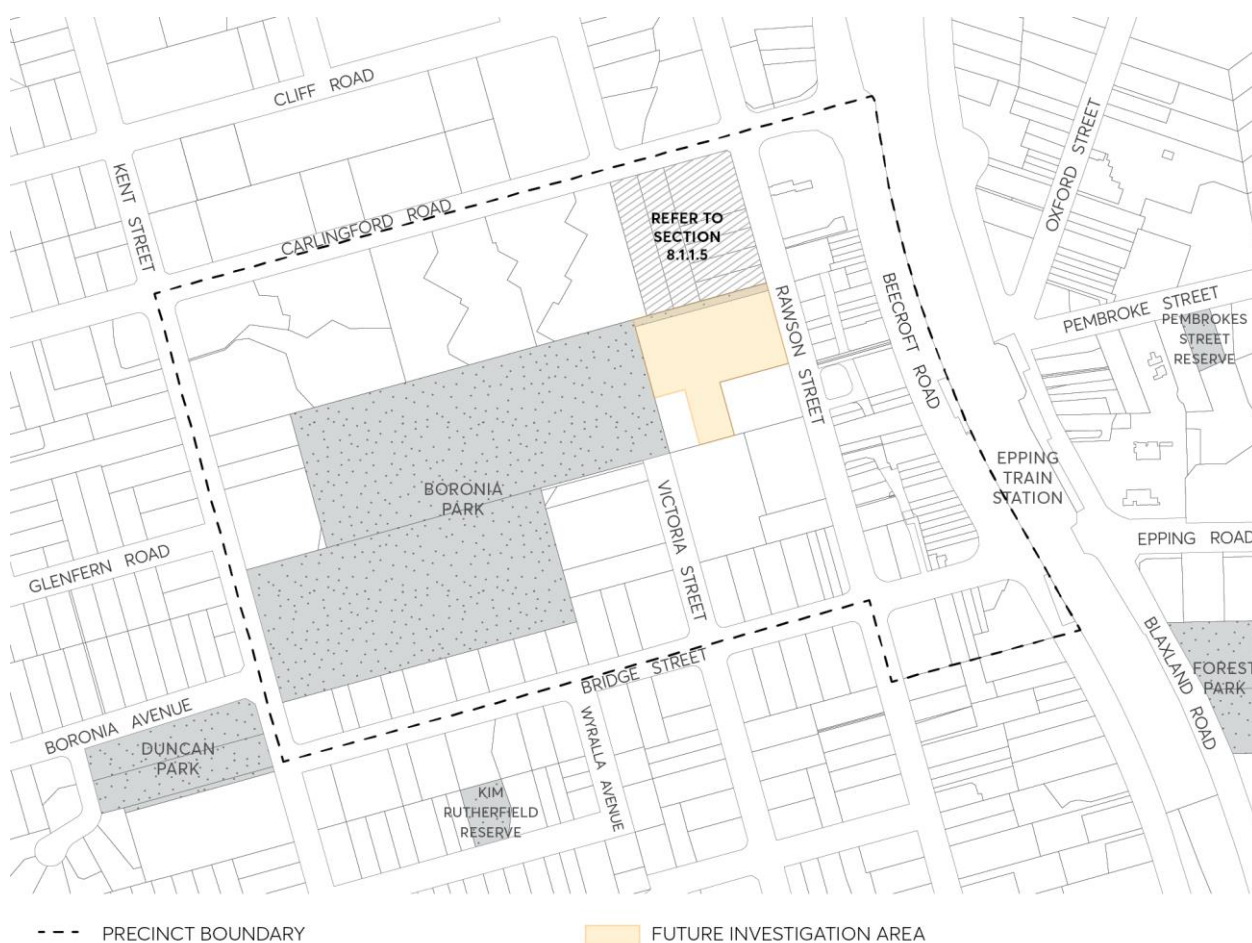


Figure 8.1.1.2 – Future Investigation Area

Controls

Note: Development must comply with the controls set out below and any relevant controls within this DCP. Where there is any inconsistency Part 8 will prevail.

Pedestrian Connections and Laneways

- C.01 New and existing pedestrian connections, roads and laneways should be enhanced and provided in accordance with Figure 8.1.1.1.3.
- C.02 New road connections, cycle ways and laneways should be provided to improve through block connections, extend existing connections and improve the interface to Epping Railway Station.
- C.03 New pedestrian connections are to have a minimum width of 6 metres and are to be consistent in width for their full length. Where pedestrian connections are proposed to be shared with vehicles, these are to have a minimum width of 6.4 metres.
- C.04 Pedestrian through site links are to:
- a) have active ground floor frontages and encourage outdoor dining opportunities;
 - b) be legible and direct throughways for pedestrians, clear of obstructions (including columns, stairs and escalators);
 - c) provide public access 24 hours, 7 days per week;
 - d) be open to the air above and at each end however, Council may consider an 'arcade style' walkway where this replaces an existing arcade; and
 - e) have signage at the street entries indicating public accessibility and the street to which the through site link connects.
- C.05 Laneways and through-site links should be dedicated to Council.
- C.06 Where an existing pedestrian link provides access between Beecroft Road and Rawson Street, any re-development of such land is to incorporate a 24-hour pedestrian link between these streets.



Figure 8.1.1.1.3 – Pedestrian Connections and Laneways

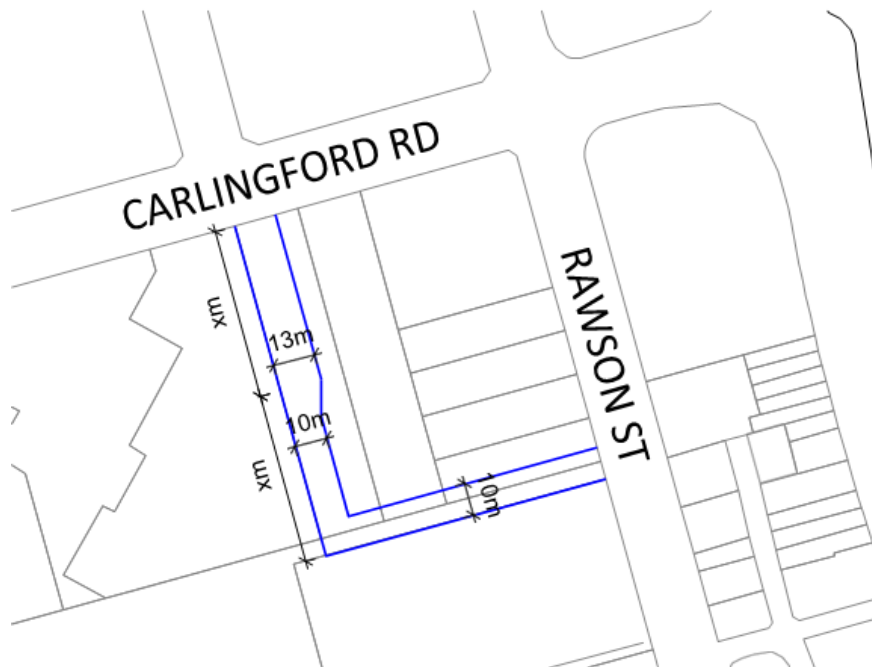


Figure 8.1.1.1.4 – New Vehicular Laneway

Landscaping & Public Domain

- C.07 The Town Centre Core is to complement the existing landscaped character of the surrounding area. To achieve this, podium planting, particularly along the street edge of a podium, is to be provided as part of development on sites identified at Figure 8.1.1.5.
- C.08 Where podium planting is required, the planting is to be provided as illustrated at Figure 8.1.1.6, with the appropriate soil depth and width as illustrated at Figure 8.1.1.7.
- C.09 Existing street trees are to be protected and maintained. New developments are to provide **new street trees along the street frontage in line with Council's specifications as detailed on a Public Domain Plan.**
- C.10 A Public Domain Plan is to be provided for all new developments, detailing upgrades to the surrounding public domain network, including foot paving, street tree planting, street furniture and the like. Details shall be in keeping with Council's [Parramatta Public Domain Guidelines](#) and finishes/street trees specified should be in line with Council's preferred palette for Epping Town Centre.
- C.11 Paving at ground level within private land adjoining the public domain shall be consistent with the treatment provided within the public domain and should appear as an extension of the public domain.



Figure 8.1.1.5 – Planting required on podium

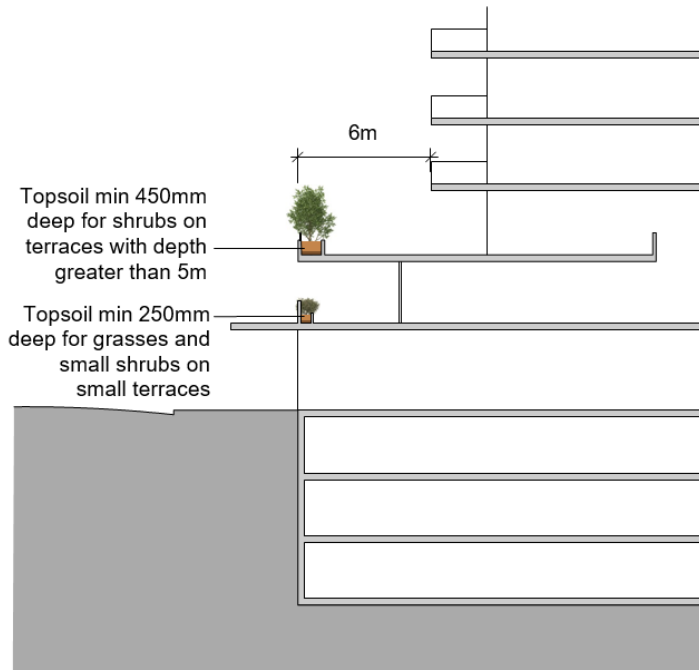


Figure 8.1.1.1.6 – Podium planting provision

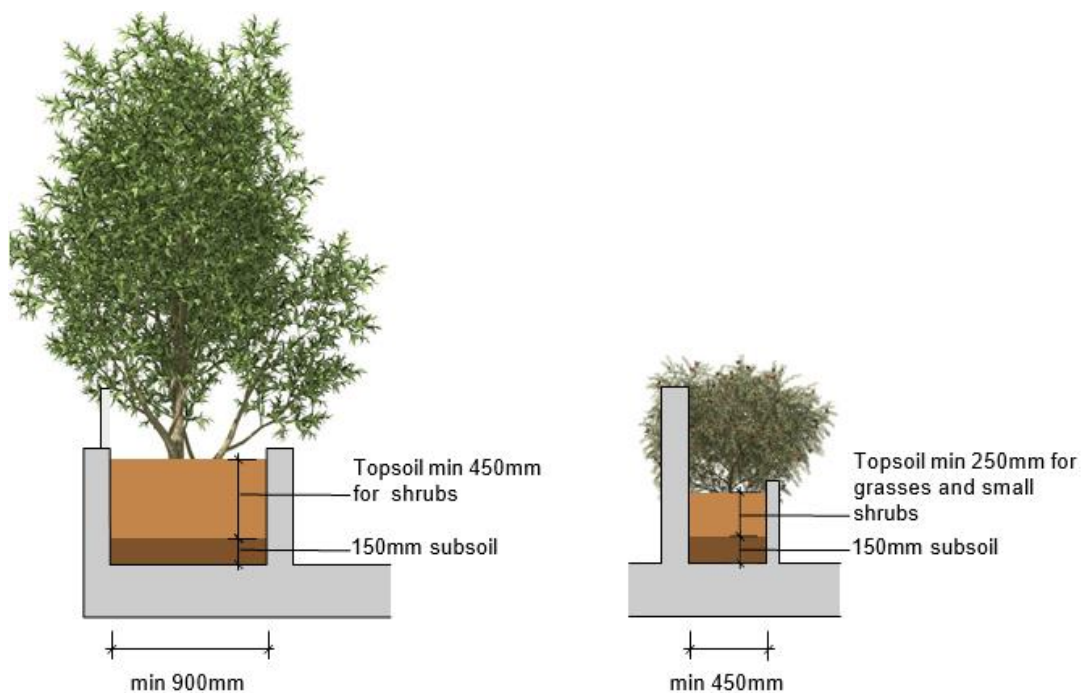


Figure 8.1.1.1.7 – Soil depth and width

Building Height

- C.12 The height of buildings in storeys should not exceed that corresponding the maximum Parramatta LEP 2023 height in metres under Table 8.1.1.1.1.

Table 8.1.1.1.1 – Maximum storey height

Zone (Epping Town Centre)	Height in metres under LEP	Maximum number of storeys
R4 High Density Residential	11	3
E1 Local Centre	18	5
	48	15
	72	22

Note: Refer to Section 8.1.1.5.1 for the building height controls for 53-61 Rawson Street, Epping.

Building Setbacks

Front Setbacks

- C.13 Basement car parking, podium and tower building setbacks are to be in accordance with Figure 8.1.1.1.8 and indicative sections provided at Figure 8.1.1.1.9, **Error! Reference source not found.** and Figure 8.1.1.1., and any additional controls set out below.
- C.14 Where identified on Figure 8.1.1.1.8 and Figure 8.1.1.1.9, the 2 metre ground level setback area along Rawson Street and the 1.5 metre ground level setback area along Beecroft Road, High Street and Bridge Street should be treated as an extension to the footpath to enhance pedestrian amenity and improve opportunities for outdoor dining and an active, lively street. The gradients, finished levels and treatment of this setback area are to match the adjoining footway and detailed on the Public Domain Plan. Access should be made available 24 hours per day, 7 days per week.
- C.15 Podiums are to be a maximum of 2-3 storeys in height. Podiums of 3-5 storeys may be considered along Beecroft Road and at 53-61 Rawson Street.
- C.16 Where the building alignment is setback from the street alignment, balconies or architectural elements may project up to 600mm into front building setbacks, provided the cumulative width of all balconies at that particular level totals no more than 50% of the horizontal width of the building façade.
- C.17 Podium setbacks to new and existing laneways and road extensions are shown in Figure 8.1.1.1.8 and Figure 8.1.1.1.9. Podium setbacks can be aligned to the laneway except where accommodating outdoor dining opportunities or where building separation requirements of the Apartment Design Guide seeks increased setbacks.

Note: The building setbacks to existing and desired laneways must ensure that the minimum widths specified in C.03 and C.04 are achieved. Further separation may be required for appropriate building separation between residential uses.

Side setbacks

- C.18 For the commercial/retail component of development within the E1 Local Centre Zone, a zero side setback is permissible for a building height of up to three storeys. That component of the development above 3 storeys is to be setback a minimum of 6 metres from the side boundary.
- C.19 In all circumstances residential components of a development must comply with the minimum building separation distances prescribed under the Apartment Design Guide.

Rear setbacks

- C.20 Development should be setback a minimum of 6 metres from the rear boundary. Within the E1 Local Centre Zone, a zero rear setback may be considered for a maximum height of 3 storeys where a non-residential use adjoins another non-residential use.
- C.21 In all circumstances, residential components of a development must comply with the minimum building separation distances prescribed under the Apartment Design Guide.

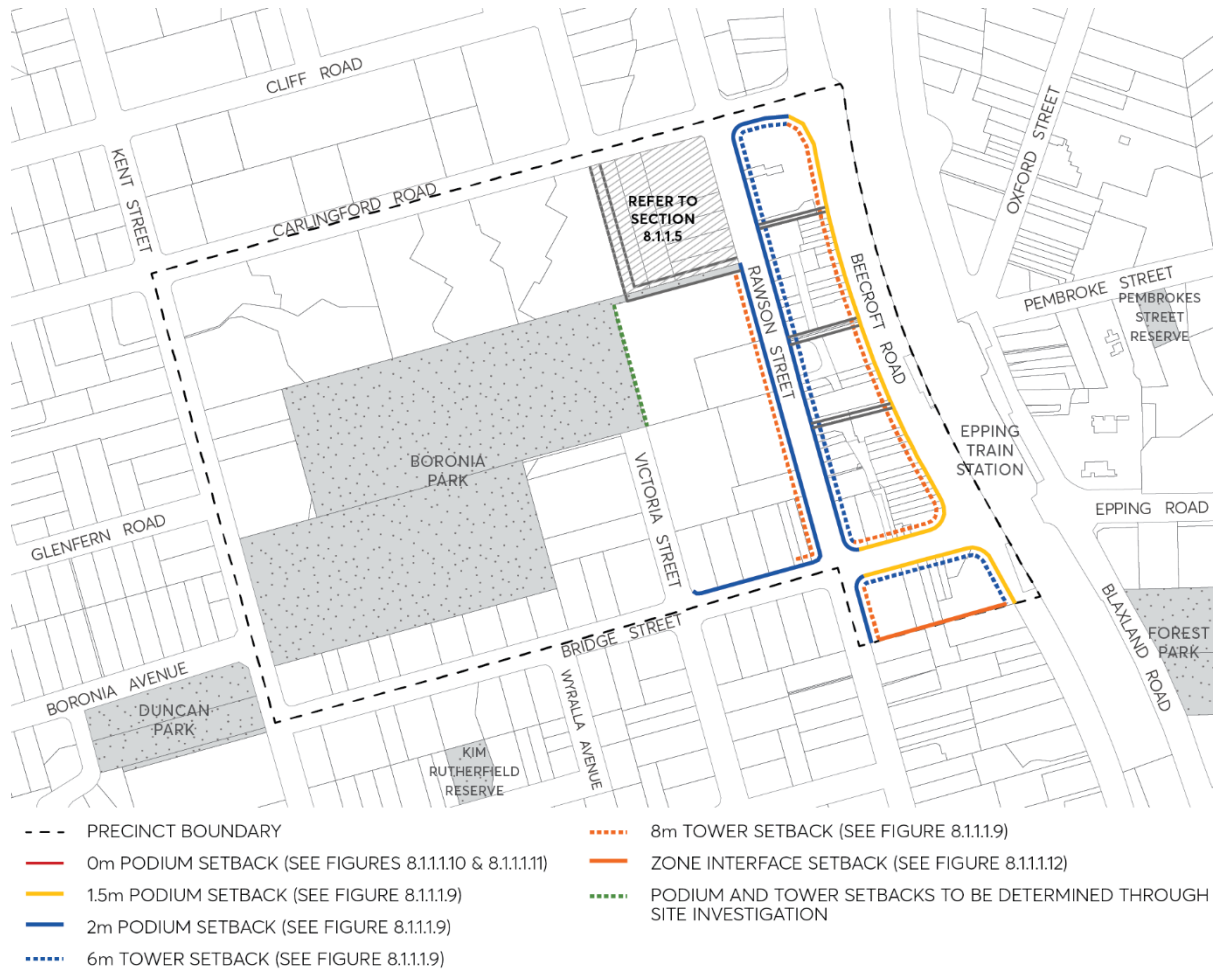


Figure 8.1.1.1.8 – Setbacks

Building bulk and depth

- C.22 Building floor plates above the podium are not to exceed the following:
- For residential development, 700m² of gross floor area and 900m² inclusive of balconies, external walls, internal voids etc; or
 - For commercial development, 1,200m² of gross floor area.
- C.23 Floor plates are to be limited to a maximum dimension of 40 metres.



Figure 8.1.1.9 – Setbacks to Rawson Street and Beecroft Road

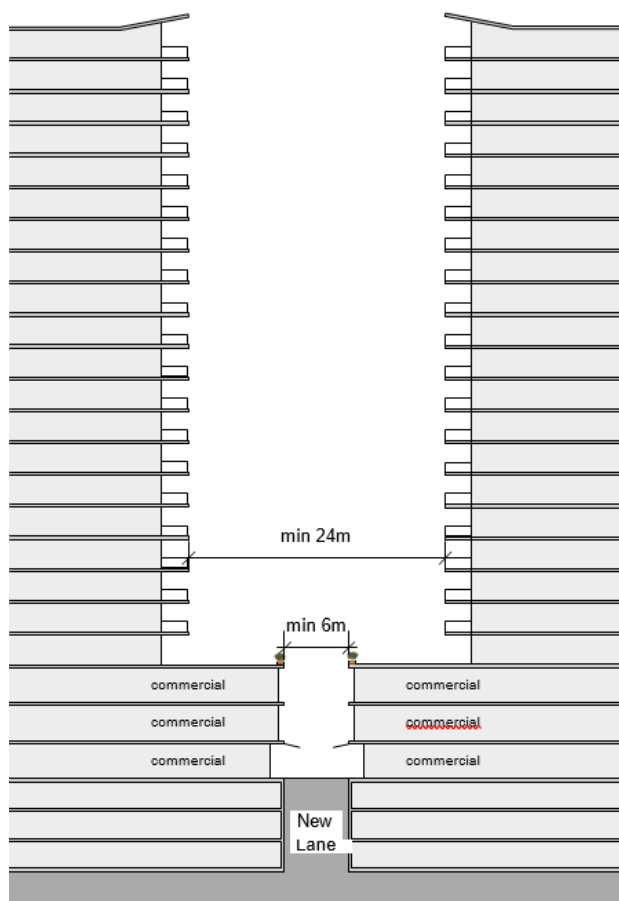


Figure 8.1.1.10 – Setbacks to New Lane connecting Rawson Street to Beecroft Road

Minimum site area, frontage and amalgamation

- C.24 Site amalgamation is encouraged to realise the development potential envisaged. For development exceeding six storeys in height, development sites must have a minimum area of 2,000m² with a minimum street frontage of 40 metres.
- C.25 Site amalgamation patterns are to ensure through block amalgamation, particularly between Beecroft Road and Rawson Street.
- C.26 Isolation of small sites may result in poor built form outcomes. The applicant needs to demonstrate how small lots (less than 2,000m²) will not be isolated by new development. Refer to Section 3.6.1 of this DCP – Site Consolidation and Development on Isolated Sites.

Development along Beecroft Road

- C.27 Development to Beecroft Road should incorporate up to four levels of retail and/or commercial floor space fronting Beecroft Road, to ensure the provision of employment space within the Town Centre and act as a noise buffer between the Railway Line, Beecroft Road and residential development to the west.

- C.28 Development along Beecroft Road and directly opposite Epping Railway Station is to consider the opportunity for a direct overpass connection between the development site and Epping Railway Station.
- C.29 The existing pedestrian bridge over Beecroft Road to the Railway Station is to be maintained, and allow pedestrians to access from Rawson Street through to the Railway Station.

Building Height Transition

- C.30 Development on sites that share a boundary with the R2 Low Density Residential Zone are to be a maximum height of 3 storeys within 15 metres of the shared boundary as shown in Figure 8.1.1.11.
- C.31 In all other cases, where adjoining sites have different height limits, the height transition requirements detailed in Section 2.4 – Building Form and Massing of this DCP are to be adhered to.

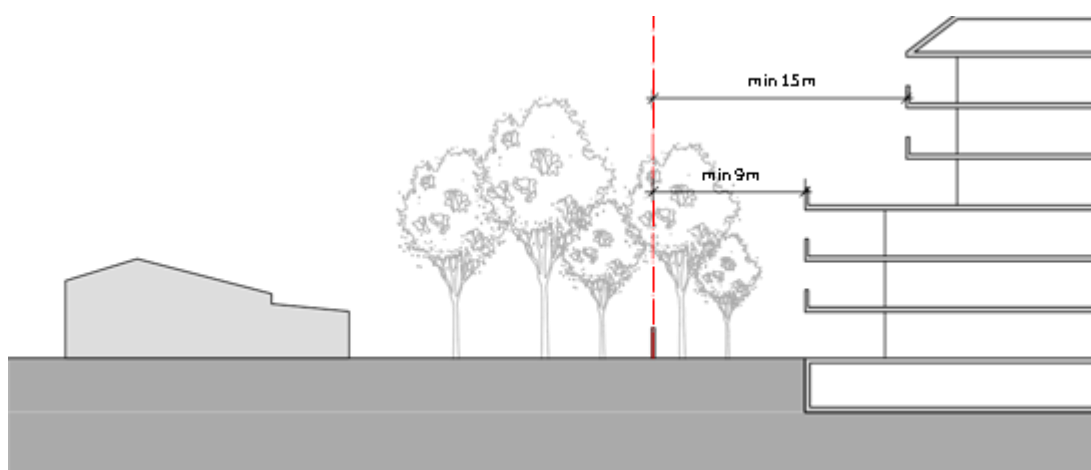


Figure 8.1.1.11 – Zone interface controls

Building Design

- C.32 Design of new buildings are to consider adjoining buildings, heritage buildings or buildings included within a Heritage Conservation Area in the in terms of:
- appropriate alignment and street frontage heights;
 - setbacks above street frontage heights;
 - appropriate materials and finishes selection;
 - façade proportions include horizontal or vertical emphasis; and
 - side and rear setbacks.

- C.33 Balconies and terraces should be provided, particularly where buildings overlook public spaces and on low rise parts of a building. Gardens on the top of setback areas of buildings are encouraged.
- C.34 Façades are to be articulated so that they address the street and add visual interest.
- C.35 External walls are to be constructed of high quality and durable materials and finishes with 'self-cleaning' attributes such as face brickwork, rendered brickwork, stone, concrete and glass. Materials and finishes with high maintenance costs, and those susceptible to degradation or corrosion are to be avoided. The use of lightness and colour of materials is to be used to minimise the impacts of massing and respect lower traditional scale.
- C.36 Opaque and blank walls for ground floor uses in the Town Centre Core are to be limited to a maximum of 30% of the street frontage.
- C.37 Buildings are to be designed to create streetscapes that are characterised by:
- a) Clearly defined edges and corners.
 - b) Architectural treatments that are interesting and that relate to the design and human scale of existing buildings.
 - c) Tall, slender buildings with massing and design that allows for light, separation and views between buildings.
- C.38 Special emphasis is to be given to the design of corner buildings, including consideration of how the building addresses its neighbouring buildings, dual frontages and its turning of the corner, and incorporation of distinctive features.

Design Quality

- C.39 New buildings within the Town Centre Core are to provide for high quality urban design outcomes. Development Applications for all new buildings within the Town Centre Core are to be referred to the Design Excellence Advisory Panel for review.
- C.40 A Design Competition process is encouraged for all developments greater than 45 metres in height.

Active street frontages and address

- C.41 Active frontages are required as identified at Figure 8.1.1.12. Active frontages are those which have a direct street entry to retail, commercial, or (to minimal extent) residential lobbies.
- C.42 Active frontages uses are to include one or a combination of the following at street level:
- a) Entrances to retail.
 - b) Shop fronts.
 - c) Glazed entries to commercial and residential lobbies occupying less than 50% of the street frontage to a maximum 6 metres of frontage. Glazing is to be clear and not tinted.

- d) Active office uses such as reception, if visible from the street.
 - e) Public building if accompanied by an entry.
 - f) Café or restaurant if accompanied by an entry to the street.
 - g) Other non-residential uses such as business premises.
- C.43 Active frontage controls:
- a) Active frontages are to be at the same general level as the footpath and be accessible directly from the street.
 - b) Where active frontages are not required, non-residential uses at the ground floor should provide clear glazing to the street wherever possible.
 - c) Cafés and restaurants should consider providing openable shop fronts.
 - d) Retail, café and restaurant tenancies along streets to which active frontages are required are to have a width of 6-12 metres.
- C.44 The following street address controls apply to 'street address' frontages identified at Fi.
- a) Residential developments are to provide a clear street address and direct pedestrian access off the primary street front, to allow for residents to overlook surrounding streets.
 - b) On large development sites with multiple street frontages, entrances should be provided to each frontage if possible.
 - c) Provide direct 'front door' access from ground floor residential units.
- C.45 Outdoor dining is encouraged within the Town Centre core, particularly along Rawson Street, as identified at Figure 8.1.1.12. Refer to the City of Parramatta Council's Outdoor Dining Guidelines for more information relating to outdoor dining.
- C.46 Continuous awnings are to be provided where active frontages are required by Figure 8.1.1.12. Where active frontages are not required, awnings to street level commercial and retail developments are encouraged for weather protection and pedestrian amenity. New awnings should have the same height, or the average of, the two adjacent awnings.

Vehicle access

- C.47 Driveways should be:
- a) Provided from lanes and secondary streets rather than the primary street, wherever practical.
 - b) Located taking into account any services within the road reserve, such as power poles, drainage inlet pits and existing street trees.
 - c) Located a minimum of 10 metres from the perpendicular of any intersection of any two roads.
 - d) Designed so that vehicles can enter and leave in a forward direction without the need to make more than a three point turn.
 - e) Separated and clearly distinguished from pedestrian access.

- f) Located at least 1.5 metres from the side boundary with any public domain area, street, lanes or parks, with the setback to be landscaped.

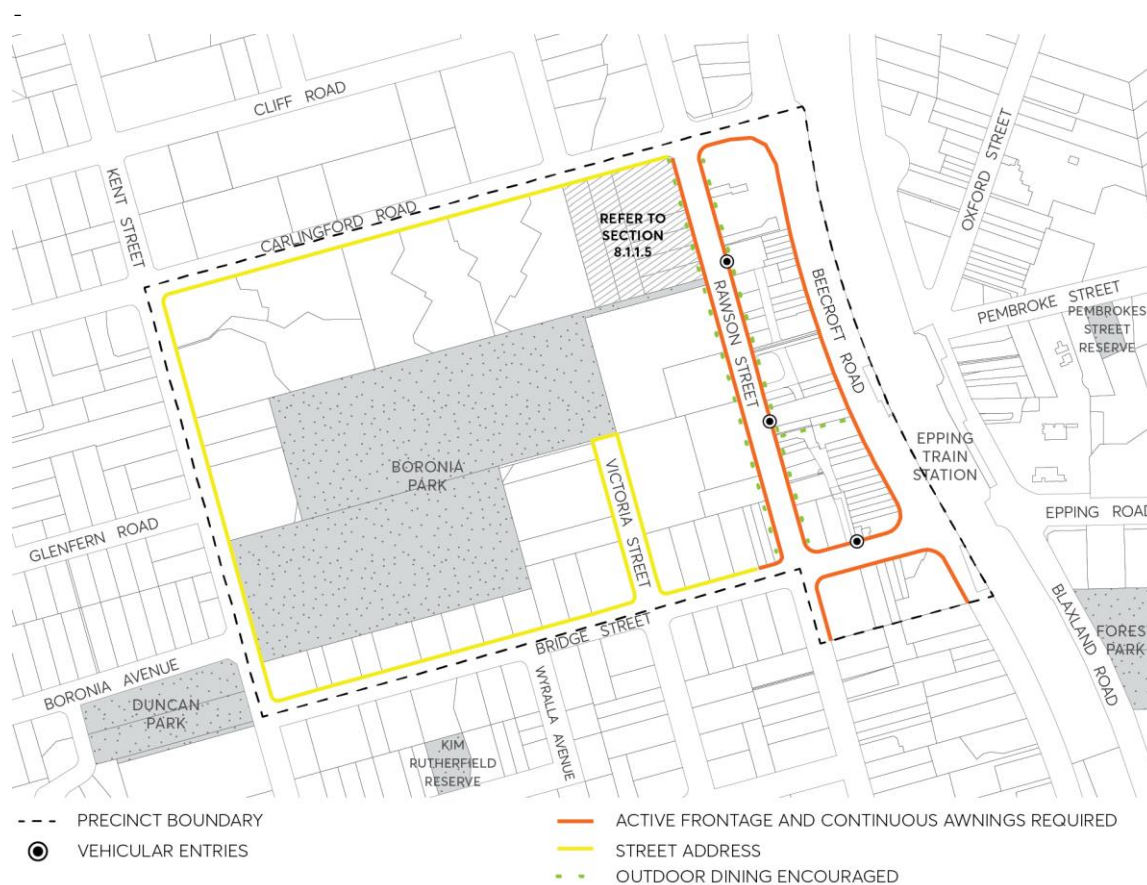


Figure 8.1.1.12 – Active frontages, street address, outdoor dining and vehicular entries

- C.48 Shared basements are encouraged to minimise the number of vehicular crossings.
- C.49 A maximum 3 vehicular access points should be provided off the eastern side of Rawson Street. Preferred vehicular access points are identified at Figure 8.1.1.1. Opportunities for amalgamated or shared vehicular entry points are also encouraged along the western side of Rawson Street.
- C.50 No new vehicular access points into a development site are permitted off Beecroft or Carlingford Roads. Any vehicular access required within Rawson Street should take into consideration the potential for shared basement access with adjoining sites.
- C.51 Any site on the western side of Rawson Street, that has two street frontages, is not to be accessed off Rawson Street.
- C.52 Vehicular crossing widths are to comply with AS 2890.1.
- C.53 Doors to vehicle access points are to be non-solid roller shutters or tilting doors fitted behind the building façade and to be of materials that integrate with the design of the building and contribute to a positive public domain.

Mixed use developments

- C.54 The ground floor of buildings within the E1 Local Centre Zone are to have a minimum floor to ceiling height of 3.6 metres. All retail and commercial floors above the ground floor are to have a minimum floor to ceiling height of 3.3 metres. The minimum floor to ceiling height for residential floors above the ground floor is 2.7 metres.
- C.55 Commercial service areas in mixed use developments, including loading docks and waste areas, are to be separated from residential access, service areas and primary outlook and must not be visible from the public domain.
- C.56 Within mixed use developments, residential entries and vertical circulation are to be clearly demarcated and separated from commercial entries and circulation. Residential entries should be clearly visible and directly accessible from the street or public domain.
- C.57 Provide security access controls to all entrances into private areas, residential lobbies, car parks and internal courtyards and open space.

Deep soil zones

- C.58 Deep soil zones shall be provided in accordance with Part 2 – Design in Context of this DCP.
- C.59 Locate basement car parking predominately under the building footprint to maximise opportunities for deep soil areas.
- C.60 For non-residential and mixed use developments, areas with soil depths of up to 1.2 metres should be provided in atria, courtyards and boundary setbacks.

Environmental management

- C.61 Wind mitigation:
- a) A Wind Effects Report is to be submitted with a Development Application for all buildings greater than 32 metres in height.
 - b) For buildings over 50 metres in height, results of a wind tunnel test are to be included in the Development Application documentation.

Safety and security

- C.62 The design and use of buildings is to promote active uses fronting public streets and places.
- C.63 Landscaping is to reinforce the public realm without secluding areas where surveillance is limited.
- C.64 The vehicle and pedestrian movement network is to be clearly delineated, including location of car parking near building entries, to minimise opportunities for conflict.
- C.65 Entrances to buildings should be well lit, clear and well defined.

Car Parking

- C.66 Car parking is to be provided below ground in basements within the E1 Local Centre and R4 High Density Residential Zones.
- C.67 Car parking for non-residential, multi-unit residential and mixed use developments is to be provided to the rates set out at Table 8.1.1.1.2. For other forms of development refer to the applicable rates are in Part 6 – Traffic and Transport of this DCP.
- C.68 In mixed use developments, residential parking should be secure and separated from parking allocated to the retail/commercial components of the development.

Table 8.1.1.1.2 – Parking Rates

Type	Rate	
Residential		
Studios, 1, 2 and 3+ bedroom apartments – on land within 800 metres of Epping railway station	Maximum Car Parking Rate per bedroom	
	Studio	0.4 spaces
	1	0.4 spaces
	2	0.7 spaces
	3 or more	1.2 spaces
Car parking can be averaged across the residential component of the development.		
Residential visitors – on land within 800 metres of Epping railway station	A minimum of 1 space per 7 dwellings	
Studios, 1, 2 and 3+ bedroom apartments – beyond 800 metres of Epping railway station	Maximum Car Parking Rate per bedroom	
	Studio	0.5 spaces
	1	0.75 spaces
	2	1 spaces
	3 or more	1.5 spaces
Car parking can be averaged across the residential component of the development.		
Residential visitors – on land beyond 800 metres of Epping railway station	A minimum of 1 space per 10 dwellings	
Accessible parking spaces	Medium and high residential density residential development (including component within mixed use development) – a minimum of 1 space for every adaptable/accessible unit, appropriately designed for use by people with disabilities. Each space must be allocated specifically to the adaptable/accessible unit. Accessible parking is to be designed in accordance with the requirements of relevant Australian Standards.	

Type	Rate
Car share spaces	A minimum of 1 space is to be allocated to car share for developments with 50 or more dwellings. If agreement with a car share provider is not obtained then the car share space is to be used for additional visitor parking until such time as a car share provider agreement is obtained.
Storage Areas within Car Parking Areas	<p>In medium/high density residential developments, each residential dwelling must have at least 10m³ of storage space provided. This can be provided within the car parking area only where it can be demonstrated that the storage area does not impede area allocated for car parking.</p> <p>Where storage space is provided adjacent to car parking areas or within designated car parking spaces, it shall not impede or reduce the area allocated for car parking requirements as set out in the AS 2890 Parking Facilities series, including parking for bicycles and motor cycles.</p>
Retail and commercial	
Retail (including cafés, restaurants and the like) – on land within 800 metres of Epping railway station	Maximum of 1 space per 30m ² of gross floor area
Commercial (including medial and professional consulting) – on land within 800 metres of Epping railway station	Maximum of 1 space per 50m ² of gross floor area
Accessible parking spaces	<p>Commercial – Minimum of 1-2% of all spaces to be provided as readily accessible spaces, appropriately designed for use by people with disabilities.</p> <p>Accessible parking is to be designed in accordance with the requirements of relevant Australian standards.</p>
Motorcycle parking	<p>Buildings with less than 25 car parking spaces – A minimum of one motor cycle space is to be provided as separate parking for a motor cycle.</p> <p>Buildings with more than 25 car parking spaces - An area equal to a minimum of one motor cycle space is to be provided as separate parking for motor cycles for every 25 onsite car parking spaces provided, or part thereof.</p> <p>Each motorcycle parking space is to be designated and located so that parked motorcycles are not vulnerable to being struck by a manoeuvring vehicle.</p>

Type	Rate
Bicycle retail/commercial parking	<p>Bicycle parking for tenants and visitors is required at a minimum rate of 1 bicycle space per 200m² commercial/retail gross floor area or part thereof. Secure bicycle spaces for tenants can be provided individually (per tenancy) or collectively for the use of all tenants within a designated area.</p> <p>Visitor bicycle parking should be provided close to the street entrance of a commercial or mixed use development in accordance with <i>Safer by Design</i> principles and be appropriately designated. Council's consent will be required where visitor bicycle spaces are proposed on Council's footpath.</p> <p>Bicycle parking and access should ensure that potential conflict with vehicles are minimised. Bicycle parking should be designed in accordance with AS 2890.3 Parking Facilities – Bicycle Parking Facilities.</p>
Storage Areas within Car Parking Areas	<p>Where storage space is provided adjacent to car parking areas or within designated car parking spaces, it shall not impede or reduce the area allocated for car parking requirements as set out in the AS 2890 Parking Facilities series, including parking for bicycles and motor cycles.</p>

- C.69 The number of car parking spaces currently provided on-site in connection with the existing use shall not be reduced as a result of any new development.
- C.70 Applications that depart from the on-site parking rate specified in Table 8.1.1.1.2 above must be accompanied by a Car Parking Demand Assessment demonstrating the justification for any departure from parking rates and addressing at minimum the following matters:
- a) Any relevant parking policy.
 - b) The availability of alternative car parking in the locality of the land, including:
 - i. efficiencies gained from the consolidation of shared car parking spaces on the same site,
 - ii. public car parks intended to serve the land,
 - iii. extent of existing on-street parking in non residential zones,
 - iv. extent of existing on-street parking in residential zones,
 - v. the practicality of providing car parking on the site, particularly for constrained development sites,
 - vi. any car parking deficiency associated with the existing use of the site,
 - vii. local traffic management in the locality of the site,
 - viii. the impact of fewer car parking spaces on local amenity, including pedestrian amenity and the amenity of nearby residential areas,

- ix. the need to create safe, functional and attractive parking areas,
 - x. access to or provision of alternative transport modes to and from the land, and
 - xi. the character of the surrounding area and whether reducing the car parking provision would result in a quality/positive urban design outcome.
- C.71 Before granting approval to depart from on-site parking rates specified in Table 8.1.1.1.2, Council will consider the Car Parking Demand Assessment and any other relevant planning consideration.
- C.72 For residential flat buildings within 800 metres of Epping railway station, a condition of consent will be imposed by the consent authority requiring the following restrictions to be placed on the property title prior to the issue of the Occupation Certificate:
- a) Apartment owners and tenants are excluded from participating in any future Council residential parking permit scheme; and
 - b) Car share car spaces cannot be reallocated as parking spaces for residents or as visitor parking.
- C.73 For residential flat buildings within 800 metres of Epping railway station, a condition of consent will be imposed by the consent authority requiring a Travel Plan to be provided to the satisfaction of the City of Parramatta Council prior to the release of the Construction Certificate. A Travel Plan is a package of measures designed to reduce car trips and encourage the use of sustainable transport. It must include, at the minimum:
- a) Analysis on the existing policy context.
 - b) Analysis on the existing transport conditions.
 - c) Objectives and targets.
 - d) Methods for encouraging modal shift which is to include at the minimum:
 - i. Strategies: these focus on managing car use, promoting public transport, cycling and walking and other mechanisms, for example, a Transport Access Guide.
 - ii. Actions: this spells out the modal shift mechanisms, for example, reduced car parking rates, car sharing, car pooling and sales of car parking spaces.
 - iii. Targeted audience: this describes the audience at which the Strategies and Actions are targeted, for example, residents, visitors, employees and business owners.
 - iv. Timeline: an indication of when the action is delivered, for example, prior to or upon occupation, on-going, etc.
 - v. Responsibility: this outlines the responsible body, for example, the proponent, Council, Building Manager, Residents, Travel Plan Coordinator, etc.
 - e) Management and Monitoring of the Travel Plan.

8.1.1.2 EPPING TOWN CENTRE

[No amendments]

8.1.1.3 EPPING AREAS – RESIDENTIAL DEVELOPMENT

[No amendments]

8.1.1.4 EPPING AREAS – BUSINESS DEVELOPMENT

[No amendments]

8.1.1.5 EPPING AREAS – MIXED-USE DEVELOPMENT

In addition to the general provisions set out in Section 8.1.1.1 EPPING CENTRAL, the following specific provisions apply to specific land zoned E1 Local Centre as identified in this Section. This Section should be read in conjunction with Part 4 – Non-Residential Development and Part 3 – Residential Development of this DCP. To the extent of any inconsistencies, the specific provisions within this Section shall prevail.

8.1.1.5.1 53 - 61 RAWSON STREET, EPPING PRECINCT

This Section applies to the site bounded by Rawson Street, Carlingford Road and adjoining sites in Epping. The subject site is illustrated in Figure 8.1.1.5.1.1.

The site comprises 3 individual land parcels as follows: 53 Rawson Street, Epping (Lots 4-7 in DP 19329 and Lots 8-9 in DP 975578) and 61 Rawson Street (Lot 1 in DP 71071).



Figure 8.1.1.5.1.1- Land application map

This DCP establishes principles, objectives and controls to be interpreted during preparation and assessment of development applications and supports the objectives of the LEP.

In addition to general objectives listed in Part 8 of this DCP, specific objectives of this site are identified below and within each section of this site-specific DCP.

Objectives

- O.01 Reinforce the role of the site as a key retail and commercial destination.
- O.02 Provide a mix of residential and commercial uses to support high levels of activation within the site and to the surrounding streetscape.

Public Domain and Publicly Accessible Open Space

Objectives

- O.01 Provide well-considered publicly accessible open space areas that support wayfinding, legibility and through-site connections for residents and visitors.
- O.02 Appropriately manage vehicular and pedestrian access between Carlingford Road, Rawson Street and Boronia Park.

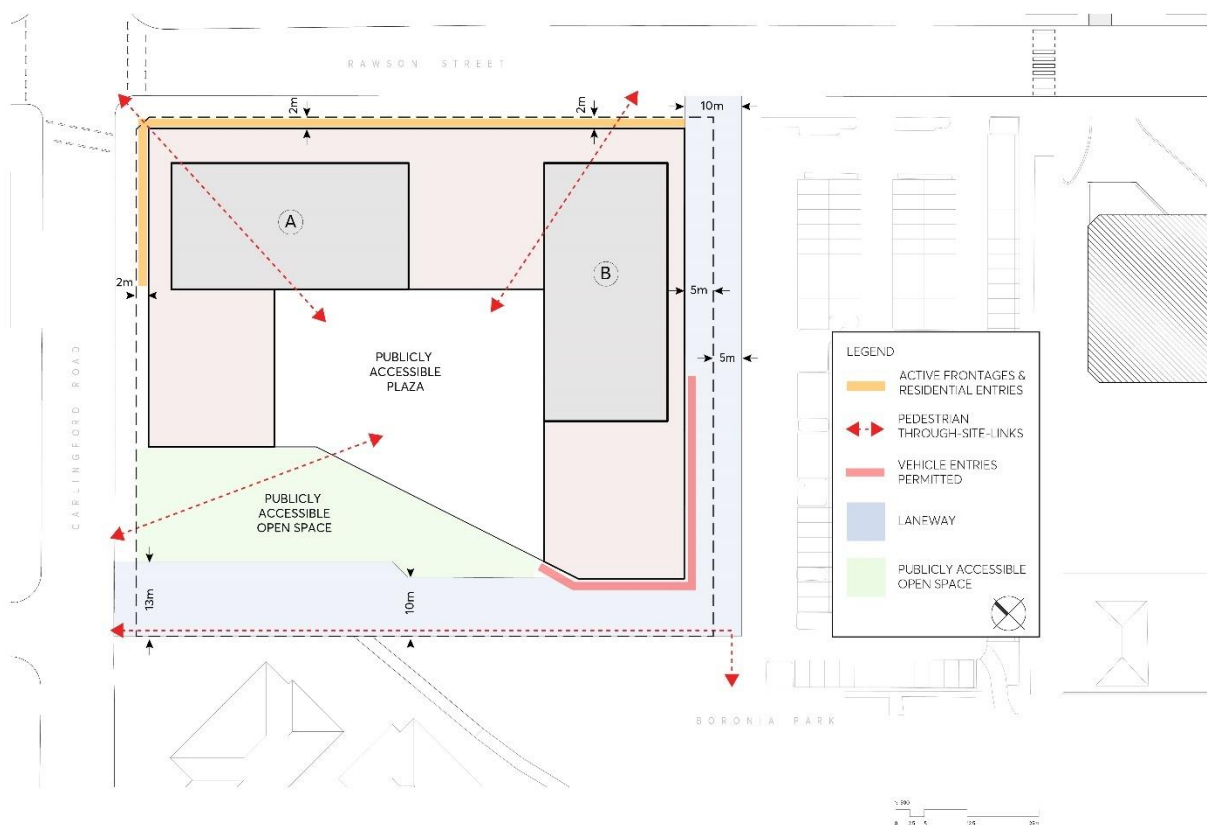


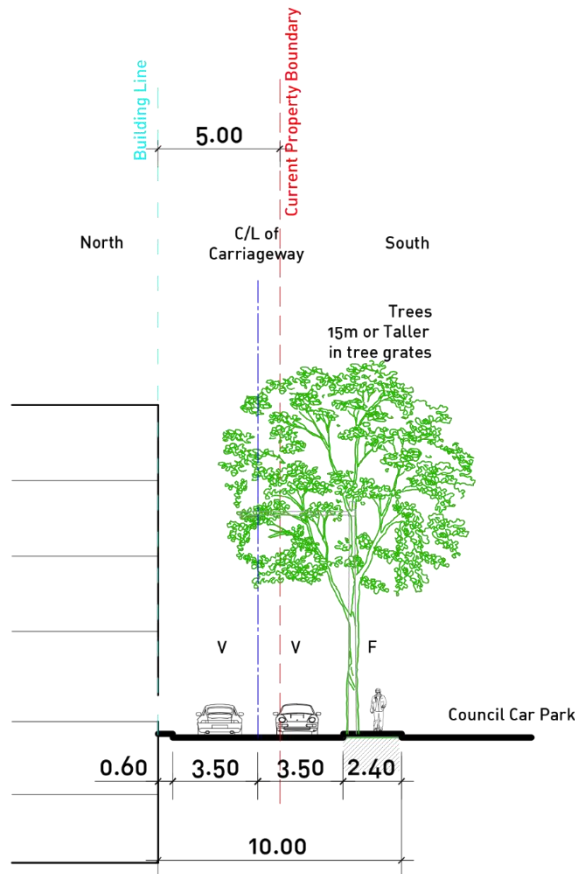
Figure 8.1.1.5.1.2 – Indicative ground floor layout

Controls

- C.01 Public domain and publicly accessible open space shall be generally in accordance with Figure 8.1.1.5.1.2 noting that alternative options will be considered. This includes the central plaza, a widened footpath along Rawson Street, a minimum 10m wide laneway, and the publicly accessible open space area in the north-west portion of the site.
- C.02 The designs of the public domain and publicly accessible open spaces are to:
- a) Incorporate a palette of high-quality design treatments and finishes to facilitate active and passive recreation with consideration to Council public domain guidelines.
 - b) Incorporate an awning to street frontages.
 - c) Be accessible 24 hours a day seven days a week.
 - d) Include clear, accessible and safe links between Rawson Street, Carlingford Road and Boronia Park.
 - e) Provide visual links from within the site to Rawson Street and Carlingford Road.
 - f) Incorporate principles of Crime Prevention through Environmental Design to support safety and security of users.
 - g) Deliver a consistent footpath width and treatment along Rawson Street and Carlingford Road.
 - h) Be designed to allow universal access.
- C.03 The design of the central plaza is to:
- a) Include a combination of hard surfaces and landscaping.
 - b) Provide outdoor spaces and seating areas that are protected from the elements (i.e., sun, wind, rain impacts) to allow for use all-year round.
 - c) Provide activated frontages and outdoor dining opportunities.
- C.04 The design of the publicly accessible open space area in the north-western corner of the site is to:
- a) Prioritise pedestrians over vehicles and ensure the safety of pedestrians.
 - b) Support urban tree canopy cover.
 - c) Provide deep soil zones on site.
 - d) Include Stormwater management treatments and a combination of indigenous, native and exotic vegetation.
 - e) Improve pedestrian connections from Carlingford Road to Boronia Park.
 - f) Provide passive recreation opportunities.
 - g) Clearly delineate public and private uses.
- C.05 The laneway shall be delivered generally in accordance with Figures 8.1.1.5.1.2, - 8.1.1.5.1.4 and is to be dedicated to Council. Alternative laneway configuration options can be considered.

C.06 The laneway shall comprise:

- a) Minimum width of 10m, with:
 - i. Two 3.5m vehicular lanes in each direction,
 - ii. Minimum 2.4m wide footpath along the southern and western boundary to connect to Boronia Park,
 - iii. Trees in grates on the footpath,
 - iv. Kerb and gutter arrangement for the laneway.
- b) Prioritise the safety of pedestrians in the area using appropriate materials.
- c) Align with materials in the Parramatta Public Domain Guidelines.
- d) Provide adequate flooding mitigation measures including but not limited to:
 - a raised entrance crest to the basement level;
 - flood gates;
 - the first level with pedestrian access being located above the 1% AEP + freeboard and the PMF flood level (achieved in reference scheme);
 - residential floors being above the PMF flood level (achieved in reference scheme); and
 - a shelter-in-place strategy could be implemented if required.



LEGEND:

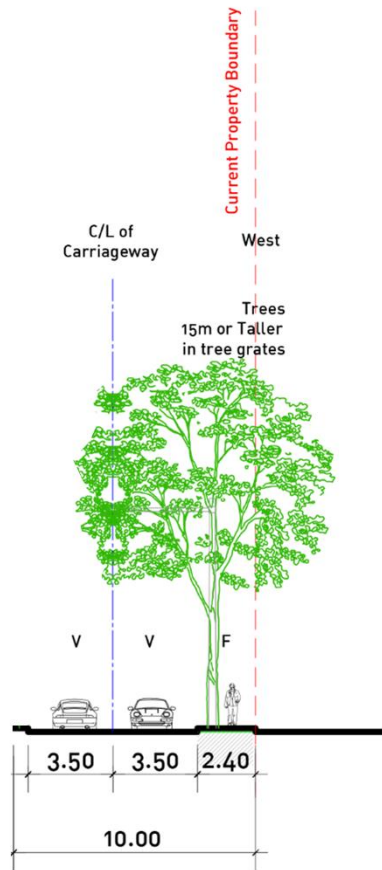
- F - FOOTPATH
- V - VEHICULAR LANE

Note:

- a. Light Poles are indicative and for locations only. Light pole design and type to be confirmed.

LANEWAY - SOUTHERN SIDE / TYPICAL

Figure 8.1.1.5.1.3 – Indicative Southern Laneway cross sections



LANEWAY - WESTERN SIDE
along publicly accessible open space

Figure 8.1.1.5.1.4 – Indicative Western Laneway cross sections

Podium and street wall

Objectives

- O.01 Ensure buildings are sited to consider site constraints, topography, and surrounding uses.
- O.02 Provide an activated ground floor retail interface with fine grain uses to enhance the character and function of Rawson Street as a high street, and turn the corner to Carlingford Road.
- O.03 Provide a street wall at an appropriate height to spatially define Carlingford Road and Rawson Street that is well proportioned, humanly scaled and finely grained, with facades of tactile material quality.
- O.04 Create visual interest and variety in the streetscape within an overall framework of consistency in the definition of the street and its character.

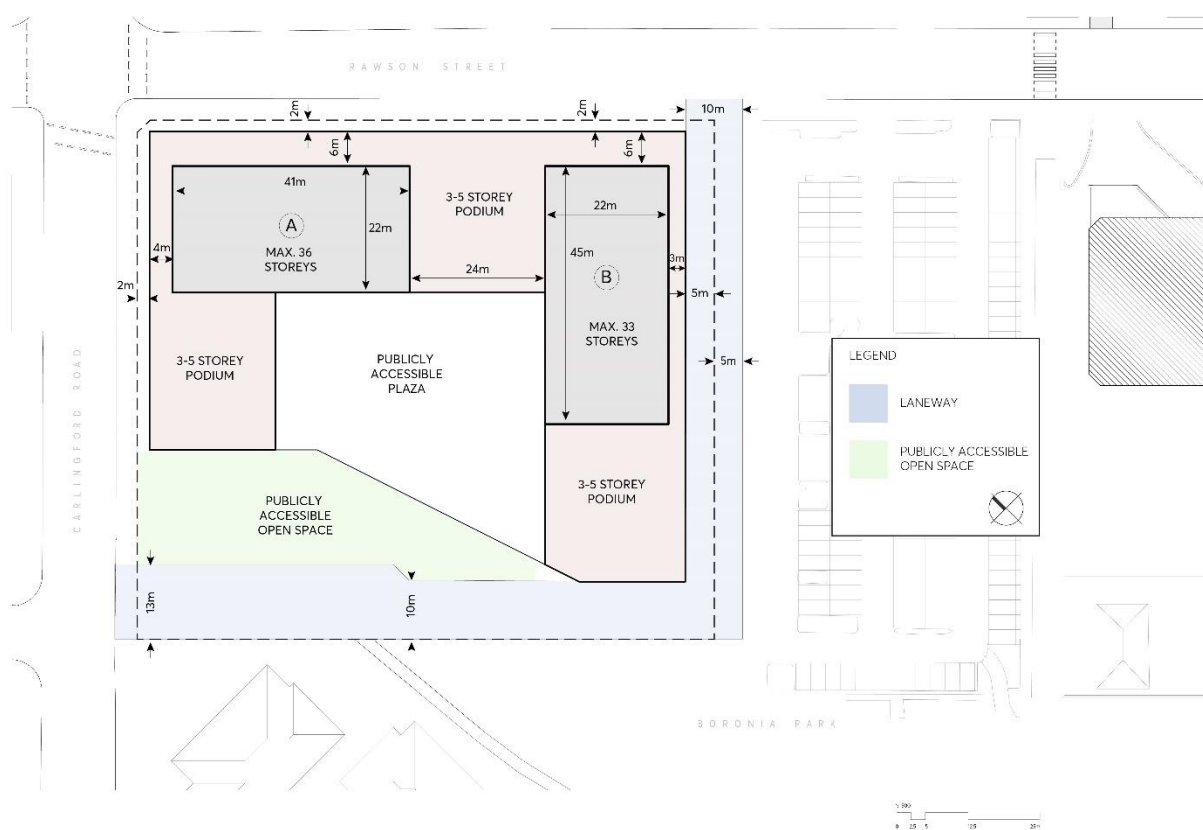


Figure 8.1.1.5.1.5 – Indicative site layout and built form

Controls

- C.01 The site layout and building envelope is to be generally consistent with Figure 8.1.1.5.1.5.
- C.02 Podiums should have a predominant street wall height of either 3 or 4 storeys along both Rawson Street and Carlingford Road, with a maximum of 5 storeys in line with the natural topography.
- C.03 Podiums should have a predominant street wall height of either 3 or 4 storeys along both Rawson Street.
- C.04 Podiums can comprise part 5 storeys on the western edge of the podiums due to the slope of the land in response to the natural topography.
- C.05 The height of the podium parapet is to be consistent across the development to provide clear definition of the podium, streets and laneways.
- C.06 Minimum floor to floor heights are to be provided as follows:
- Lower ground floor retail – 5.5m.
 - Ground floor retail – 5m.
 - Podium commercial - 4m.
 - Residential – 3.15m.

- C.07 Minimum setbacks are to be in accordance with Table 8.1.1.5.1.1 below and consistent with Figure 8.1.1.5.1.5:

Table 8.1.1.5.1.1 – Minimum podium and tower setbacks

Setback	Minimum Building Setback
Basement and lower ground (below finished ground level)	
Rawson Street	0m
Carlingford Road	0m
Southern Boundary	5m
Western Boundary	10m
Podium (from boundary)	
Rawson Street	2m
Carlingford Road	2m
Southern Boundary	5m
Western boundary	10m
Tower (from podium edge)	
Rawson Street	6m
Carlingford Road	4m
Southern podium edge	3m
Western podium edge	4m

- C.08 Podium setbacks should be built to align with the setbacks for their entire height and free of architectural treatments (including balconies, fins and the like.) to ensure a clear street wall.
- C.09 Residential access is to be provided with a legible, direct street address from either Rawson Street or Carlingford Road. A primary residential address must not be provided from the laneway or plaza.
- C.10 An active frontage should be provided at ground level along Rawson Street and part of Carlingford Road. These frontages should have individual commercial and residential entries which meet the street at existing ground level to minimise the need for vertical circulation.
- C.11 Active uses must be provided consistent with Figure 8.1.1.5.1.2, excluding necessary services and vehicular access. Street wall facades should:
- Be consistent in materiality and rich in detail.
 - Be of predominantly masonry character with no lightweight panel construction or curtain walling.

- c. Be articulated with depth, relief, and shadow on the street facade. A minimum relief of 150mm between the masonry finish and glazing face must be achieved.
 - d. Utilise legible architectural elements and spatial types - doors, windows, pilasters, sills, plinths, frame and infill, etc. - not necessarily expressed in a literal traditional manner.
 - e. Awnings are thoughtfully integrated into the design.
- C.12 Building services should be concealed and screened from the public domain.
- C.13 The street wall, particularly as articulated at the corner of Rawson Street and Carlingford Road, must be of solid architectural expression to ground the built form and frame the street.
- C.14 Lower ground and basement levels must adhere to the podium setbacks in Table 8.1.1.5.1.1 and be located within the building footprint.

Towers

Objectives

- O.01 Towers are set back above street walls as clearly distinct free-standing buildings to mitigate wind and urban heat impacts, enable views to the sky and protect amenity in streets and public places.
- O.02 Orient towers to optimise solar access, natural ventilation and privacy while minimising overshadowing to Boronia Park and adjoining land.
- O.03 Provide adequate separation between slender towers to allow for greater outlook from towers, and increased views to sky and solar access at ground level.
- O.04 Establish an appropriate transition in height to surrounding development and Boronia Park through building configuration, setbacks and architectural treatments.

Controls

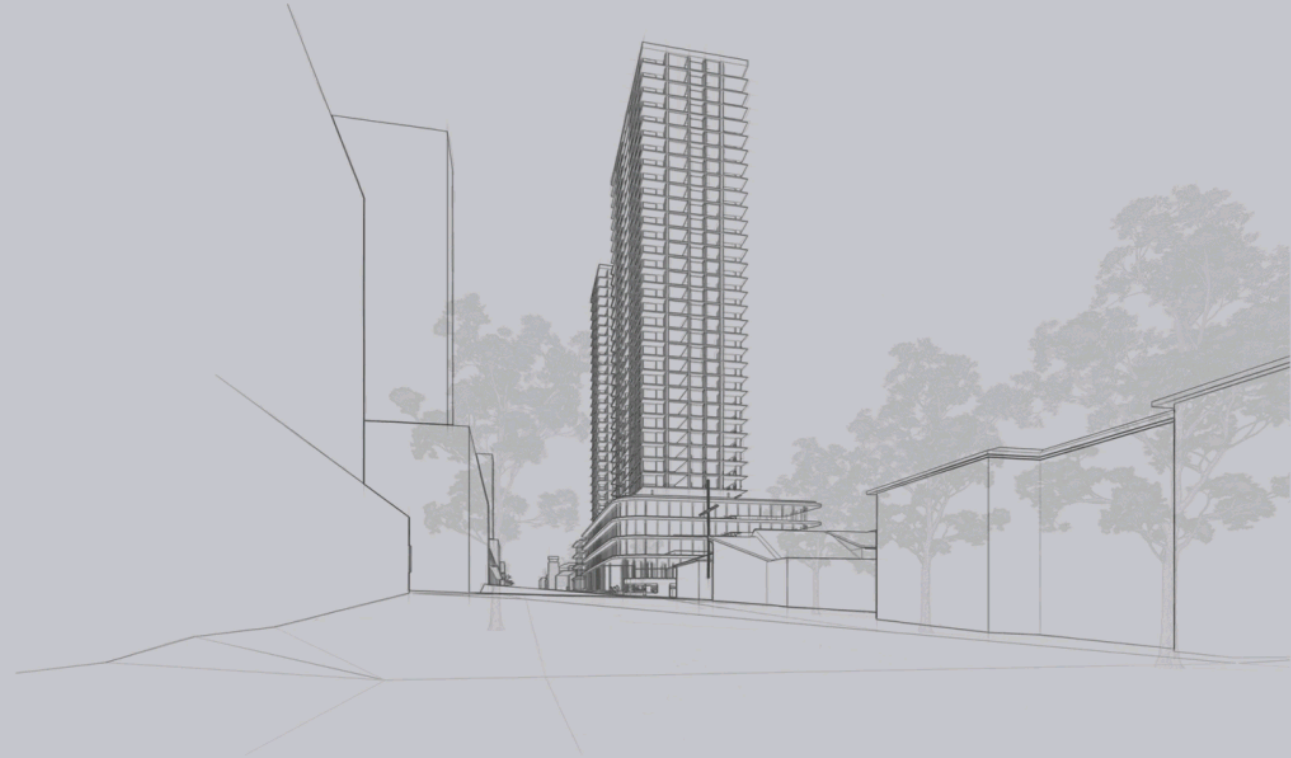
- C.01 Built Form is to be in accordance with the following height in storeys in Table 8.1.1.5.1.2.

Table 8.1.1.5.1.2 – Maximum building heights

53-61 Rawson Street	Maximum building height under the LEP (including 3m Plant)	Maximum number of storeys
Built form	RL 103m (22m)	5
	RL 197 (112m)	33
	RL 206 (122m)	36

- C.02 A maximum of two towers is permitted on the site.

- C.03 The maximum number of storeys shown in Table 8.1.1.5.2 includes the lower ground floor as a storey, which due to the slope of the land is partially recessed below natural ground level to the west. The maximum number of storeys shall exclude the roof plant level.
- C.04 The maximum height of buildings mapped for the site in PLEP 2023 includes a 3m height allowance for plant and is not to be used for the purpose of an additional residential and/or commercial storey.
- C.05 The towers are to be clearly defined as discrete built form elements above the podium, as expressed in massing and materiality.
- C.06 Any tower located directly adjacent to Carlingford Road should not be oriented parallel to Carlingford Road to minimise the residential amenity impacts of traffic noise and pollution.
- C.07 Where possible, towers should be set back from the central plaza to minimise wind and visual bulk impacts.
- C.08 Undercrofts or other interruptions of the street wall which expose the underside of the tower and amplify its presence on the street or in publicly accessible open spaces are not permitted.
- C.09 A maximum of one step in the built form between the street wall and tower shall be provided.
- C.10 Floorplates are to be limited to a maximum dimension of 45m.
- C.11 Building floorplates above the podium are not to exceed 750m² of gross floor area.



PLANNING PROPOSAL - ARCHITECTURAL DESIGN REPORT
EPPING TOWN CENTRE

APRIL 2024



ARCADIA





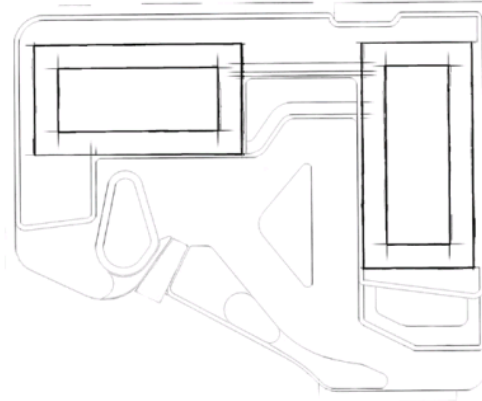
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10	Sustainability
11	Massing Studies
12	Architectural



1

Introduction



The Site

The site is prominently located on the northern edge, within the core zone of the Epping Town Centre Urban Activation Precinct. It's primary frontage faces east towards Rawson Street which is envisaged to become a thriving high street supporting a variety of activities including retail, food and beverage and retail.

The site also benefits from a north facing frontage to Carlingford Road, which is a main arterial road leading to Sydney's CBD via the M2.

Epping Rail Station lies only 100m from the southeast corner of the site .

Immediately adjacent to the west of the site sits Boronia Park, a 4.9 hectare park nestled within the surrounding residential development and edging Council's Rawson Street carpark.





EPPING TOWN CENTRE

oakstand

KANNFINCH

ARCADIA
edge
design.studio

GYDE
Consulting

7



3 Flood Plain

FLOOD STUDY - PLAN

A detailed flood study identified that the north west corner of the site is affected by flooding due to the stormwater channel passing under the site in this location.

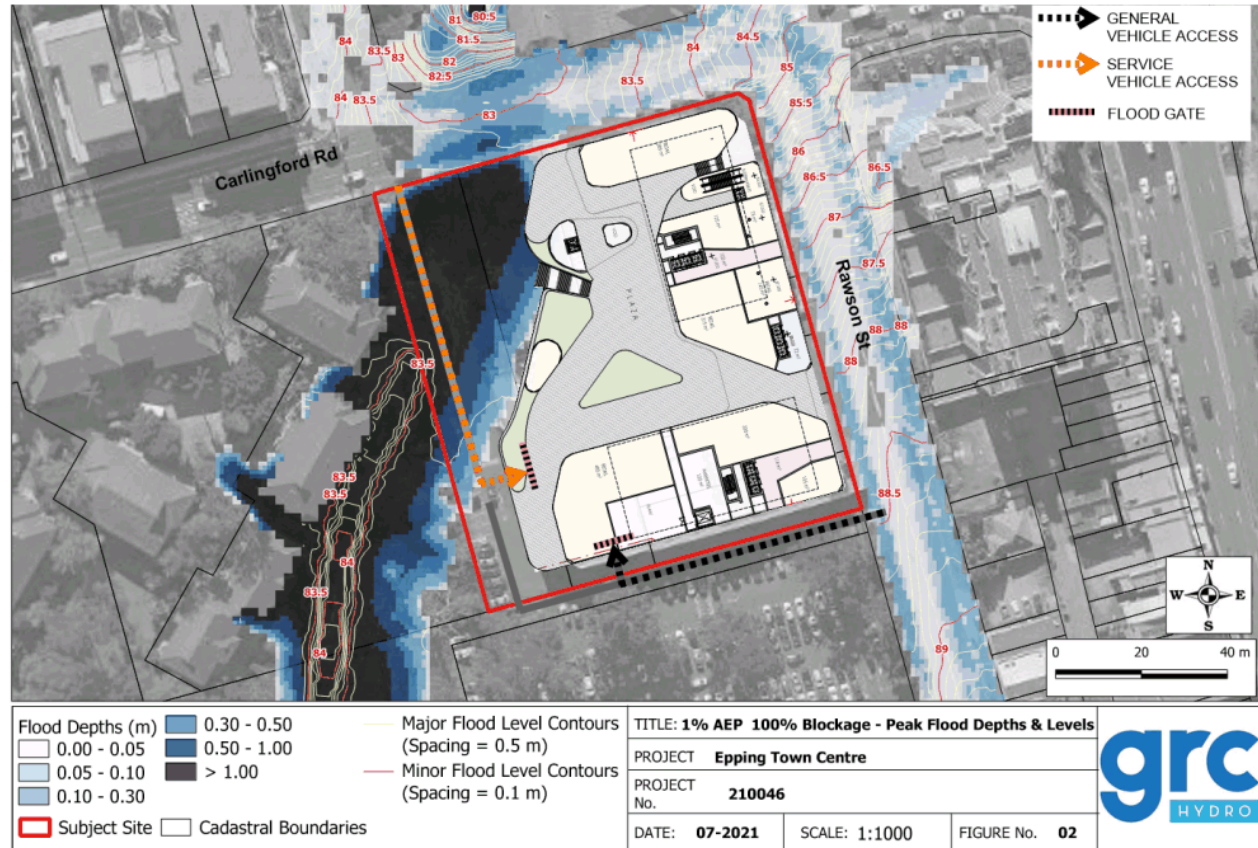
As a result the project has been designed with a reduction in the built footprint across the site with no built form within the flood impacted area of the site.

The general public vehicle access point to the site, from Rawson St via the proposed Council DCP service lane, has been located outside of the 1:100 year flood effected area.

Service vehicle access is proposed from Carlingford Rd via the proposed western Council DCP service lane,

All vehicle entries are proposed to be fitted with flood gates to manage the potential PMF events.

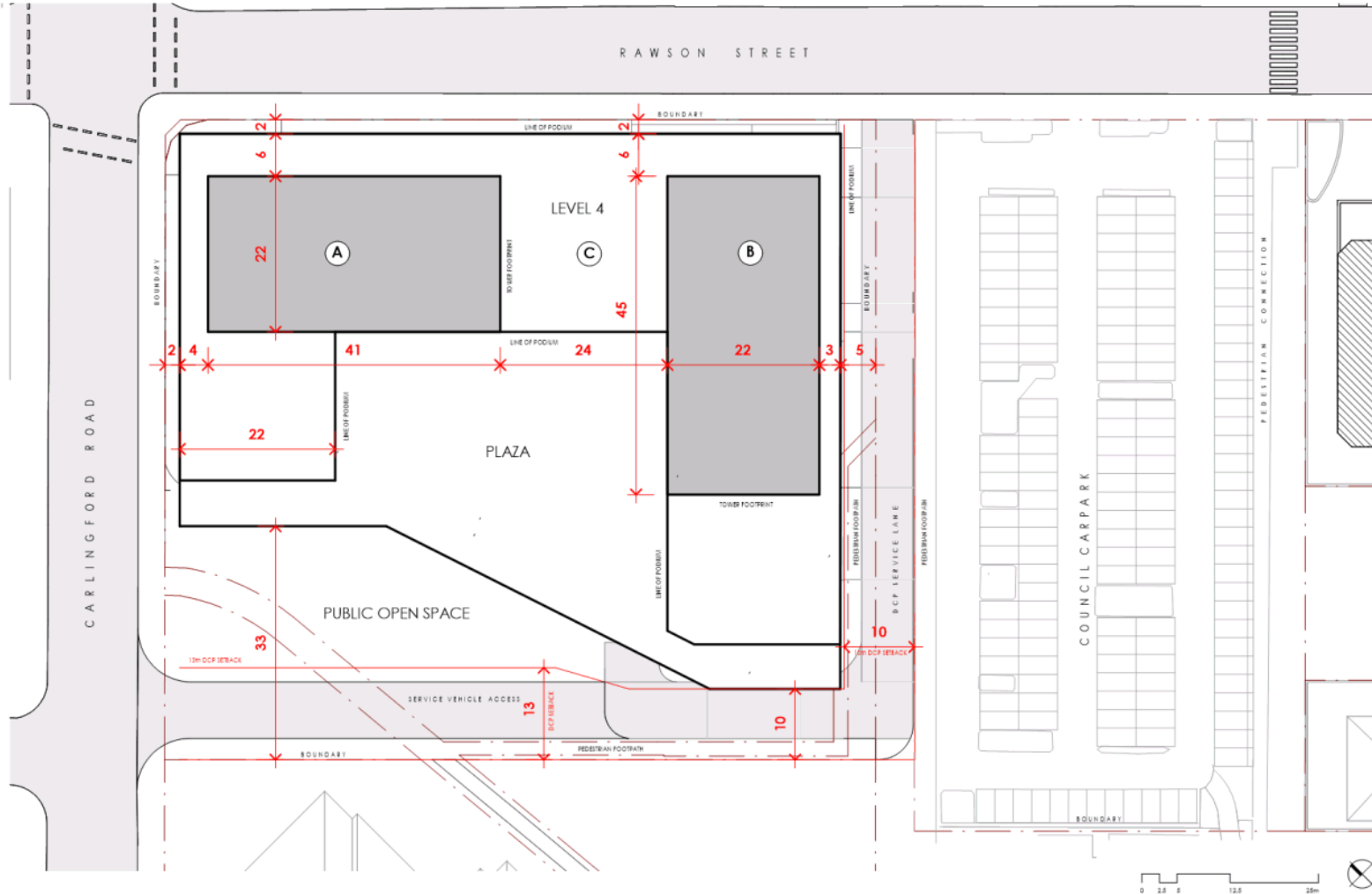
As part of future detailed design, early warning and vehicle control measures will be implemented along the Council DCP Service lane to control vehicle movements in the event of localised site flooding.





4 Building Envelope

URBAN - PROPOSED ENVELOPES



EPPING TOWN CENTRE



5

Landscape and Public Domain

MASTERPLAN - PUBLIC DOMAIN



- SITE BOUNDARY**
- 1 Main Body Unit Paver**
Product: "Sesame Grey" & "Adelaide Black (Veined)" or "Austral Black" Size: 600x300x50, 400x300x50mm
Finish: exfoliated/bush hammered
As per PCC's Public Domain Guidelines, p105-107
- 2 Vehicular Crossing Unit Paver**
Product: "Sesame Grey" & "Adelaide Black (Veined)" or "Austral Black" Size: 400x300x50, 200x300x50mm
Finish: exfoliated
As per PCC's Public Domain Guidelines, p105-107
- 3 Kerb Ramp Unit Paver**
Product: "Sesame Grey" & "Adelaide Black (Veined)" or "Austral Black" Size: 400x300x50, 200x300x50, 600x300x50mm
Finish: exfoliated
As per PCC's Public Domain Guidelines, p105-107
- 4 Street Trees**
Waterhousea floribunda 'Green Avenue' and Lagerstroemia indica 'Natchez'
As per PCC's Public Domain Guidelines, p108-110
- 5 Garden Beds**
Planted garden beds along verge
As per PCC's Public Domain Guidelines, p108-110
- 6 Lighting Pole**
Large multi functional pole (10m) with CCTV, 2x GPO, LEDs, Smart City
Lighting Level: Category P2
As per PCC's Public Domain Guidelines, p114-116, 182

Public domain upgrades detailed in this Public Domain Plan have been extracted from City of Parramatta's Public Domain Guidelines (July 2017). Further details table on page 4.

Any proposed upgrades will follow Figure 3.5 "Typical Street Type Layout - Town & Neighbourhood Commercial" on page 49 of the PDG.

REFER TO ARCADIA LANDSCAPE REPORT



EPPING TOWN CENTRE



6

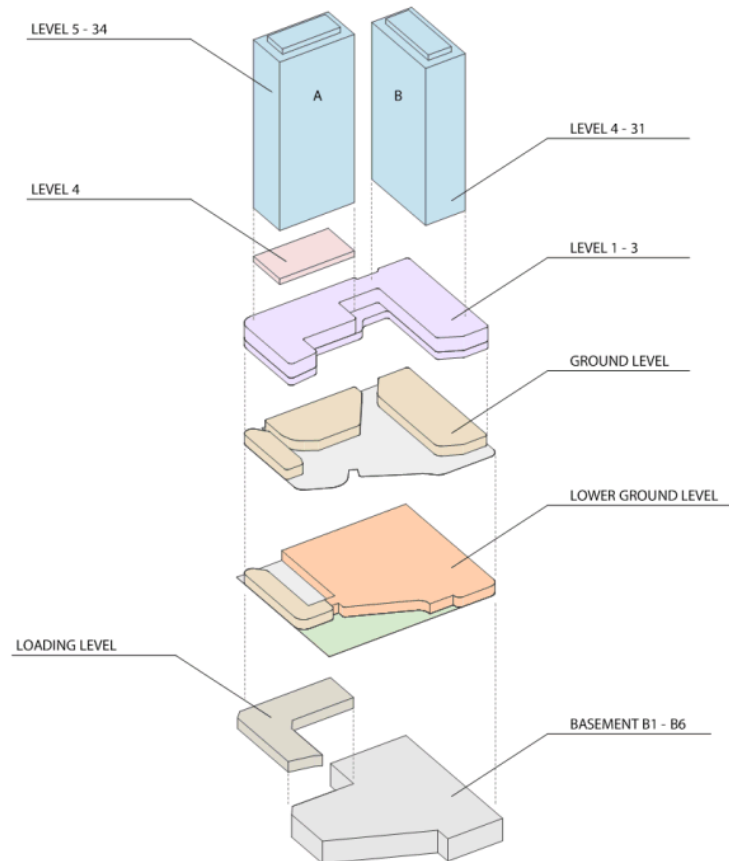
Building Program

BUILDING PROGRAM

SITE
 SITE : 9089m²
 MAX RESI. GFA : 40900m²

KEY DIAGRAM

- BASEMENT
- LOADING AREA
- SUPERMARKET
- RETAIL
- COMMERCIAL
- COMMUNAL
- RESIDENTIAL
- PUBLIC OPEN SPACE



RESIDENTIAL

A - 30 STOREYS L5 - L34	19920m ²
- COS L4	532m ²
B - 28 STOREYS L4 - L31	20300m ²
RES LOBBIES G:	214m ²
TOTAL RESIDENTIAL AREA	
TOTAL GFA:	40966m ²
RESIDENTIAL FSR:	4.5:1

COMMERCIAL - GROUND - LEVEL 3

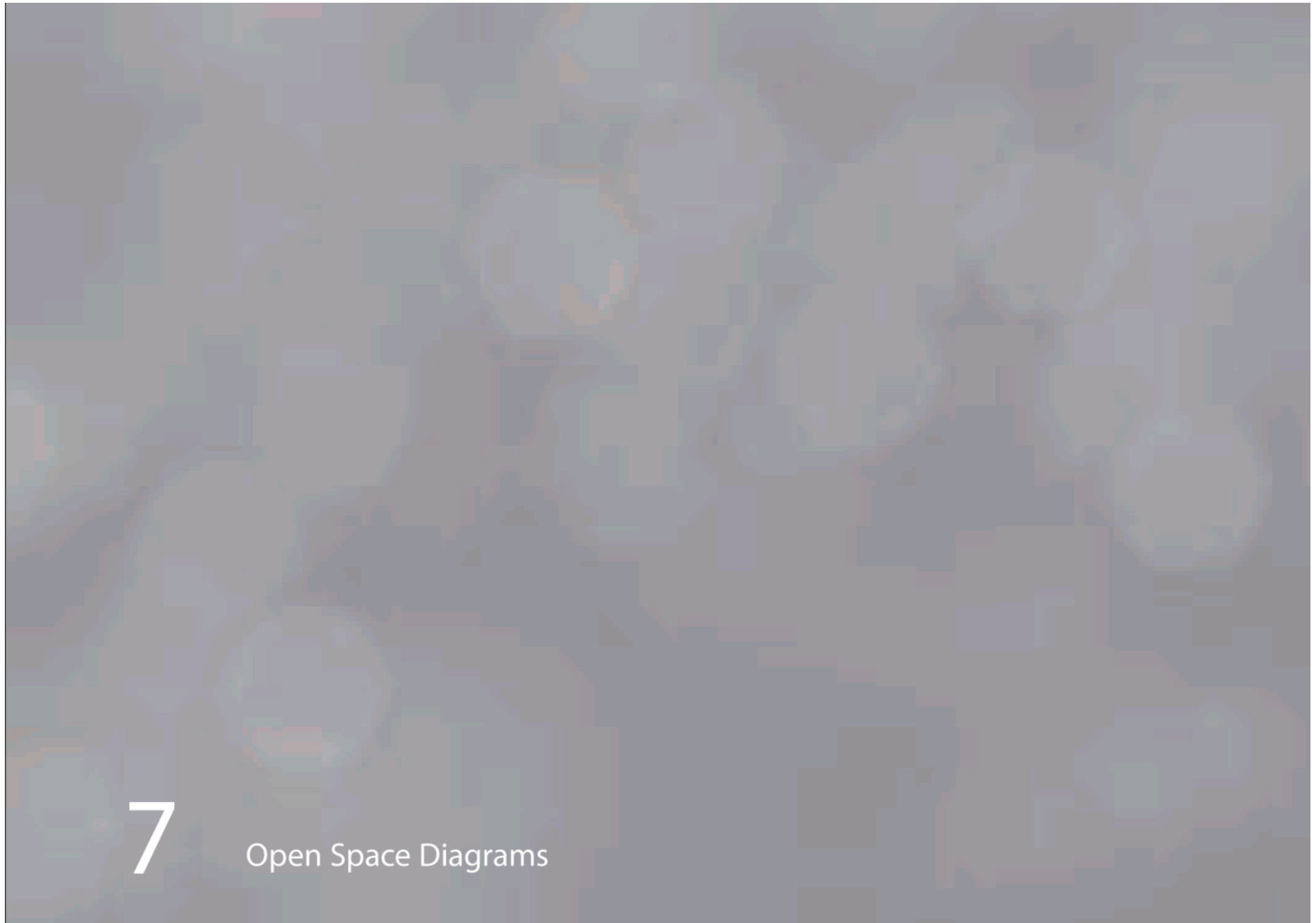
RETAIL:	1965m ²
COMMERCIAL L1 - L3:	7430m ²
COMMERCIAL LOBBY:	72m ²
AMENITIES:	120m ²
TOTAL:	
TOTAL:	9587m ²
COMM FSR:	1.05:1

COMMERCIAL - LOWER GROUND

RETAIL:	493m ²
MALL:	497m ²
SUPERMARKET :	3100m ²
TOTAL:	
TOTAL:	4090m ²
FSR:	0.45:1

TOTAL COMMERCIAL AREA

AREA:	13677m ²
FSR:	1.5:1

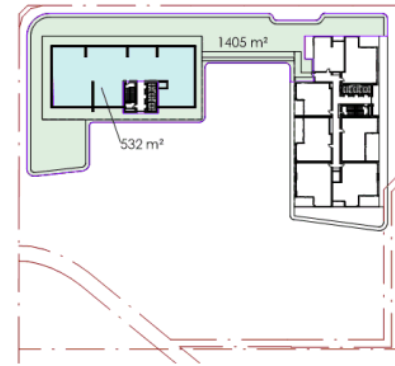


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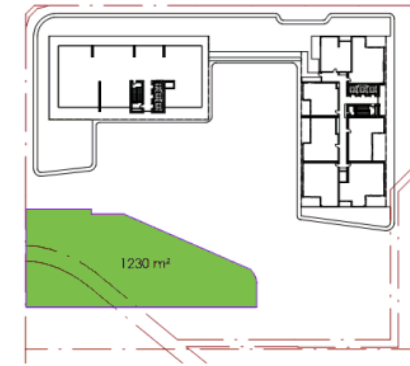
Open Space Diagrams

OPEN SPACE DIAGRAM

SITE AREA 9089m ²		REQUIRED - ADG	PROVIDED
COMMUNAL OPEN SPACE	25%	15.5% - 1405m ²	
COS / PUBLIC OPEN SPACE		13.5% - 1230m ²	
COMMUNAL ROOM		6% - 532m ²	
PUBLIC OPEN SPACE	N/A	50% - 4600m ²	
DEEP SOIL (MIN 6m WIDE)	7%	13.5% - 1230m ²	

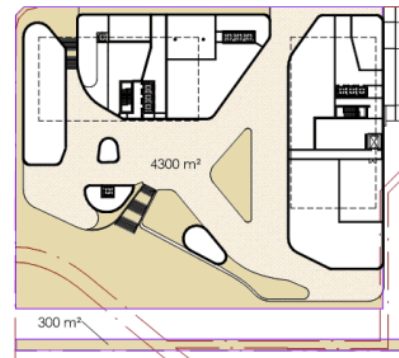


Level 4 - COS

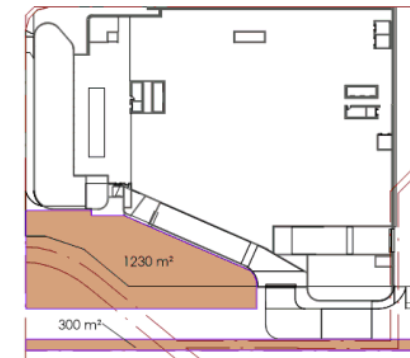


Lower Ground Level - Public Open Space

- Communal Open Space (COS)
- Communal / Public Open Space
- Communal Rooms
- Publicly Accessible Open Space (POS)
- Deep Soil Zones



Ground & Lower Ground Level - POS



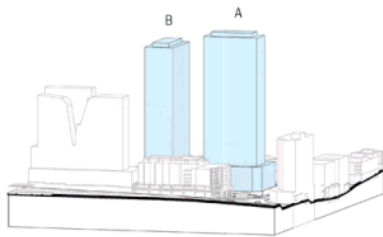
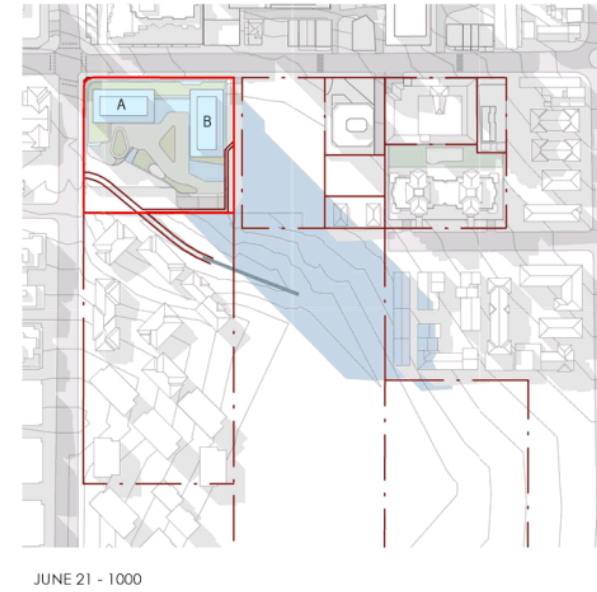
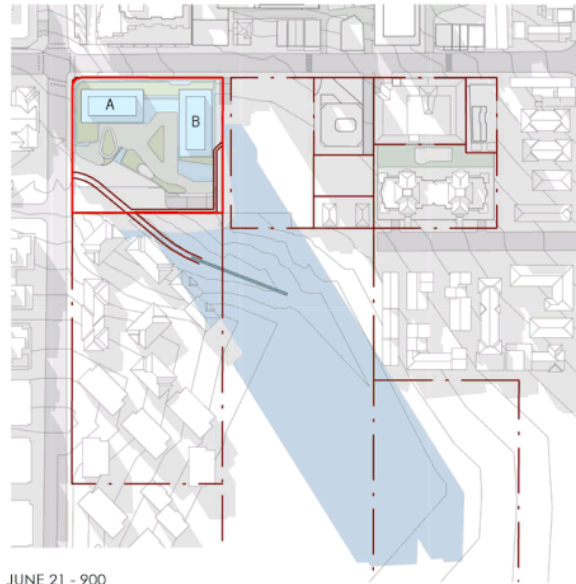
Basement Level - Deep Soil



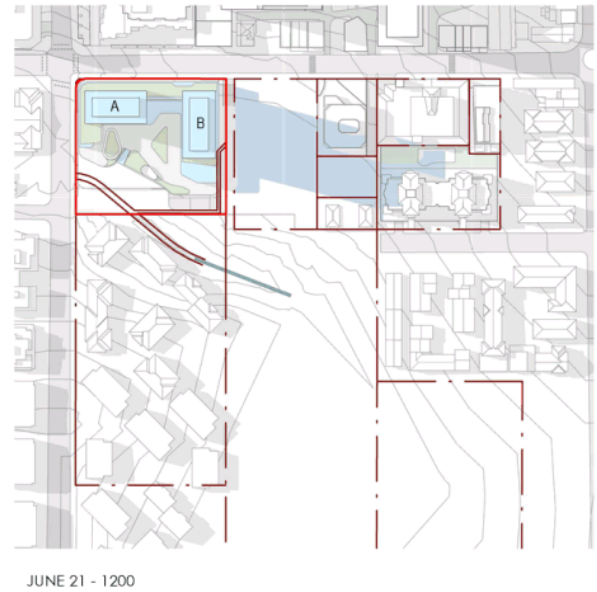
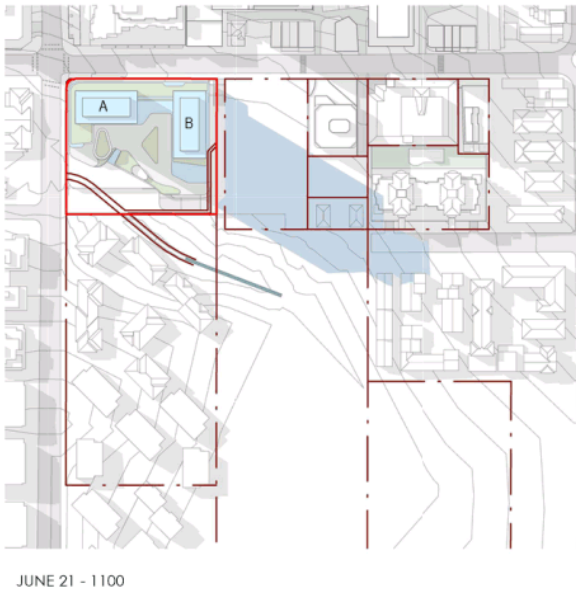
8

Shadow Studies

SHADOW STUDIES
21 June - Mid-Winter

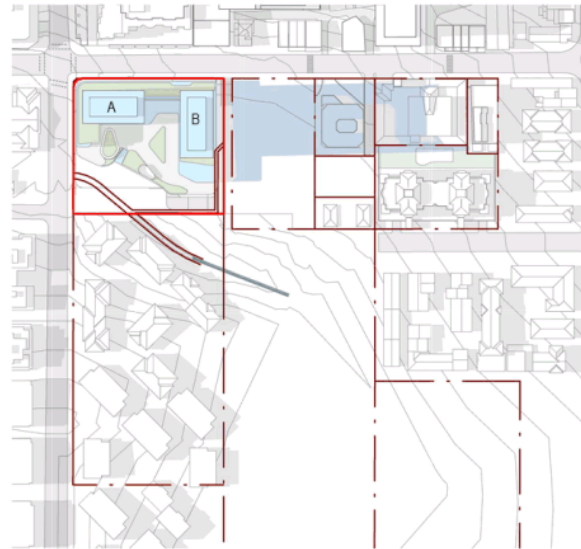


- SITE BOUNDARY
- ADDITIONAL SHADOWS

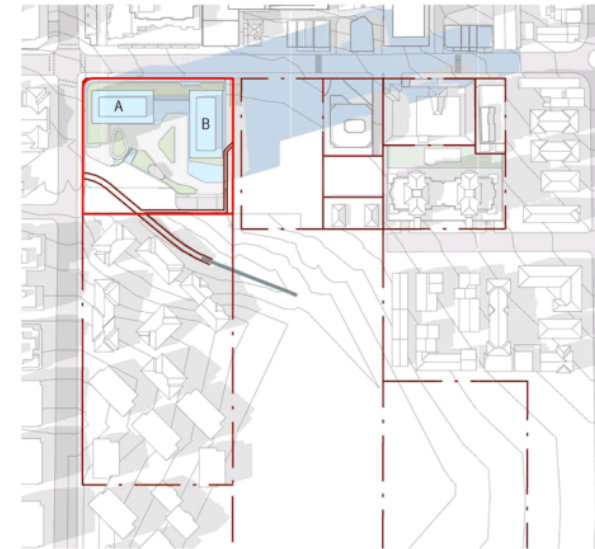


EPPING TOWN CENTRE

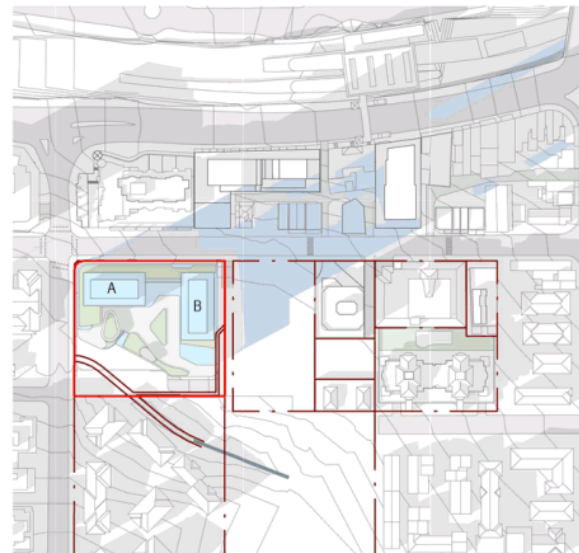
SHADOW STUDIES
21 June - Mid-Winter



JUNE 21 - 1300



JUNE 21 - 1400

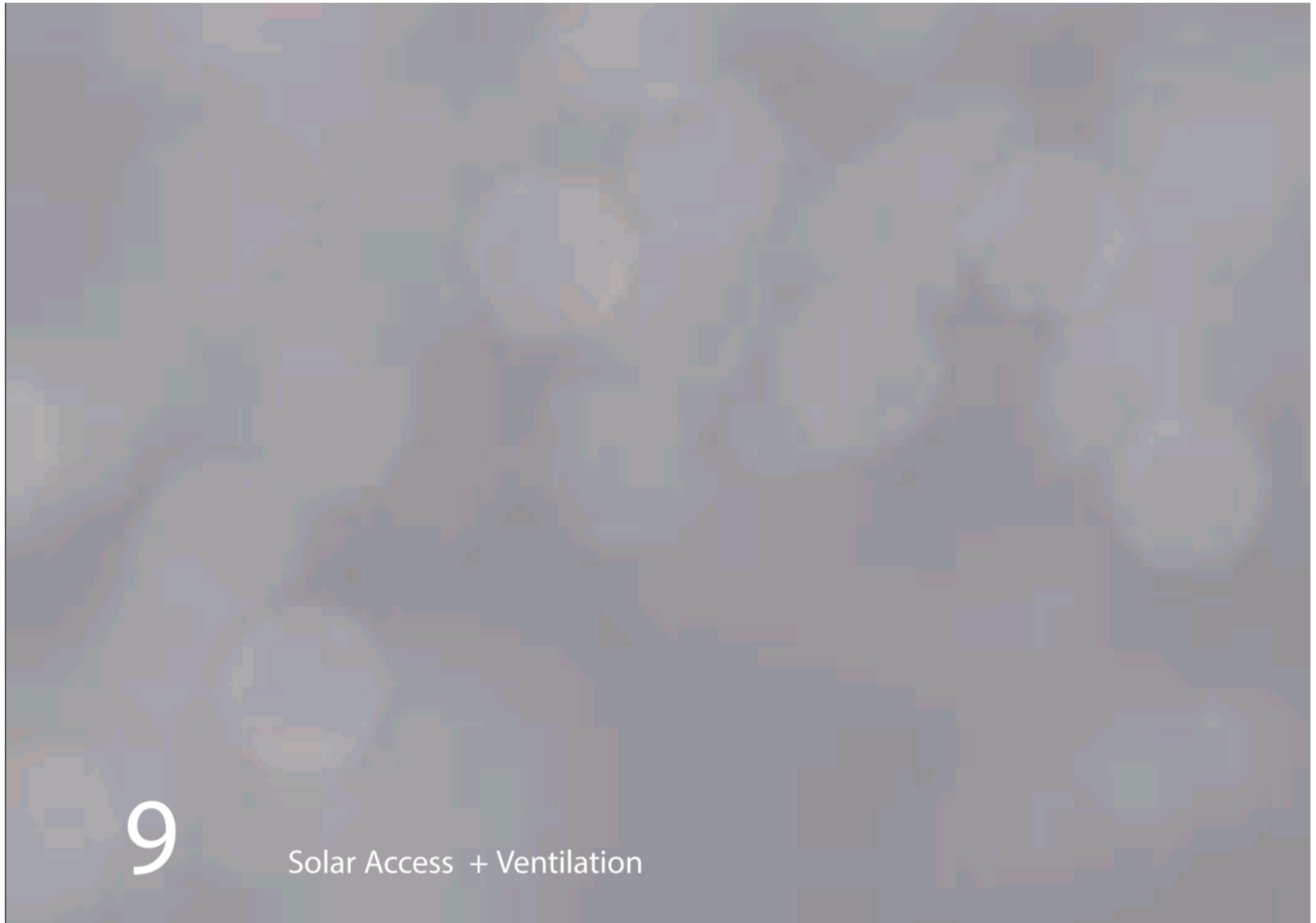


JUNE 21 - 1500

SITE BOUNDARY
 ADDITIONAL SHADOWS



EPPING TOWN CENTRE



9

Solar Access + Ventilation

SOLAR MAPPING

The placement and orientation of the two tower footprints, optimise the opportunities for solar access to the surrounding ground plane areas external to the site.

Each of the proposed tower footprints and their orientations provide opportunities for good levels of solar access to the upper level podium landscaped areas and to each individual tower form.

The principle Communal Open Space areas, located on the podium level are capable of achieving ADG compliance.

High levels of solar access are achieved to the publicly accessible open space on the western corner of the site.

Shading to the south of the site is predominantly located over or just beyond the proposed DCP service laneway, with good levels of solar access to remaining areas.

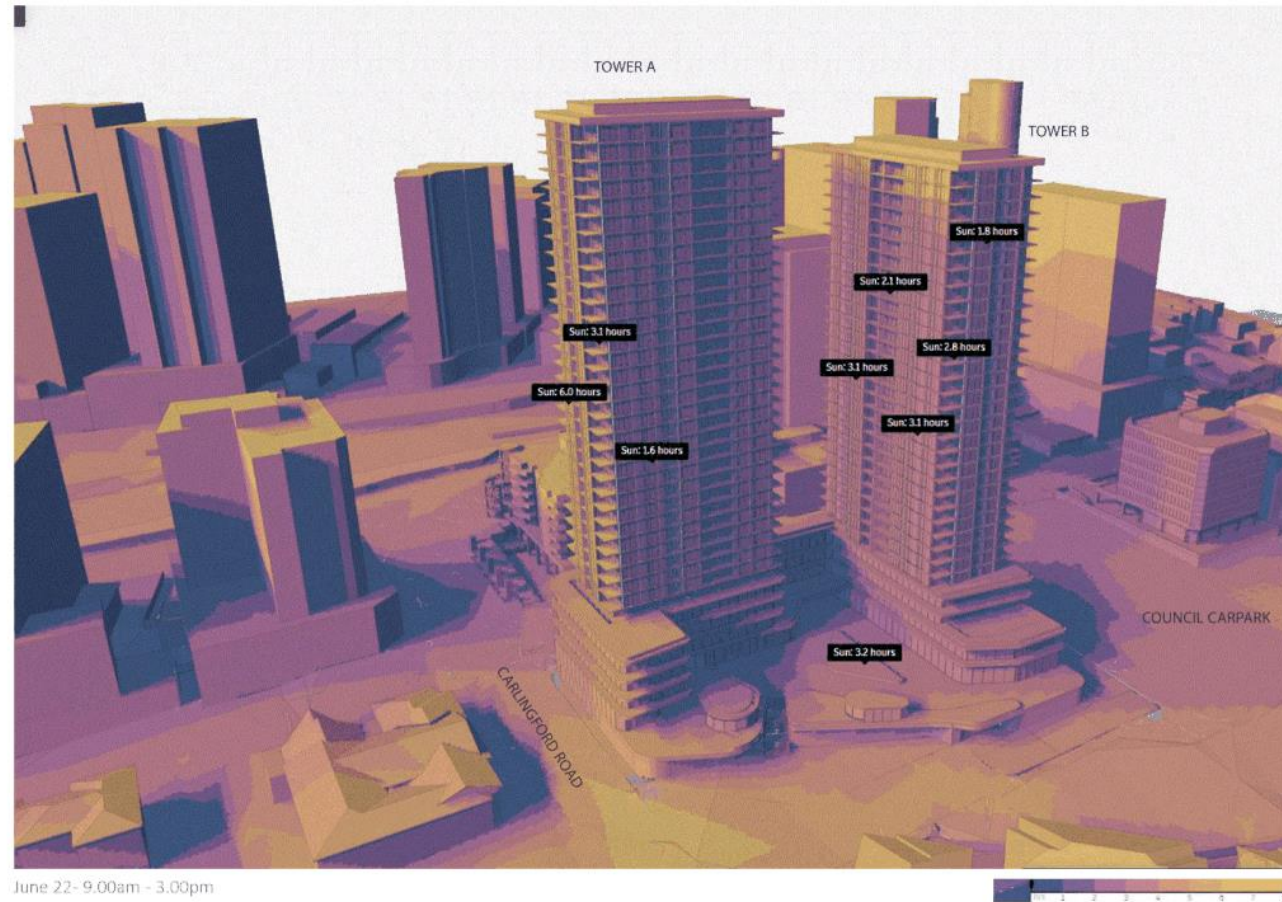


June 22 - 9.00am - 3.00pm

EPPING TOWN CENTRE

SOLAR MAPPING

AERIAL VIEW FROM THE WEST



EPPING TOWN CENTRE

SOLAR MAPPING

AERIAL VIEW FROM THE NORTH



EPPING TOWN CENTRE

SOLAR ACCESS SUMMARY
AND VENTILATION STUDIES



TYPICAL LEVEL - SOLAR ACCESS

9.00am - 3.00pm

290 APARTMENTS (290/406) - **71%** - RECEIVE MIN 2HRS SOLAR ACCESS TO HABITABLE AREAS BETWEEN THE HOURS OF 9.00AM AND 3.00PM

*APPROX 28 APARTMENTS (28/406) - **7%** - RECEIVE NO SOLAR ACCESS TO THE APARTMENT BETWEEN 9.00AM AND 3.00PM



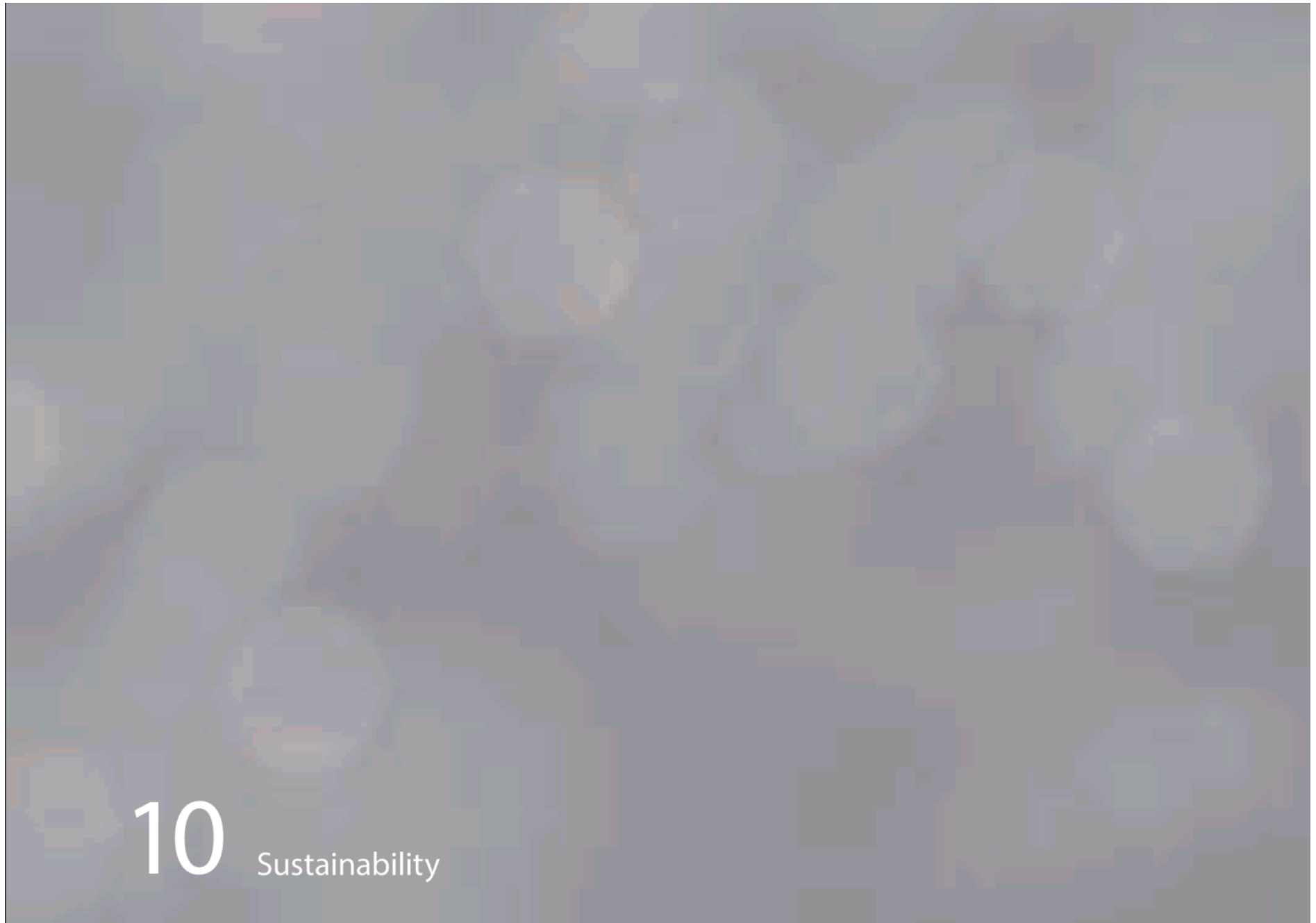
TYPICAL LEVEL - VENTILATION

Natural Ventilation

35 APARTMENTS (35/49) - **71%** - ARE NATURALLY CROSS VENTILATED 9 STOREYS ABOVE GROUND.

UNDER THE ADG APARTMENTS ABOVE THIS HEIGHT ARE CONSIDERED NATURALLY VENTILATED



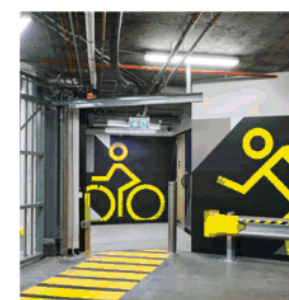
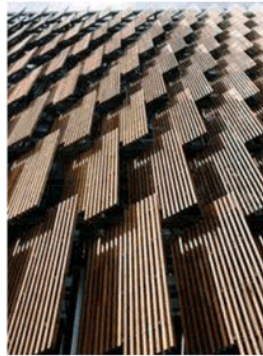


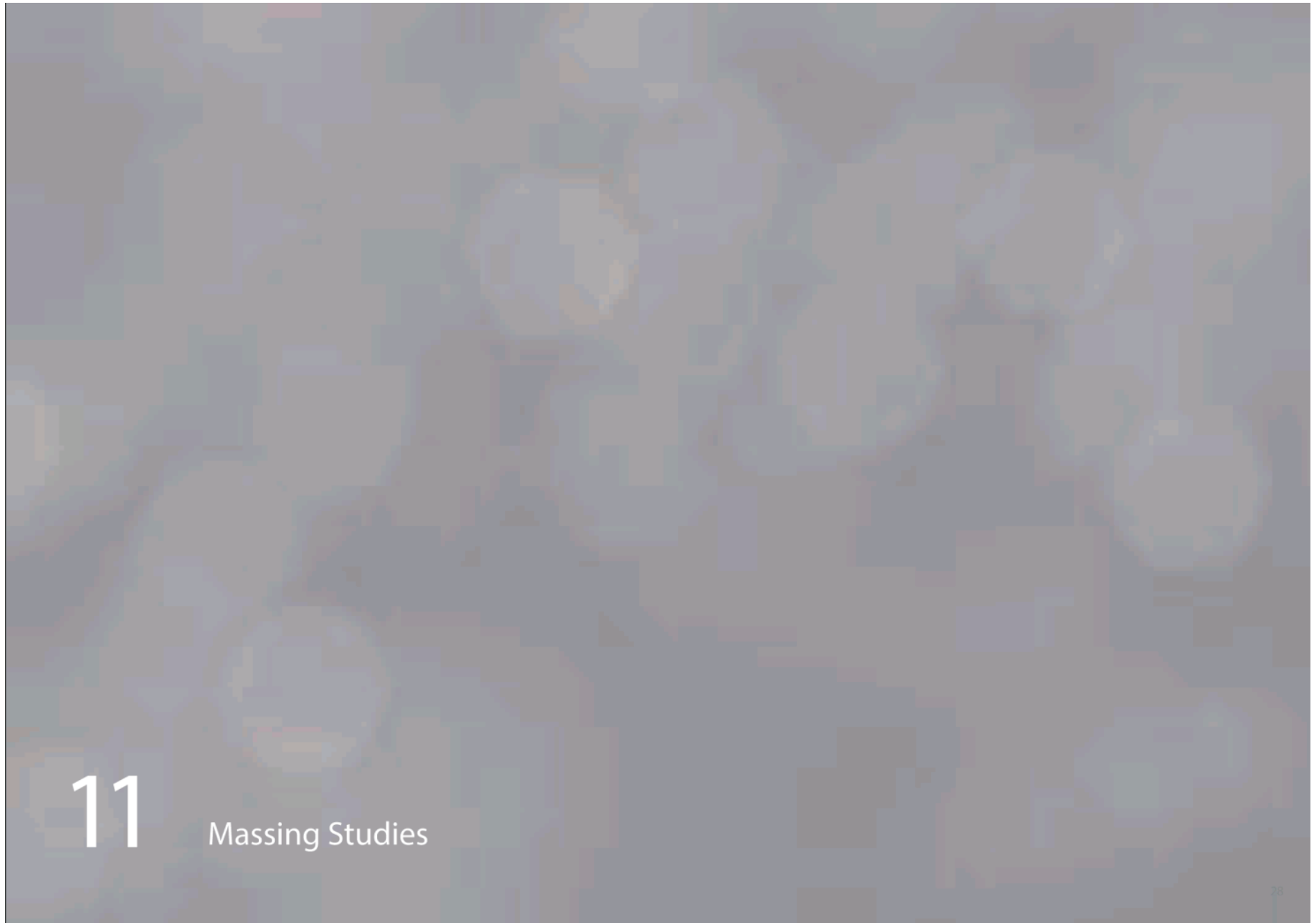
10 Sustainability

SUSTAINABILITY

ESD INITIATIVES TO BE EXPLORED FOR THE DEVELOPMENT APPLICATION

- Integrate passive design systems- solar control and wind mitigation
- Water harvesting and reuse
- Minimise reliance on natural gas
- PV panels
- Electrical car charging facilities
- Extensive Landscape to reduce the 'Heat Island' effect
- Promote beneficial micro climate
- End of Trip facilities and bicycles parking
- Inclusion of low VOC and recycled materials
- Live- Work arrangements





11

Massing Studies

28

Perspective View From Rawson Street - Looking West



EPPING TOWN CENTRE

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Perspective View From Carligford Road - Looking South



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Perspective View From Carligford Road - Looking East



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Perspective View From Ray Street - Looking South



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Perspective View From Boronia Park - Looking North



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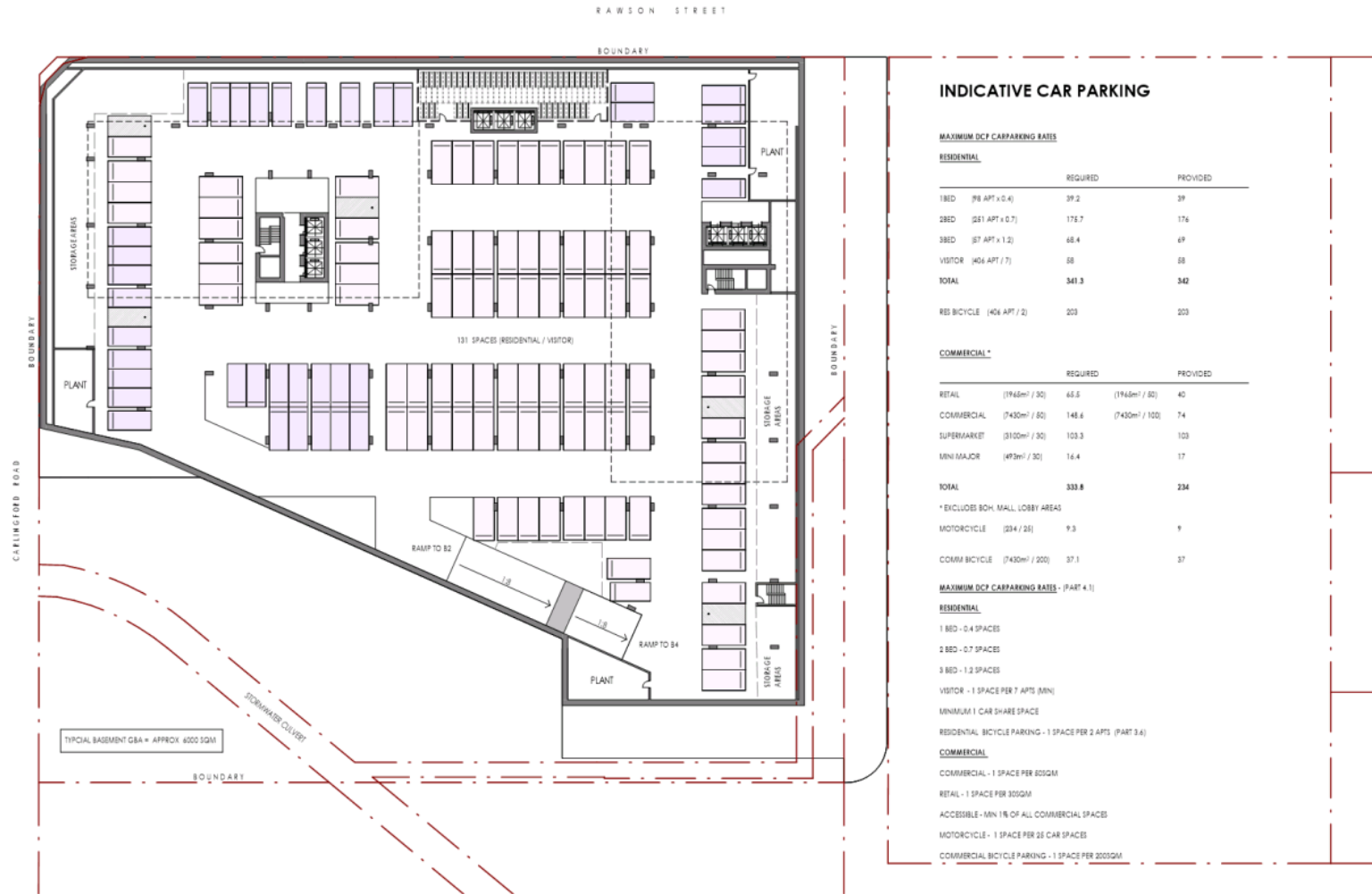


12

Architectural

34

BASEMENT 3 PLAN (B4 & B6 SIMILAR)



INDICATIVE CAR PARKING

MAXIMUM DCF CARPARKING RATES

RESIDENTIAL

	REQUIRED	PROVIDED
1BED (98 APT x 0.4)	39.2	39
2BED (251 APT x 0.7)	175.7	176
3BED (37 APT x 1.2)	68.4	69
VISITOR (406 APT / 7)	58	58
TOTAL	341.3	342
RES BICYCLE (406 APT / 2)	203	203

COMMERCIAL *

	REQUIRED	PROVIDED
RETAIL (1966m ² / 30)	65.5	(1966m ² / 30) 40
COMMERCIAL (7430m ² / 80)	148.6	(7430m ² / 100) 74
SUPERMARKET (3100m ² / 30)	103.3	103
MINI-MAJOR (493m ² / 30)	16.4	17
TOTAL	333.8	234
* EXCLUDES BOH, MALL, LOBBY AREAS		
MOTORCYCLE (234 / 26)	9.3	9
COMM BICYCLE (7430m ² / 200)	37.1	37

MAXIMUM DCF CARPARKING RATES - (PART 4.1)

RESIDENTIAL

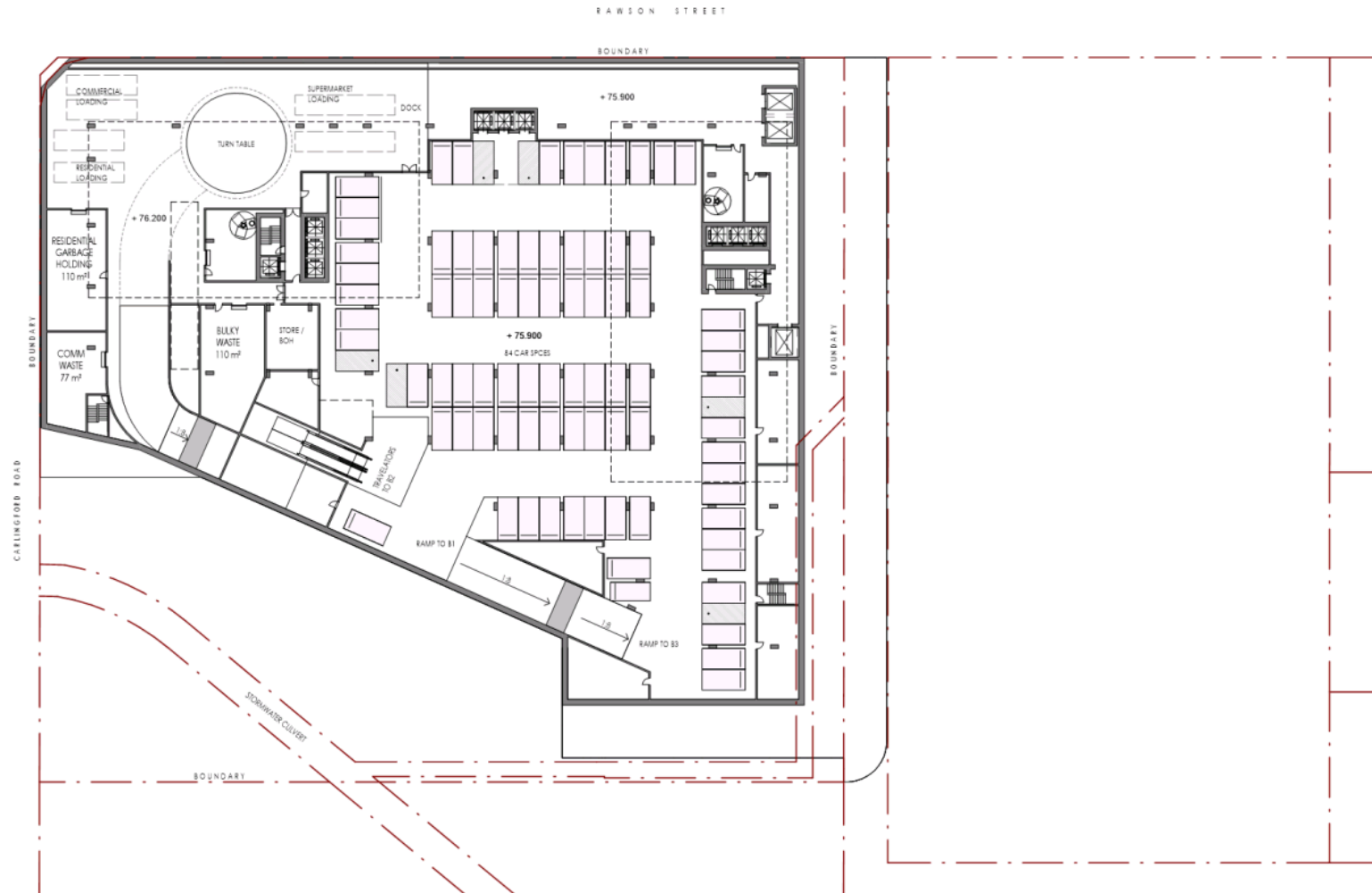
- 1 BED - 0.4 SPACES
- 2 BED - 0.7 SPACES
- 3 BED - 1.2 SPACES
- VISITOR - 1 SPACE PER 7 APIS (MIN)
- MINIMUM 1 CAR SHARE SPACE
- RESIDENTIAL BICYCLE PARKING - 1 SPACE PER 2 APIS (PART 3.6)

COMMERCIAL

- COMMERCIAL - 1 SPACE PER 50SQM
- RETAIL - 1 SPACE PER 30SQM
- ACCESSIBLE - MIN 1% OF ALL COMMERCIAL SPACES
- MOTORCYCLE - 1 SPACE PER 26 CAR SPACES
- COMMERCIAL BICYCLE PARKING - 1 SPACE PER 200SQM



BASEMENT 2 PLAN



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BASEMENT 1 PLAN



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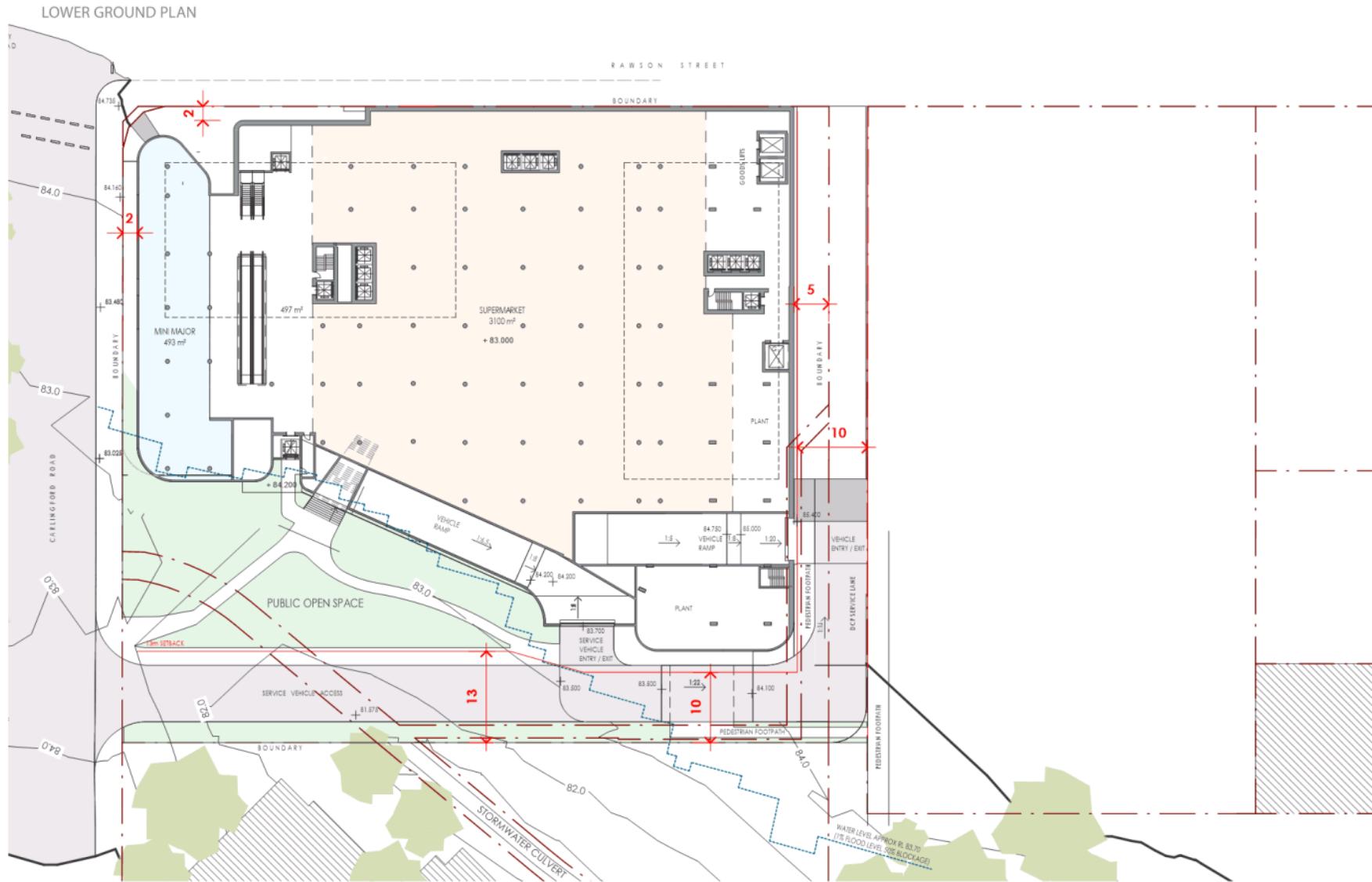


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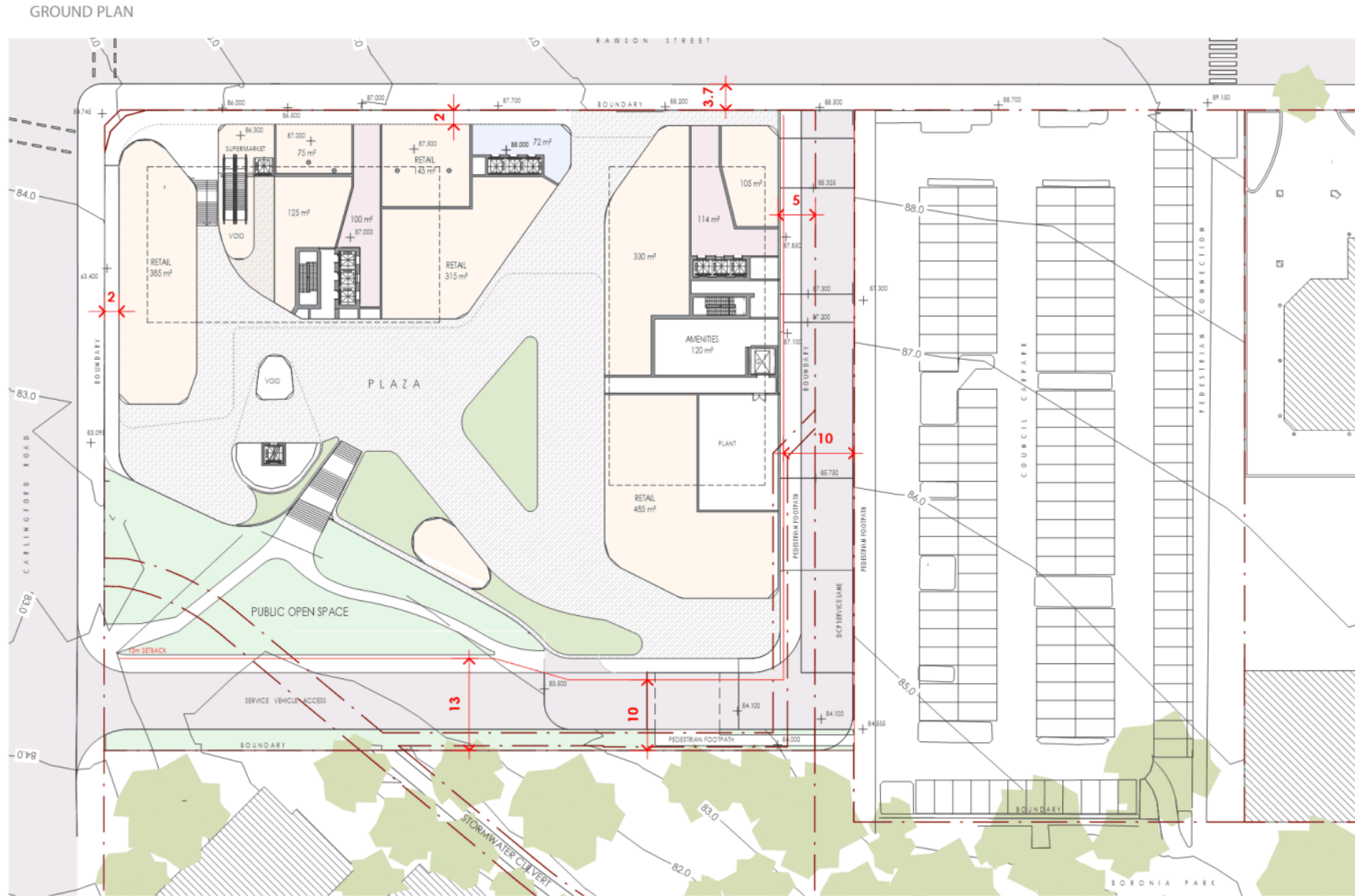


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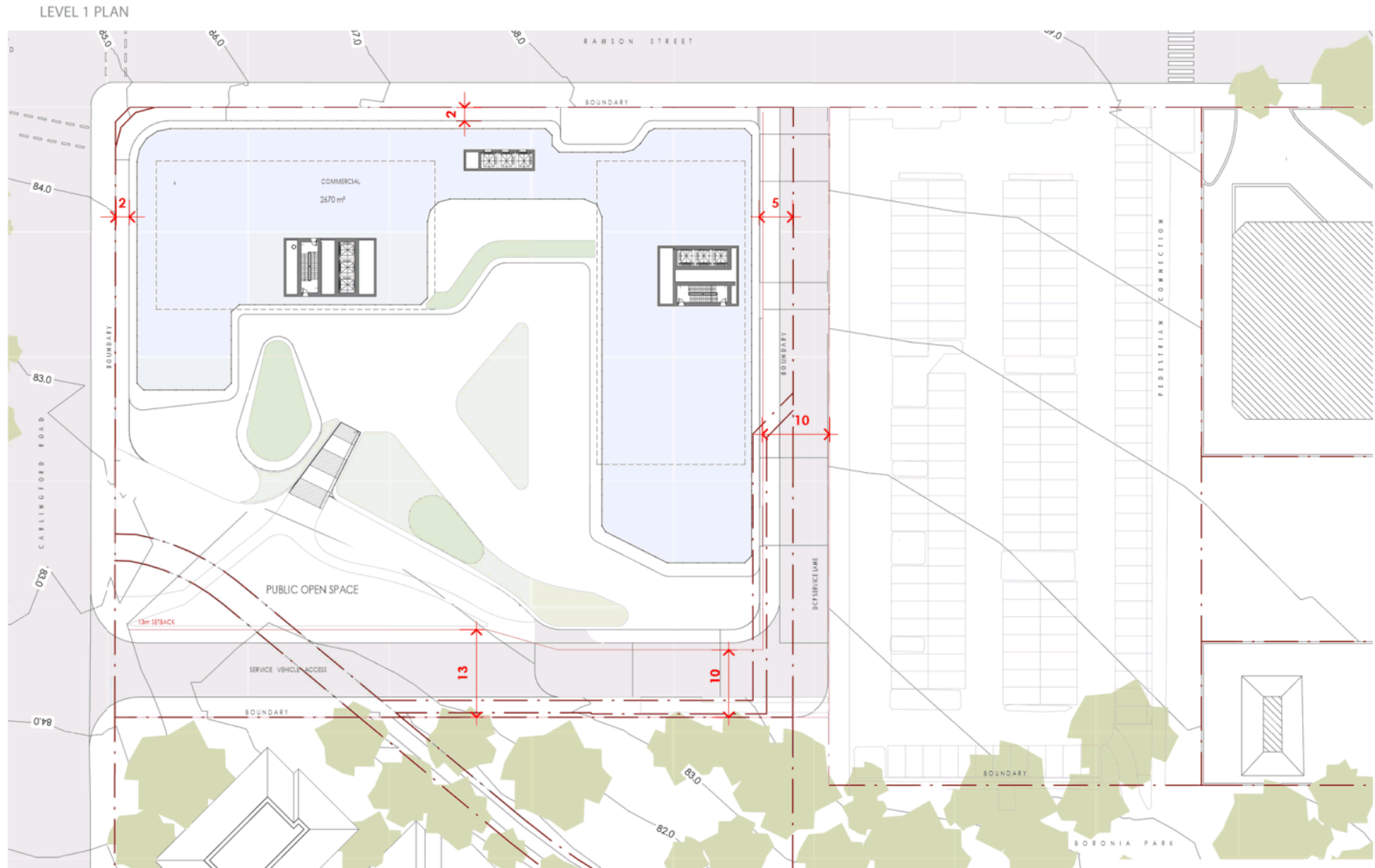


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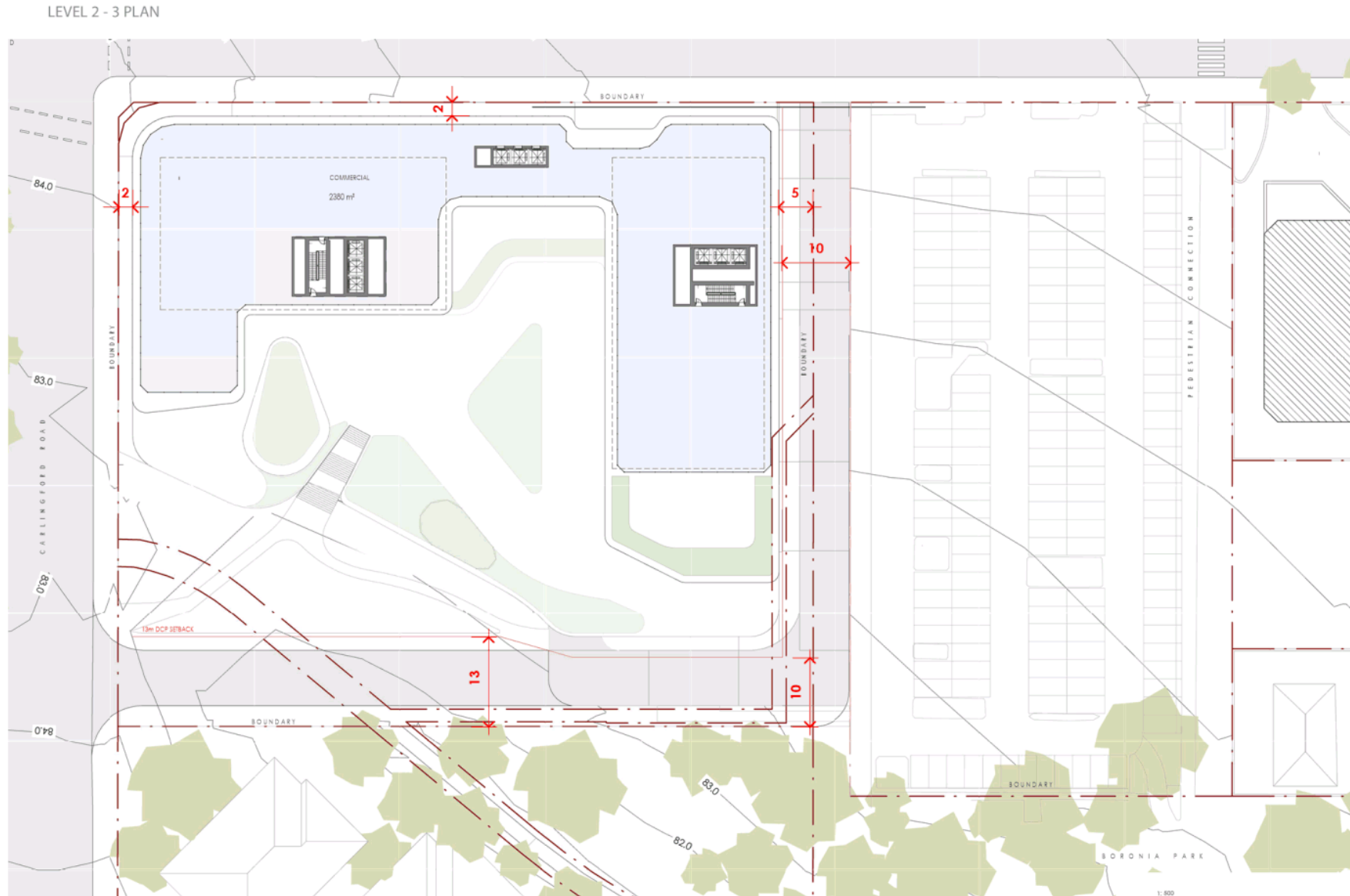


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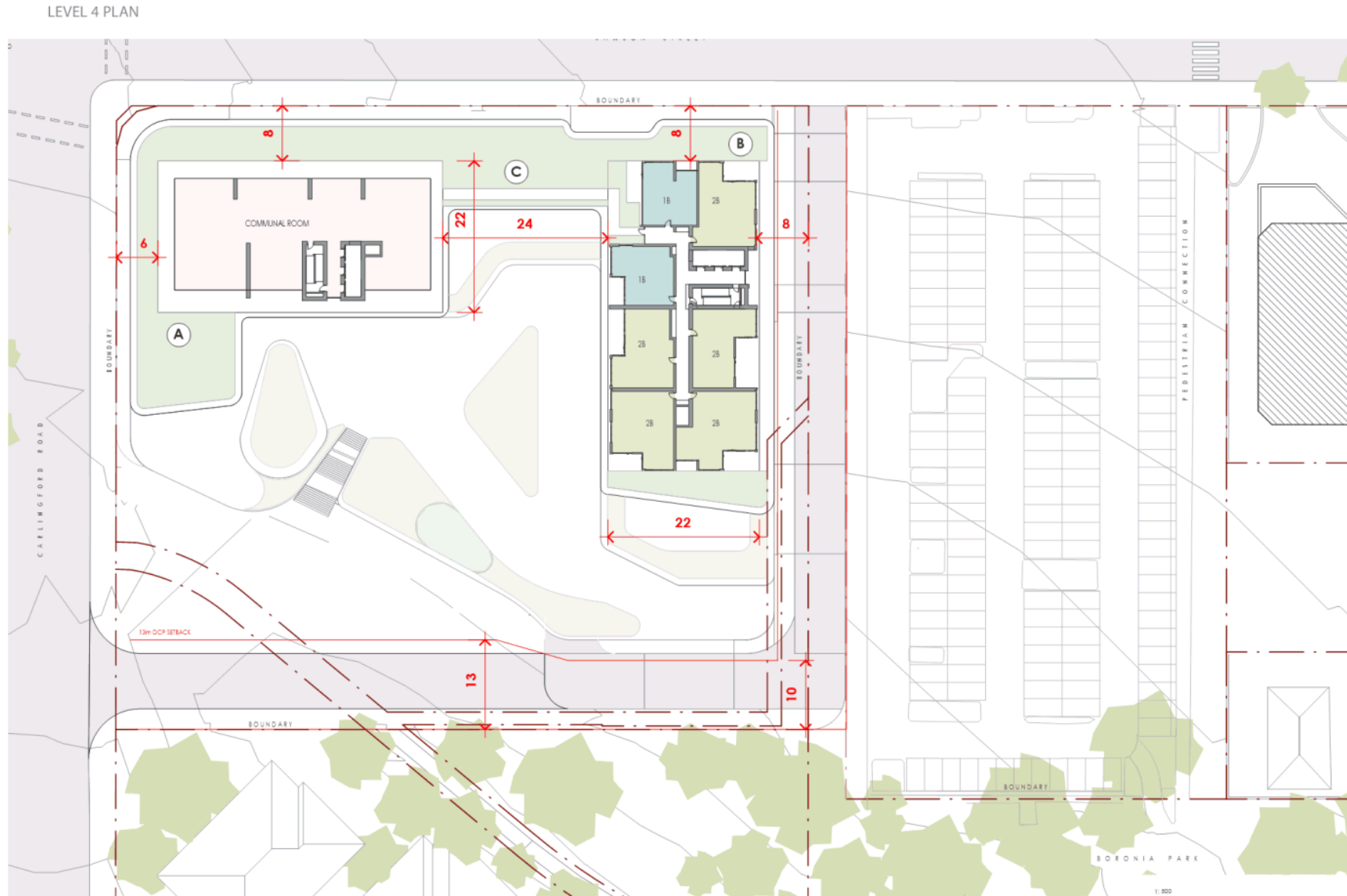


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EPPING TOWN CENTRE



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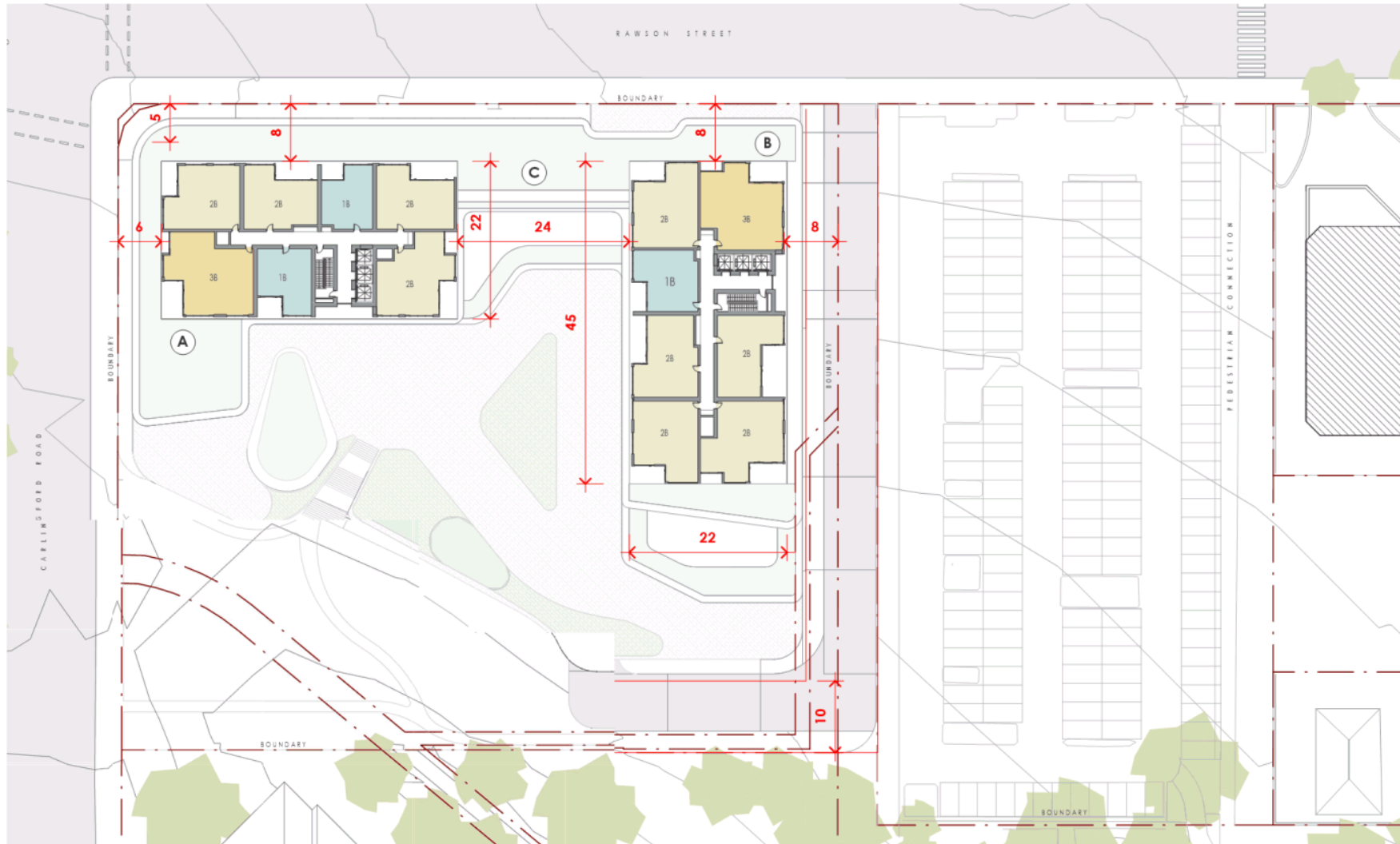
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42

TYPICAL FLOOR PLANS



EPPING TOWN CENTRE

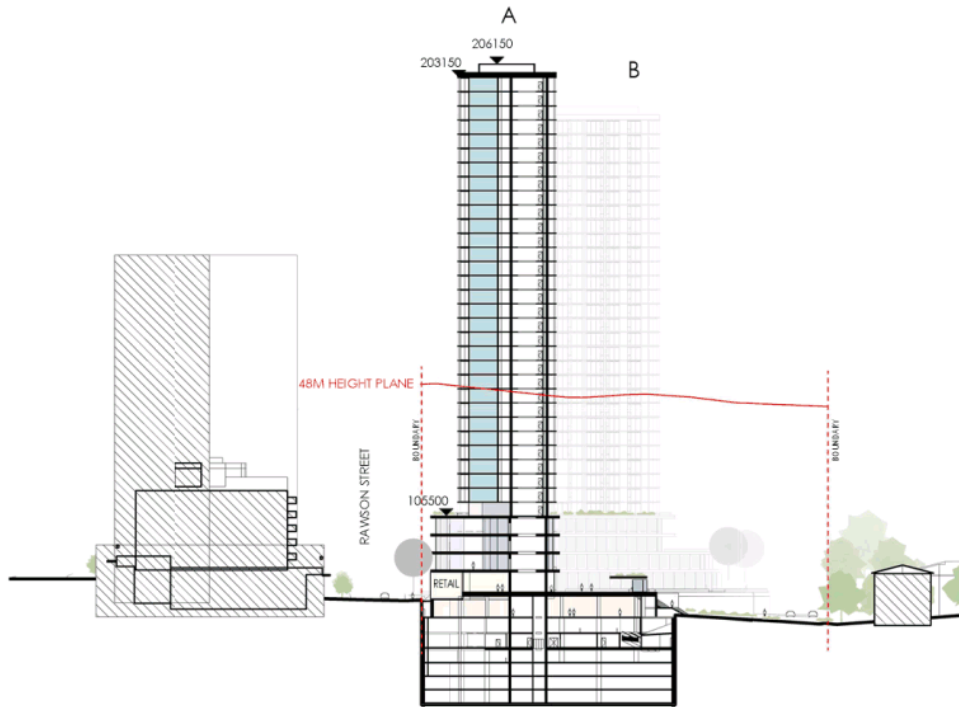
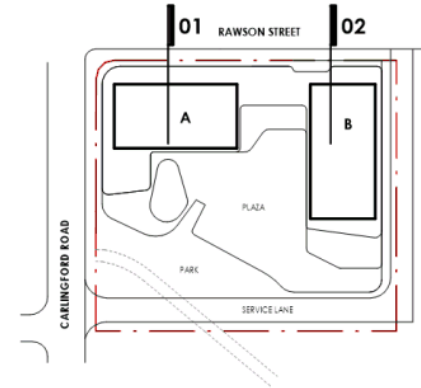


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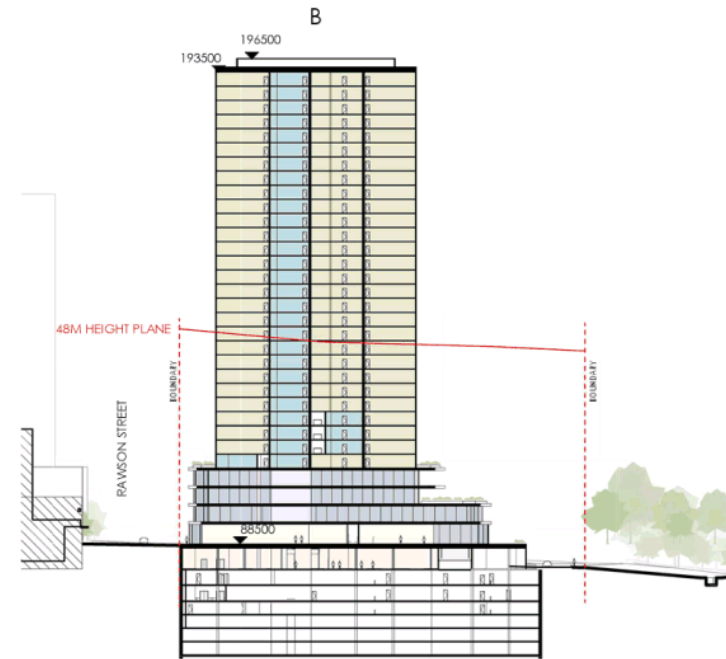
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SECTION - NORTH SOUTH - 01



SECTION - NORTH SOUTH - 02

EPPING TOWN CENTRE

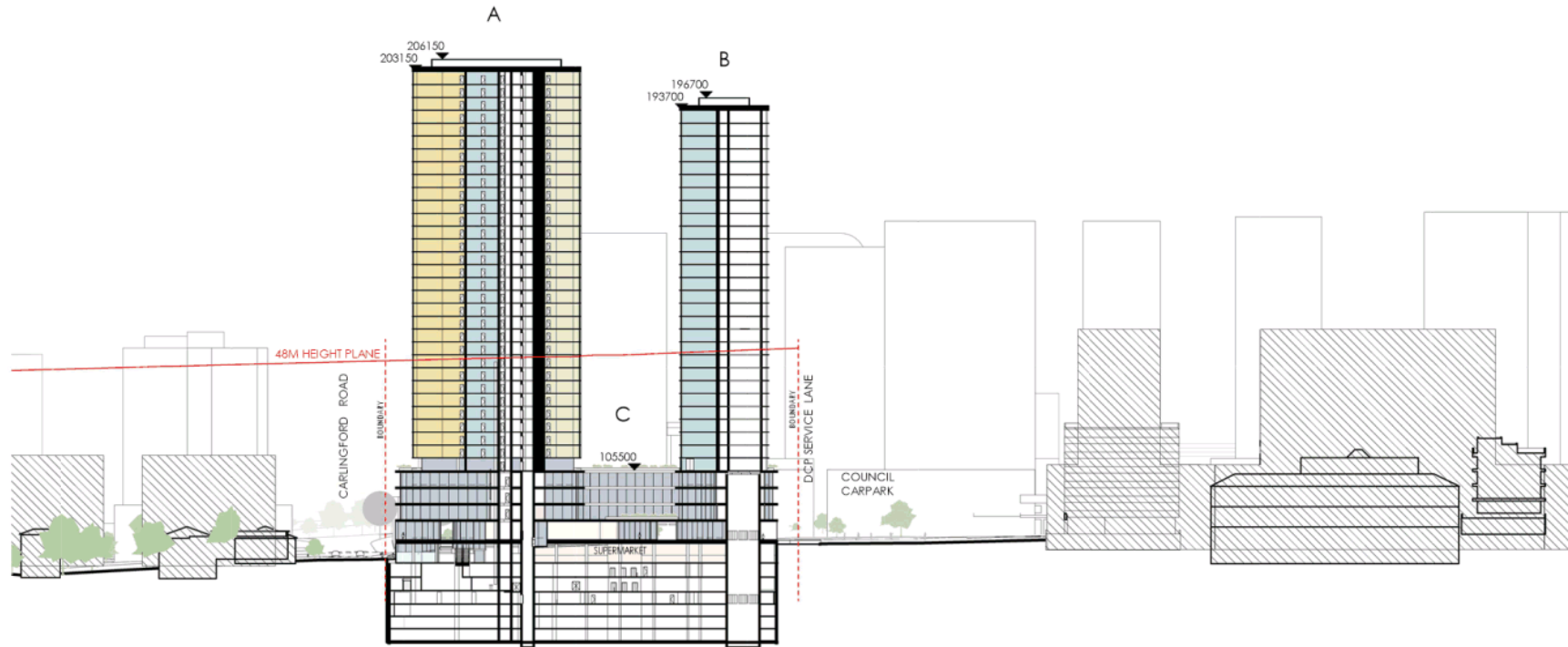
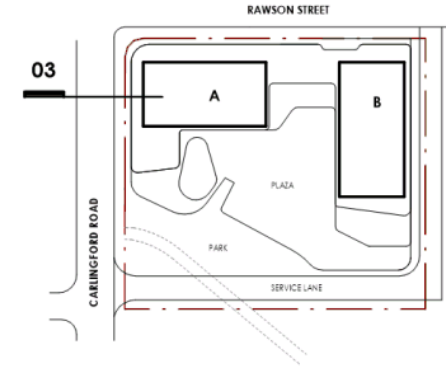


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SECTION - EAST WEST - 03

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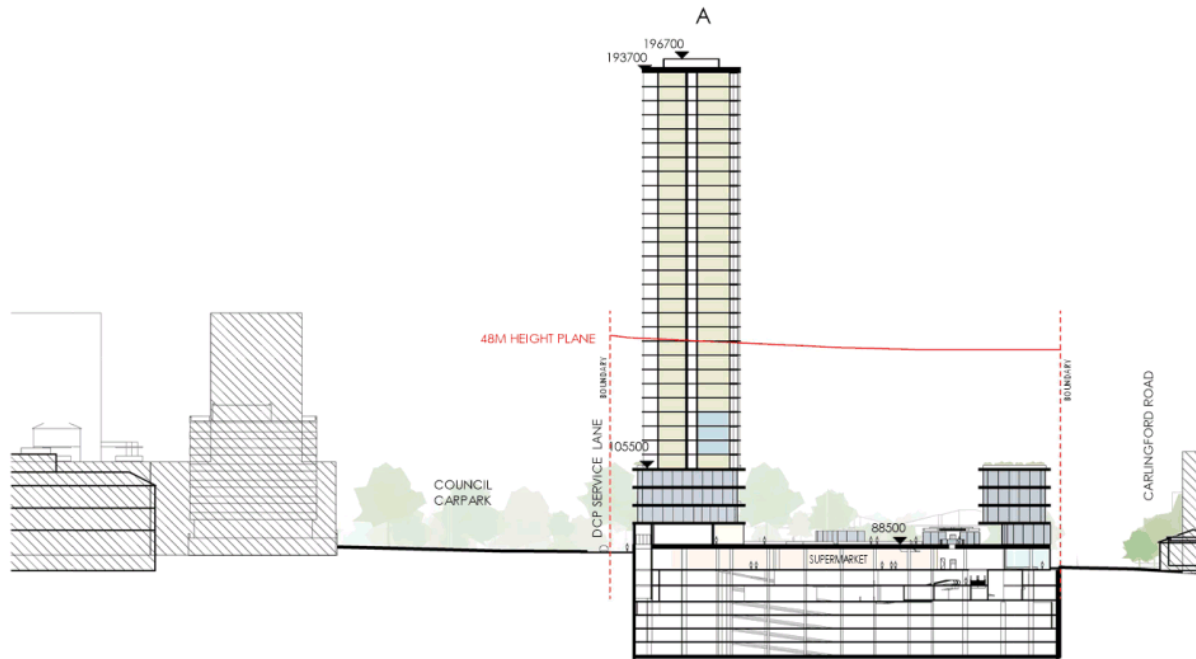
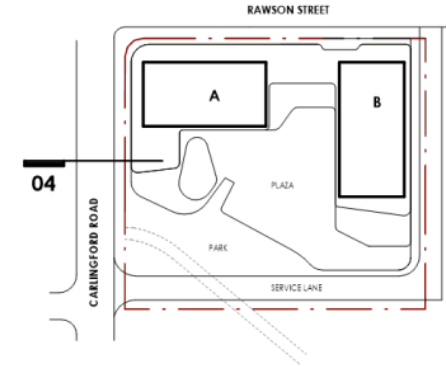


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SECTION - NORTH SOUTH - 04

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Local Planning Panel 21 May 2024

Item 6.3

PLANNING PROPOSAL

ITEM NUMBER	6.3
SUBJECT	Gateway Request - Planning Proposal for land at 53-61 Rawson St, Epping
REFERENCE	RZ/3/2023 -
APPLICANT/S	Mecone
OWNERS	Canjs Pty Ltd
REPORT OF	Project Officer Land Use

PURPOSE

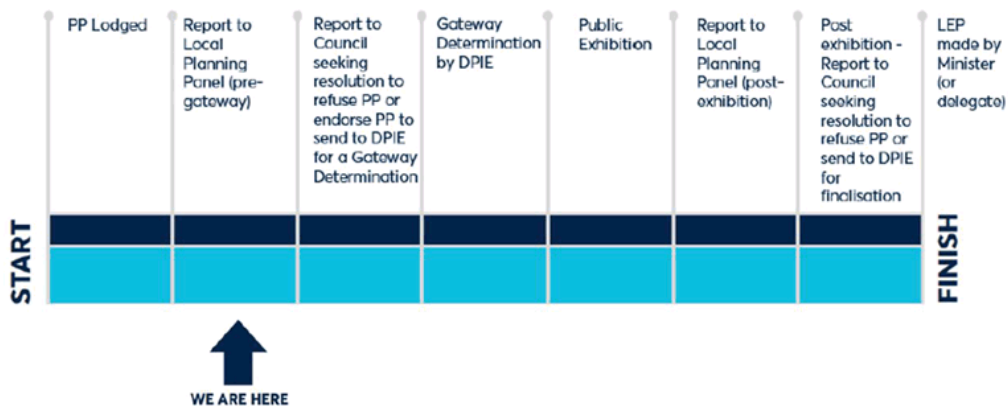
To seek the Local Planning Panel's (LPP) advice on a Planning Proposal and draft Site Specific Development Control Plan (SSDCP) for land at 53-61 Rawson Street, Epping for the purposes of seeking a Gateway Determination from the Department of Planning, Housing and Infrastructure (DPHI).

RECOMMENDATION

The Local Planning Panel consider the following Council Officer's recommendation in its advice to Council:

- a) That Council approve for the purposes of seeking a Gateway Determination from the Department of Planning, Housing and Infrastructure (DPHI), the Planning Proposal for land at 53-61 Rawson Street, Epping (**Attachment 1**) which seeks to amend the Parramatta Local Environmental Plan 2023 (PLEP 2023) in relation to the subject site by:
 - i. Introducing an additional local provision to allow an additional Floor Space Ratio (FSR) of 1.5:1 for commercial premises only (proposed mapping provided at **Attachment 2**).
 - ii. Amending the height of buildings control from 48m (15 storeys) to part 103m RL (22m or 5 storeys), part 197m RL (112m or 33 storeys) and part 206m RL (122m or 36 storeys) (proposed mapping provided at **Attachment 2**).
- b) That Council request the DPHI to provide Council with the authorisation to exercise its plan-making delegations for this Planning Proposal.
- c) That Council authorise the CEO:
 - i. To amend the Parramatta Development Control Plan (PDCP) in accordance with the draft Site-Specific Development Control Plan (SSDCP) (**Attachment 3**) to align with the Planning Proposal and to address the matters described in this report; and
 - ii. If a Gateway Determination is issued by DPHI, to place the draft SSDCP on public exhibition concurrently with the Planning Proposal.
- d) That Council authorise the CEO to correct any minor anomalies of a non-policy and administrative nature that may arise during the plan-making process and finalisation of the documents.

PLANNING PROPOSAL TIMELINE



SUMMARY

1. This report seeks the advice of the LPP on a Planning Proposal and draft SSDCP for land at 53-61 Rawson Street, Epping for the purposes of seeking a Gateway Determination from DPHI.
2. The role of the Epping Town Centre as a key commercial centre in accordance with the Parramatta Local Strategic Planning Statement has been significantly impacted by the introduction of extensive areas of high density residential redevelopment in recent years (as a result of planning controls introduced by the State Government in 2014) but very limited new commercial development. The Planning Proposal seeks to amend the PLEP 2023 to accommodate additional commercial uses by:
 - i. Introducing a local provision to allow an additional 1.5:1 FSR for commercial premises only, in addition to the current FSR of 4.5:1 (total 6:1 FSR permitted) (**Attachment 2**).
 - ii. Increasing the height of buildings control from 48m (15 storeys) to 122m (36 storeys) (**Attachment 2**).
3. The existing 4.5:1 FSR can accommodate a range of uses in the E1 Local Centre zone pursuant to the PLEP 2023, encouraging retail, business and community uses with some residential that contributes to a vibrant and active centre. The proposed additional 1.5:1 FSR can only be utilised for commercial premises (comprising business, office, or retail uses), which is consistent with Council's strategies by seeking to increase commercial offerings within the Epping Town Centre. The additional 1.5:1 commercial FSR will generate approximately 311 additional jobs in the area.
4. The proposed increase in building height from 48m (15 storeys) to 122m (36 storeys) is to accommodate a proposed two tower scheme comprising 33 and 36 storey towers with 4-5 storey podium inclusive of the proposed commercial FSR (**Figure 1**).

Local Planning Panel 21 May 2024

Item 6.3

5. While a four-tower scheme would be necessary to accommodate the existing 4.5:1 FSR that's permissible whilst complying with height and PDCP controls, flooding constraints make it unlikely that a compliant scheme can be realised. Therefore, the proposed two tower scheme is recommended as the preferred option (indicative architectural drawings provided at **Attachment 4**) so that the proposed 1.5:1 commercial only FSR and the existing 4.5:1 FSR can be accommodated. The two tower scheme will not result in adverse overshadowing to Boronia Park and adjoining land, will decrease the perception of bulk and scale, and will provide improved views to sky between and around towers.
6. The draft SSDCP (**Attachment 3**) provides controls to accommodate the proposed two tower scheme (**Attachment 4**) that is consistent with the proposed amendments to PLEP 2023.
7. The western portion of the site is flood affected, however the extent of flood risk to the rest of the site and to the Epping Town Centre as a whole is low. Flood specific SSDCP controls are recommended that will ensure flood risk is mitigated at DA stage.

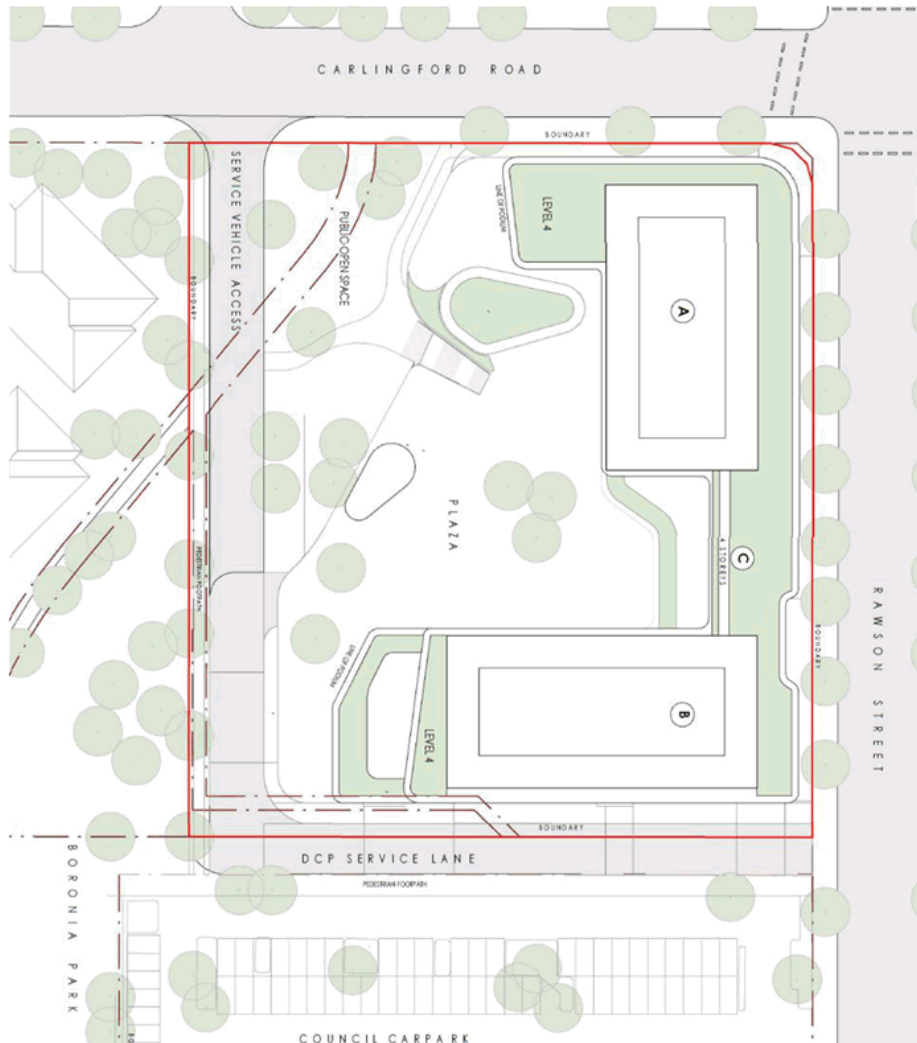


Figure 1: Proposed Site Layout (Tower A = 36 storeys, Tower B = 33 storeys, Podium C = 4-5 storeys)

BACKGROUND

Council Epping Town Centre Commercial Floorspace Planning Proposal

8. On 8 February 2021, Council resolved to endorse a Planning Proposal to increase commercial floorspace in the Epping Town Centre (**Attachment 5**) for Gateway Determination. The Planning Proposal was an outcome of the Epping Town Centre Commercial Floorspace Study, which found that new residential development resulted in a reduction of commercial floorspace that had undermined the Centre's role as a commercial centre.
9. The Planning Proposal sought to help meet the projected demand for commercial floor space over the next 20 years in the Epping Town Centre by mandating a minimum 1:1 of non-residential FSR in excess of the current maximum FSR on all land previously zoned B2 Local Centre, including the current Planning Proposal site.

Local Planning Panel 21 May 2024

Item 6.3

10. In June 2021, the applicant lodged an application for pre-lodgement advice to inform a future development application (DA) for a mixed-use building comprising three 23 storey towers on the site, seeking to rely on the progression of the Epping Town Centre Commercial Floorspace Planning Proposal. However, in July 2021, Council officers advised that the proposal was unable to be supported due to the uncertainty of the draft Planning Proposal and unresolved issues relating to flooding, traffic, and the built form.
11. On 16 September 2021, the (then) Department of Planning and Environment (now DPHI) issued a Gateway Determination refusing the Commercial Floorspace Planning Proposal. The reasons for refusal were that the provision of "non-residential" floorspace would not guarantee that commercial floorspace will be provided, the extent of application given many sites are already developed, and traffic impacts. In response to the Department's concerns, the subject Planning Proposal seeks to only introduce additional commercial floorspace. The traffic impacts of this will be minimal and can be managed, as is explained in later sections.
12. Given the high strategic importance for additional commercial floorspace opportunities to be realised in order to revitalise the Epping Town Centre, Council officers have been supporting and encouraging applicants to provide commercial floorspace on a site-by-site basis as opportunities arise and where appropriate. The subject site is one of the largest developable sites in Epping and is strategically well located to help provide a significant amount of much needed additional commercial floorspace. Consequently, it is considered that the provision of additional commercial floorspace on this site is a key opportunity that should be pursued to help meet Council's objectives for the town centre.

SITE AND LOCALITY DESCRIPTION

13. The subject site (**Figure 2**) is known as 53-61 Rawson Street, Epping and comprises seven lots legally described as follows in **Table 1**:

Table 1 – Property Address – Lots and DPs

Property Address	Lot & DP
53 Rawson Street, Epping	Lots 4-7 in DP 19329
53 Rawson Street, Epping	Lots 8 – 9 in DP 975578
61 Rawson Street, Epping	Lot 1 in DP 710711



Figure 2 – Subject site (yellow) at 53-61 Rawson Street, Epping (source: Nearmap)

14. The site is rectangular and has a combined area of approximately 9,089 sqm. The site contains a four-storey mixed use building to the north comprising education and office related uses and a separate single storey building to the south comprising a Coles Supermarket.
15. The site is zoned E1 Local Centre and is subject to a maximum height control of 48m and a maximum FSR of 4.5:1.

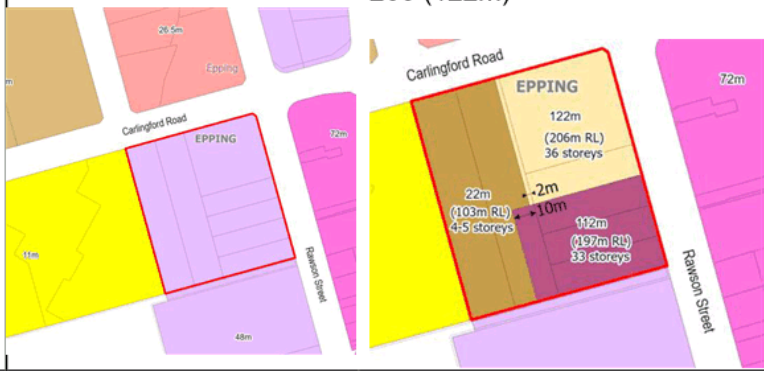
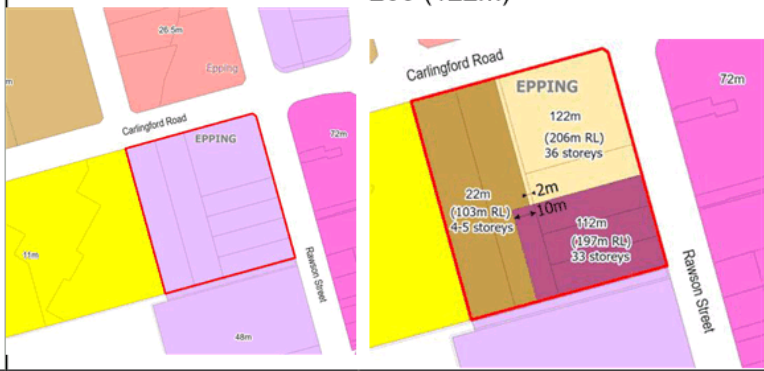
PLANNING PROPOSAL

16. In September 2023, the subject Planning Proposal was lodged by the applicant with Council seeking to amend the Height of Buildings control and to add 1:1 commercial FSR to facilitate a mixed use development comprising three towers. Following detailed review as part of the Planning Proposal assessment it was found that the three-tower configuration was not supported by Council officers as it would adversely impact solar access to the nearby park, as well as view corridors.
17. In response to these concerns, Council officers developed a preferred scheme which facilitated the same FSR but in a two-tower configuration. Although taller, the two-tower scheme resulted in a preferred outcome that reduced overshadowing to Boronia Park and adjoining land when compared to the applicant's original three tower scheme whilst decreasing the perception of bulk and scale and improving views to sky between and around towers.
18. Following ongoing discussions with the applicant, a revised Planning Proposal was subsequently submitted on 29 April 2024 (**Attachment 1**) that aligned with the Council officer scheme.

19. The Planning Proposal seeks to introduce an additional local provision specific to the site to allow an additional 1.5:1 commercial FSR (approximately 13,677 sqm comprising business, office or retail premises uses). Notwithstanding the existing 4.5:1 FSR, which permits a range of uses (including commercial) in the E1 Local Centre zone, the additional 1.5:1 commercial only FSR will mean that a maximum 6:1 FSR is permitted for the site, with at least 1.5:1 of the permitted FSR to comprise commercial. The increase in commercial floor area is consistent with Council’s strategies and reflects the intention of the previous Council led Planning Proposal by seeking to increase commercial offerings within the Epping town centre.

20. An increase in building height is also proposed from 48m to 122m to accommodate the proposed two tower scheme inclusive of the proposed additional commercial floorspace. Refer to **Table 2** below for an overview of the proposed PLEP 2023 amendments.

Table 2: Proposed PLEP 2023 Amendments

	Existing provisions	Proposed provisions
Zoning	E1 Local Centre	No change
FSR	4.5:1 for uses permitted with consent in E1 Local Centre zone	No change to existing 4.5:1 FSR for uses permitted with consent in E1 Local Centre zone. Addition of 1.5:1 commercial only FSR (6:1 FSR overall). Total 54,673 sqm: <ul style="list-style-type: none"> • 40,996 sqm residential (406 units) • 13,677 sqm non-residential
Height of Building (HoB)	48m 	RL 103 (22m), RL 197 (112m) and RL 206 (122m) 
Additional Local Provisions	Nil	Add a clause to Part 6, Additional Local Provisions of the PLEP 2023 specific to this site that permits an additional commercial only FSR of 1.5:1.

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	<p>Notwithstanding the existing 4.5:1 FSR, which permits a range of uses (including commercial) in the E1 Local Centre zone, the additional 1.5:1 commercial only FSR will mean that a maximum 6:1 FSR is permitted for the site, with at least 1.5:1 of the permitted FSR to comprise commercial.</p>
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LOCAL AND STRATEGIC MERIT CONTEXT

State Planning Policies and Strategies

21. The Planning Proposal is generally consistent with the relevant state policies and planning strategies including the Greater Sydney Region Plan, Central City District Plan, and Ministerial Directions under Clause 9.1 of the *Environmental Planning and Assessment Act 1979*.
22. The Planning Proposal meets all key objectives of the Greater Sydney Region Plan: A Metropolis of Three Cities. The Planning Proposal will facilitate the delivery of much needed commercial floor space in Epping adding a potential approximately 310 new jobs, and an improved retail offering on the site encouraging the growth of services to meet the needs of local residents (**Attachment 1**).
23. The Planning Proposal meets all the key objectives of the Central City District Plan. The Planning Proposal will facilitate future mixed-use development that will activate the surrounding streetscape including public domain works. Communal open space will be provided for future residents and publicly accessible open space will be provided in the form of a new park in accordance with the requirements of the SSDCP (**Attachment 1**).

Local Strategies

24. The Local Strategic Planning Statement (LSPS) identifies Epping as a Strategic Centre with a broad mix of land uses and a critical focus on infrastructure and growth. The LSPS policy directions state that Epping is a key strategic centre where high-rise development should be focussed (**Attachment 1**).
25. Significantly, the LSPS advocates for the outcomes of the Epping Town Centre Review to identify future employment needs within the Epping Strategic Centre.
26. The Local Housing Strategy (LHS) identifies Epping as a growth precinct within the Parramatta LGA projected to provide 8,910 dwellings by 2036. Priorities for Epping include providing new and upgraded open space as well as community facilities. The Planning Proposal meets these objectives by delivering publicly accessible open space in the form of a new park, communal open areas, and public domain works (**Attachment 1**).

ASSESSMENT OF PLANNING PROPOSAL

Land Use

27. The Planning Proposal seeks to amend PLEP 2023 to enable a greater amount of commercial floorspace in a future mixed-use development than can be accommodated under the current planning controls.
28. The Epping Precinct is identified as a Strategic Centre in the City of Parramatta LSPS and is the key commercial hub (along with the Parramatta CBD) in the LGA. Recent development in the Epping Town Centre has seen the reduction of commercial floorspace that has compromised its role as a key commercial hub. The Planning Proposal acknowledges this concern and states *“Epping continues to experience demand for retail and office floor space, however, development activity has seen commercial uses unable to access appropriate floor space to support their business”* (**Attachment 1**).
29. The Planning Proposal also notes that over the next 20 years there will be demand in the Epping Town Centre for 13,000 sqm of retail floorspace and 55,616 sqm of office floorspace. The established need for commercial floorspace is emphasised by the Planning Proposal and is the principal justification for the additional 1.5:1 FSR being sought.
30. The site presents a key urban renewal opportunity for the Epping Town Centre capable of providing an extensive commercial offering. It is in a highly accessible location, situated adjacent to Boronia Park and within 200m of Epping train station and bus interchange.
31. The Planning Proposal acknowledges the importance of the site in being able to deliver a significant amount of commercial floorspace on the western side of the Epping Town Centre and notes that this is consistent with the Council vision to address the shortfall in commercial floorspace in this area. A critical element in supporting the Epping Town Centre as a key commercial hub is the retention of the supermarket currently operating on the site. The applicant has indicated that they intend for this use to be retained and enhanced as part of any redevelopment of the site.
32. The submitted Planning Proposal recommends that a site-specific provision be added to PLEP 2023 that allows for the mapped FSR to be exceeded by 1.5:1 for “non-residential use”. It is recommended that the term “non-residential use” be replaced with “commercial premises” as defined in PLEP 2023. This will include *business premises, office premises and retail premises* but will not include other non-residential uses in the E1 Local Centre zone such as serviced apartments. This will ensure that the additional 1.5:1 FSR is used only for the purposes highlighted in the Planning Proposal and will directly help address the local shortfall in commercial floorspace. The applicant has agreed to Council officer’s recommended approach.
33. Other non-residential uses that are otherwise permitted in the E1 Local Centre zone will still be able to be included in any development, however the floorspace utilised for these other uses can only be drawn from the currently mapped FSR of 4.5:1. This approach is consistent with previous advice provided by DPHI

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relating to the Epping Town Centre Planning Proposal that is addressed in further detail below.

34. It is noted that the Planning Proposal is supported by several technical studies and analysis that are considered acceptable for the purpose of seeking a Gateway determination, including:
- Economic Impact Assessment (**Attachment 6**).
 - Flooding and Flooding Addendum Report (**Attachment 7**).
 - Transport Impact Assessment (**Attachment 8**).
 - Social Impact Assessment (**Attachment 9**).
 - Wind Assessment (**Attachment 10**).
 - Infrastructure Report (**Attachment 11**).

Retail and Economic Impact

35. The Planning Proposal is supported by a concept design that includes a total 13,677 sqm of commercial floorspace comprising:
- 7,430 sqm of either business or office floorspace.
 - 6,247sqm of retail floorspace (3,100 sqm supermarket and 3,147 sqm specialty retail).
 - 311 additional jobs created.
36. The Planning Proposal also envisages up to 420 residential apartments that can be accommodated in the existing 4.5:1 FSR within the proposed two towers.
37. The Epping Town Centre has undergone significant change in recent years with a significant decline in local commercial floorspace impacted by the introduction of extensive areas of high density residential redevelopment (as a result of planning controls introduced by the State Government in 2014). The economic analysis (**Attachment 6**) notes that there is a clear need for retail and commercial floorspace in the Epping Town Centre and the subject site is well placed to meet a proportion of this demand through the proposed planning provisions. It is therefore recommended that the Planning Proposal can be supported on economic grounds.

Urban Design, Built Form and Public Domain

38. The proposed two tower scheme (**Attachment 4**) will reinforce the role of the site as a key retail and commercial destination whilst providing a mix of open space, residential and commercial uses to support high levels of activation within the site and the locality. The proposed two tower scheme comprises the following (refer to **Figures 3 & 4**):
- 4-5 storey podium (C) – RL 103 = 22m.
 - 36 storey tower (A) - RL 206 = 122m.
 - 33 storey tower (B) - RL 197 = 112m.
39. A four-tower scheme would be necessary to accommodate the existing 4.5:1 FSR whilst complying with the 48m height limit and PDCP controls. However, noting existing flooding constraints, it is unlikely that a compliant scheme can be realised. The proposed two tower scheme is therefore recommended as the optimal configuration for this site (**Attachment 4**) so that the proposed 1.5:1

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commercial FSR and existing 4.5:1 FSR can be accommodated (6:1 total). The two-tower scheme will not result in adverse overshadowing to Boronia Park and adjoining land, will minimise the perception of bulk and scale, and provide improved views to sky between and around towers. The proposed height is comparable to nearby towers further to the east, which form part of the visual catchment of the site.

40. Publicly accessible open space is proposed on the ground floor comprising a 1,230 sqm park and 3,370 sqm plaza. The public open space is a requirement of the SSDCP. It will not be dedicated to Council given it is located above a basement, however Council would seek to secure an easement for public access. This will deliver improved site permeability, safety and security and activation of Rawson Street and Carlingford Road. The new park may include play elements that serve both children and adults such as climbing mounds, social lawn, bridge crossing and interpretive art, subject to DA assessment.
41. Council officers have amended the applicant's proposed Height of Buildings map that was provided in their Planning Proposal (refer to **Attachment 1** and **Attachment 2**) to better align the height mapping with the applicant's two tower scheme (**Attachment 4**). The applicant has since agreed with Council officer's recommended height mapping.

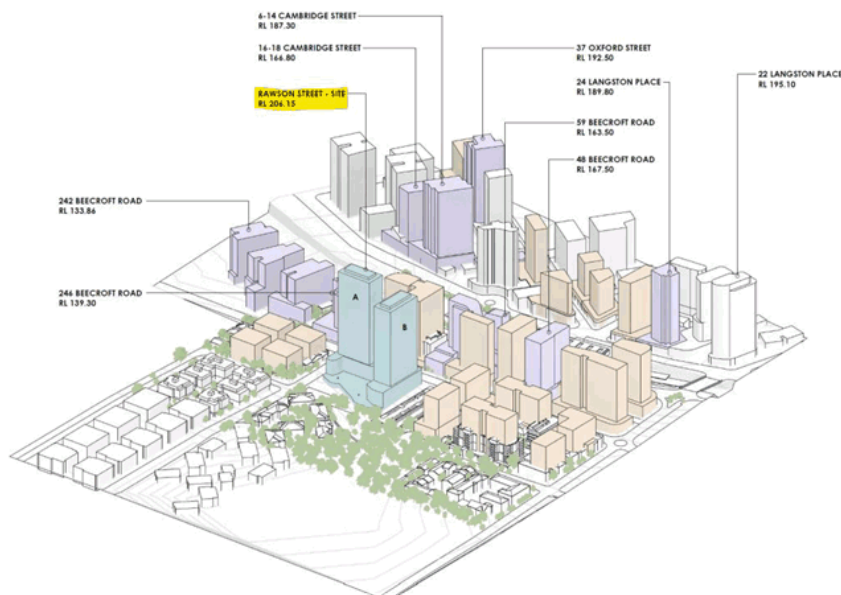


Figure 3: Epping Town Centre Built Form (existing development - white, approved development - purple, development possible under existing controls - orange, proposed subject site development - blue)

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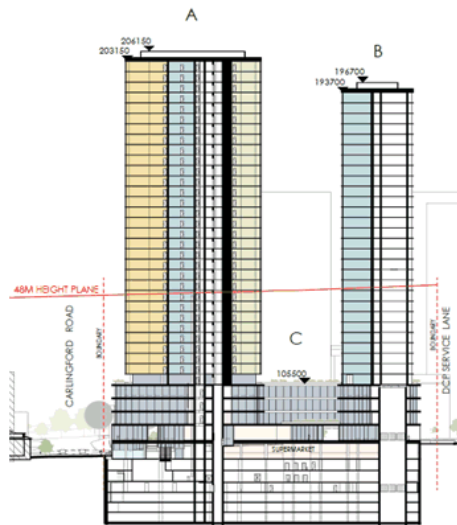


Figure 4: Proposed Scheme in section (looking east)

FLOODING

42. The site is affected by mainstream flooding from the Boronia Park Channel (located to the southwest of the site with depths between 1-10m during a 1% Annual Exceedance Probability (AEP) flood event – **Figure 5**), and negligible overland flooding/drainage. The flood affectation during the 1% AEP is isolated to the northwestern portion of the site, outside of the proposed building footprint. The submitted flooding report and flooding report addendum (**Attachment 7**) states that Epping Town Centre has a very low flood risk overall, and that flood poses a low risk to the building and its users. It also states that the change in flooding impacts (during a Probable Maximum Flood event) following the proposed redevelopment of the site is minor and poses low risk to the community.
43. The flood reports conclude that flooding concerns can be mitigated at DA stage through such measures as:
- a raised entrance crest to the basement level;
 - flood gates;
 - the first level with pedestrian access being located above the 1% AEP + freeboard and the PMF flood level (achieved in reference scheme);
 - residential floors being above the PMF flood level (achieved in reference scheme); and
 - a shelter-in-place strategy could be implemented if required.
44. It is noted that the public park shown on the indicative architectural drawings (**Attachment 4**) is proposed to be located on the flood affected part of the site given that buildings cannot be sited in this location, which would result in impacts upon flood storage.
45. Council's Flood Engineer generally concurs with the report findings and prospective risk management measures but raises some concern with the intensity of use of the proposed western laneway that traverses the flood affected portion of the site, and the use of mitigations such as flood gates. It is considered that concerns related to flooding can be properly explored at the DA stage once the building use and configuration is known, which will dictate the number of

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occupants and vehicle movements and thus, the level of risk. It is anticipated that flooding issues can be mitigated however in-line with the recommendations of the flooding reports noted earlier, particularly noting the low flood risk of the site.

46. Considering the low flood risk of the site and that risks associated with flood affectation can be overcome subject to flood risk management and further analysis at the DA stage, it is recommended that the access provision can be supported for the purposes of the Planning Proposal and SSDCP. Flood-specific planning controls are included in the SSDCP (**Attachment 3**) including controls that require the submission of a satisfactory Flood Management Plan, and the provision of flood mitigations as described above and detailed in the flooding report and flooding report addendum (**Attachment 7**).

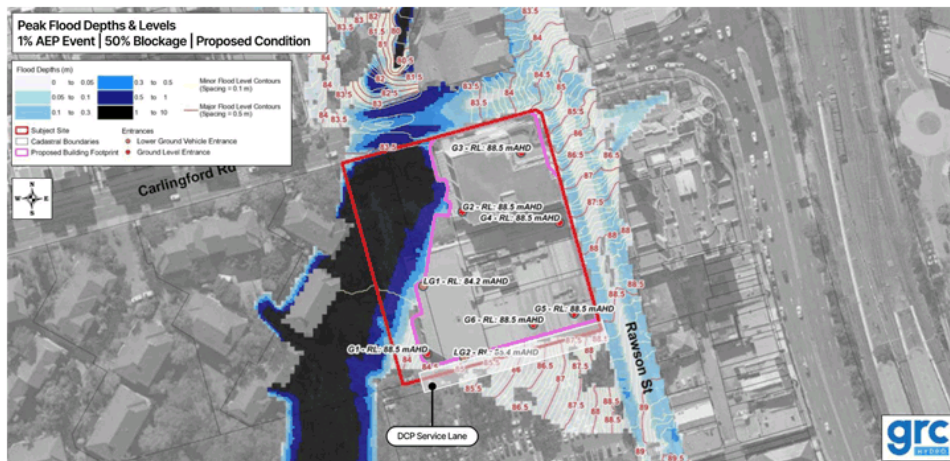


Figure 5: Flood affectation of the site during 1% AEP event

TRAFFIC AND TRANSPORT

Active and Public Transport

47. The site is close to the Epping Metro and Train Station. The City to South West Metro extension will further improve accessibility between Epping and the Sydney CBD (and other centres) when it commences operation.
48. A raised midblock pedestrian crossing on Rawson Street is near the subject site. The pedestrian crossing links the west of Rawson Street (via a pedestrian through link) to Epping Train Station. Council officers have been discussing an option with the applicant to signalize this pedestrian crossing to improve traffic flow along Rawson Street given the crossing is currently over-capacity (refer to Traffic Generation section below for more information).

Vehicular Access

49. The current PDCP requires a right-angle service lane through the site along the southern and western boundaries connecting Rawson Street and Carlingford Road. The applicant proposes to retain the same laneway configuration with access off Rawson Street (via a controlled intersection) for general traffic (given that this access would not be flood affected) and a service lane for service vehicles off Carlingford Road.

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50. Council's Traffic Engineer supports the proposed laneway access off Rawson Street and Carlingford Road but recommends the Carlingford Road access be utilised by both service and private vehicles as this would reduce traffic volumes in Rawson Street. The extent of use of the Carlingford Road access can be determined as part of the detailed design that will be required should a development application be lodged for the site.
51. It is noted that the submitted two tower scheme (**Attachment 4**) is based upon the existing laneway configuration provided in the current DCP, which has been carried into the draft SSDCP. The laneway configuration envisages half of the proposed southern laneway being constructed on adjoining Crown land that Council is in the process of compulsorily acquiring. In this respect, Council resolved in June 2023 to pursue acquisition of this land (**Figure 6**), for the purpose to facilitate access to Boronia Park and improve the road network in the Epping Town Centre.
52. Notwithstanding, there has been no commitment from Council that the land to be acquired will be made available to help facilitate development of the subject site, particularly noting that the use of the Council car park would need to be considered as part of any future master planning process for the surrounding area (refer to proposed Epping Town Centre Master Plan section). If a portion of the laneway is not constructed on Council land as envisaged, alternative options would need to be explored, which could include:
- construction of the laneway solely on the applicant's land
 - construction of only half of the laneway on the applicant's land to be utilised as a one-way access
 - providing direct basement access from the Rawson Street frontage
53. Any such options as those identified above would need to be demonstrated as part of any future DA and be subject to traffic and flooding considerations (refer to Assessment of Planning Proposal section). If the applicant does seek to provide the laneway partially on the land that Council is currently being compulsorily acquired, suitable negotiations will need to be entered into with Council.



Figure 6: Enlarged aerial view showing site boundary with Council car park including disused strip of land immediately north of parking spaces

54. As part of the preparation of the subject Planning Proposal, input was sought from Transport for NSW (TfNSW) who have provided correspondence to the applicant and Council for consideration before the Planning Proposal is submitted for Gateway. Matters for consideration included:

- How the design responds to various vehicle and pedestrian upgrades earmarked in the Outside CBD Contributions Plan.
 - TfNSW advice on service vehicle access in the laneway.
 - Acknowledgement of the applicant's suggested additional eastbound lane along Carlingford Rd, and TfNSW offering to be involved in these discussions.
 - Suggesting the Transport Impact Assessment be updated to include a warrants assessment and safety assessment in relation to the applicant's suggestion to upgrade the zebra crossing south of the Council car park with a signalised crossing.
55. The TfNSW correspondence does not object to the Proposal and the measures suggested by TfNSW have been addressed in the applicant's revised Transport Impact Assessment (TIA) (see Table 1.1 - **Attachment 8**).

Traffic Generation

56. The applicant's revised TIA (**Attachment 8**) states that the development of the site is expected to generate approximately 273 and 450 new vehicle trips in total in the AM and PM peak hours (including service vehicle trips). When compared to the existing development on the site, the proposed development as a whole (i.e. 6:1 FSR) will generate a net increase of approximately 132 and 138 vehicle trips in the AM and PM peak hours.
57. The proposed traffic anticipated to travel through the key surrounding intersections is expected to be relatively minor, contributing up to 3% additional traffic compared to existing traffic volumes. It is noted that this 3% traffic increase will occur once the entire site is developed at the proposed 6:1 FSR, therefore, the additional traffic increase associated with just the proposed 1.5:1 commercial FSR component would be less than 3%.
58. Some additional impact is expected to occur on the Carlingford Road/Rawson Street/Ray Road intersection during the AM peak hour given the intersection already has limited capacity for right turns from Rawson Street to Carlingford Road. Notwithstanding the subject Planning Proposal will have a minimal impact upon this existing constraint.
59. Council's Traffic and Transport team have been working closely with the applicant on mitigations that could be undertaken to lessen existing and potential future impacts upon the pedestrian and road network. The following pedestrian crossing and road upgrades are currently being explored, which are identified in Council's outside CBD Contributions Plan:
- New signalised pedestrian crossing – install an operated signal crossing to the south of the Council car park on Rawson Street. In conjunction with this, the applicant and Council officers are also investigating the potential removal of the pedestrian crossing on the eastern approach to the Carlingford Road/Rawson Street/Ray Road intersection. According to the applicant's revised TIA (**Attachment 8**) the removal of the pedestrian crossing would result in greater "effective green time" for left turning vehicles from Ray Road and right turning vehicles from Rawson Street.

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- Rawson St upgrades - lengthening the existing left turn slip lane from Carlingford Road onto Beecroft Road to provide a full-length lane between Rawson Street and Beecroft Road, and conversion of the lane to allow both right and left turn movements from Carlingford Road onto Beecroft Road. According to the applicant's TIA, the provision of three lanes will provide greater opportunity for vehicles from Rawson Street to turn onto Carlingford Road.
60. The new signalised pedestrian crossing and Rawson St upgrade works are envisaged to take between 5-10 years according to Council's works program. The proposed additional 1.5:1 commercial only FSR will generate additional contributions in accordance with Council's Outside CBD Contributions Plan, contributing up to \$2,506 per additional worker based upon a sqm rate that ranges from 20 sqm per worker (for an office premises) up to 224 sqm per worker (for a vehicle sale or hire premises – a type of retail premises). According to the submitted Economic Assessment (**Attachment 6**), the proposed 1.5:1 commercial FSR (13,677 sqm approx.) will comprise:
- 7,430 sqm of either business or office floorspace = estimated development contributions of \$930,979 (office premises) or up to \$423,172 (business premises).
 - 6,247sqm of retail floorspace (3,100 sqm supermarket and 3,147 sqm speciality retail) = estimated development contributions of \$141,247 (supermarket) and \$138,357 (speciality retail).
61. Based on the above figures provided by the applicant, the estimated development contributions would be up to \$1,210,583 (should office premises be pursued under first option above). The applicant could opt to either pay these additional contributions (whereby Council would undertake the works in accordance with the Outside CBD Contributions Plan) or carry out the works and have the contributions offset via a Works in Kind Agreement at the development application stage.
62. Considering the minor increased traffic that will result from the additional floorspace that would be permitted under the Planning Proposal, and that mitigations are being investigated to lessen existing pedestrian and traffic impacts, the Planning Proposal is supported noting the critical need for commercial activation of the Epping Town Centre.
63. The proposal will also be formally referred to TfNSW should this Planning Proposal proceed to public exhibition where feedback will be sought as to whether they are satisfied with the measures proposed in the submitted Transport Impact Assessment following their preliminary advice on this matter which does not raise any objection to the Planning Proposal.

RELATIONSHIP TO EPPING TOWN CENTRE PLANNING PROPOSAL

64. As noted earlier, Council has previously sought to increase the provision of commercial development within the Epping Town Centre via a precinct wide Planning Proposal that was refused by DPHI at Gateway stage despite that Planning Proposal demonstrating a general strategic alignment with relevant State and local strategic plans.

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65. A key reason provided by the now DPHI for the refusal of the previous Planning Proposal was that there was no guarantee that the intended outcome of the Planning Proposal would be achieved. Specifically, the Council initiated Planning Proposal sought to allow an additional 1:1 FSR for “non-residential uses” above the existing mapped FSR. The now DPHI Gateway Determination report stated that *“It is considered that if the market deems it more feasible to provide other non-residential uses over commercial floorspace, than these other non-residential uses will be provided by landowners unless the provision of commercial floorspace is specifically mandated by the proposed provisions”* (Gateway Determination Report – P8).
66. The precinct wide Planning Proposal identified that not all sites within the identified area could deliver the intended outcome as they had already been recently developed, had recent development consents or were constrained due to their lot configuration. The Gateway Determination report noted that a more targeted approach to sites that can in fact deliver the intended outcome would be preferred. The site at 53-61 Rawson Street is one such site that can deliver this intended outcome and hence is being pursued as a site-specific Planning Proposal in this instance. As a result, the subject Planning Proposal addresses the concern about the nature of uses that the additional floorspace would be used for by recommending that the additional FSR to be provided under this Planning Proposal be instead required to be provided as *commercial premises*.
67. The Gateway Determination report also stated that the Planning Proposal was not supported due to it resulting in a worsening traffic outcome for the Epping Town Centre. This was reinforced by advice from TfNSW advising that Council’s Proposal not be supported. The subject Planning Proposal will only result in a minor increase in traffic generation that will not result in adverse impacts to the extent they were projected under the previous Planning Proposal. As noted earlier, the advice provided by TfNSW does not object to the subject Planning Proposal (refer to Traffic section) but will be referred to them again should it proceed to public exhibition.
68. It is noted that the Council Planning Proposal also sought an increase in height from 48m (15 storeys) to 80m (24 storeys). Whilst this is less than what is currently proposed under the subject Planning Proposal (122m / 36 storeys) subsequent analysis of the flooding constraints presented by the site indicate it is unlikely that the 1:1 commercial proposed under Council’s Planning Proposal in conjunction with the existing 4.5:1 FSR could have been reasonably accommodated within the proposed 80m height.

PROPOSED EPPING TOWN CENTRE MASTER PLAN

69. At the Council Meeting on 13 May 2024, a Notice of Motion was considered that sought to commence the preparation of a scoping study to prepare a Master Plan for the Epping Town Centre. Council resolved that a scope for the preparation of the Master Plan be prepared that addresses a range of issues including laneways and circulation within the precinct as well as opportunities to improve traffic and accessibility and built form and public domain interfaces. The Master Plan will also consider the role of Council’s Rawson Street car park to the immediate south of the subject site in achieving its objectives and requirements for Epping.

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70. Council also resolved that the Master Plan inform a potential review of the existing planning controls for the Centre and it provide costs and timing for any changes that may be proposed. The scoping report will be prepared in the coming months.

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

71. A draft Site-Specific Development Control Plan (SSDCP) (**Attachment 3**) has been prepared by the applicant to accompany the Planning Proposal. The draft SSDCP provides details on site arrangement, road layout, envelope controls and open space including public domain parameters consistent with the concept design for the site.
72. The draft SSDCP will amend controls specific to the Epping Local Centre as outlined in Parramatta DCP 2023 (Part 8.1.1.1) and will provide site-specific controls for:
- Site layout and envelope - establishing a site plan that dictates the future location of built form, streets, and public domain.
 - Open space and public domain - setting out the quality and character of the internal plaza and publicly accessible open space area.
 - Laneway access - to be supported by appropriate design treatments and flood control measures.
 - Setbacks - bespoke controls responding to the corner location at Carlingford Road and Rawson Street and site constraints.
 - Building height and number of storeys – requires two towers only, and height in storeys to correspond with the proposed PLEP 2023 height control.
 - Floor to floor heights - to meet National Construction Code requirements, structure, and servicing input (falls within the slab).

PLAN-MAKING DELEGATIONS

73. Should Council resolve to endorse the Planning Proposal to proceed, it is recommended that Council request that it exercise its plan-making delegations. This means that once the Planning Proposal has been to Gateway, undergone public exhibition and been adopted by Council, Council officers will deal directly with the Parliamentary Counsel Office on the legal drafting and mapping of the amendment. The LEP amendment is then signed by the CEO before being notified on the NSW Legislation website.

CONSULTATION & TIMING

74. The Planning Proposal and supporting documents were referred internally to various Council staff/teams including City Design, Flooding and Traffic, and Open Space teams. External referrals were also issued to TfNSW and DPHI, who have not objected to the Planning Proposal.

FINANCIAL IMPLICATIONS FOR COUNCIL

75. Should Council resolve to proceed with the Planning Proposal, the costs incurred in conducting the community consultation are covered by the fees associated with the submission of the Planning Proposal.

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CONCLUSION AND NEXT STEPS

76. This report recommends that the Planning Proposal for 53-61 Rawson Street, Epping be submitted to the DPHI for Gateway assessment.

Simon Coleman
Project Officer Land Use

Michael Rogers
Land Use Planning Manager

David Birds
Group Manager, Major Projects and Precincts

Jennifer Concato
Executive Director City Planning and Design

ATTACHMENTS:

1	Applicant's Planning Proposal Report	102 Pages
2	Additional Local Provisions Map and HOB Map	2 Pages
3	Draft Site Specific DCP	
4	Indicative Architectural Drawings (two tower scheme) and Public Domain Plans	25 Pages
5	Previous Council Planning Proposal	163 Pages
6	Economic Impact Assessment	39 Pages
7	Flooding Report and Flooding Addendum Report	78 Pages
8	Transport Impact Assessment	246 Pages
9	Social Impact Assessment	2 Pages
10	Wind Assessment Report	22 Pages
11	Infrastructure Report	23 Pages

VIEW 21 MAY 2024 LOCAL PLANNING PANEL MEETING BUSINESS PAPER TO ACCESS ATTACHMENTS:

https://businesspapers.parracity.nsw.gov.au/Open/2024/05/LPP_21052024_AGN_939_AT.PDF

REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER	13.6
SUBJECT	Customer Experience Transformation Plan for City of Parramatta
REFERENCE	F2024/00282 - D09470839
REPORT OF	Group Manager Communications & Customer Engagement

CSP THEME: Fair

WORKSHOP/BRIEFING DATE: Councillor Workshop Briefing – 29 May 2024

PURPOSE:

The purpose of the report is to provide key findings of the 2023-2024 customer service review and seek endorsement for the introduction of a Customer Experience Transformation Plan to improve resident and business experience and seek additional funding to support its implementation.

RECOMMENDATION

- (a) That Council endorse the introduction of a Customer Experience Transformation Plan to improve the customer experience for residents and businesses across the local government area (LGA).
- (b) That Council note that a Customer Relationship Management (CRM) system will be introduced in the 2024/25 financial year, allowing Council to better track customer interactions, build greater understanding of customer experience and streamline customer journeys.
- (c) That Council note the need for investment in a new City of Parramatta website as a critical step in improving customer experience.
- (d) That Council endorse the allocation of \$250,000 from the draft 2024/25 budget (general revenue savings obtained from Emergency Services Levy (ESL)) to support the first stage implementation of the Customer Experience Transformation Plan, noting that this will not impact the \$6 million operating surplus proposed for 2024/25.
- (e) That the CEO provide a further report to Council on the proposed options for funding the implementation of the unfunded components of the Customer Experience Transformation Plan in the 2024/25 financial year.

BACKGROUND

- 1. Council provides customer service to a population of more than 256,729 (Australian Bureau of Statistics, 2021 Census) through a variety of channels including a contact centre, website, email and face-to-face interactions. The City's population is forecasted to reach 446,021 (Forecast.id) by 2041.
- 2. Council conducts an annual Community Satisfaction survey of residents and businesses across four areas: services, facilities, environmental initiatives and relationship with the community.

3. Data collected from the survey is used to inform Key Performance Indicators (KPIs) for Council service delivery published in the annual Delivery Program and Operational Plan (DPOP), track progress and identify areas of focus and improvement.
4. The 2023 Community Satisfaction survey was conducted by an independent market research agency and received 1917 respondents. It found overall community satisfaction with Council had increased from a mean score of 3.30 to 3.39 (out of 5).
5. However, the ease of interaction with Council was stagnant and overall satisfaction with Council was lower amongst those who had interacted with Council in the past 12 months.
6. Staff considered results of the survey as part of a broader analysis of service data from across the organisation including service requests, complaints, contact centre and other customer satisfaction data, research and community feedback to inform a program of actions to improve customer experience.
7. In 2023, Council received 136,839 calls to the Contact Centre during business hours. The Contact Centre team also managed 69,238 emails (direct and to the general mailbox) and 4,059 items of hard copy mail correspondence.
8. Council's current resourcing is insufficient to manage these volumes, schedule coaching and training focused on quality service delivery and consistently achieve published customer service KPIs in the DPOP of >80 per cent customer satisfaction with the Contact Centre and >80 per cent of calls being answered within 30 seconds. This challenge will become more acute as the population grows.
9. The research assessed included a survey of more than 1139 website users. It found while 68 per cent of respondents rated the site 'good' or 'very good' for ability to find what they were looking for; the experience was less positive amongst less frequent visitors and users lodging a service request. Respondents highlighted a need for better search and navigation to meet the standards expected by customers.
10. The website's architecture is limiting the Council's ability to ensure the web experience for customers is fully accessible. An audit conducted by the Centre for Accessibility Australia in November 2023 found 38 per cent of the examined Council website features failed to meet compliance standards with navigation presenting the biggest challenge for compliance.
11. A key action in Council's Diversity Inclusion Action Plan for 2022-26 is to work towards ensuring the website achieves Web Content Accessibility Guidelines (WCAG) 2.1AA as part of a commitment to improving access to services through improved systems and processes.
12. The current website is not fully mobile responsive. In 2023, 64.7 per cent of website users accessed the website by mobile device (Google Analytics).

ISSUES/OPTIONS/CONSEQUENCES

13. A Customer Experience Transformation Plan has been developed to address identified pain points for customers, respond to customer feedback and satisfaction data and enhance the Council's ability to monitor and evaluate customer experience.
14. The plan is based around four pillars with key actions designed to significantly improve customer satisfaction.
15. Pillar 1: Create a consistent, quality and seamless customer experience: Council currently lacks a single source of truth that allows it to effectively track customer interactions and requests. Research identified scope to improve workflows to ensure customer service teams are better armed for major change initiatives and provide a consistent experience, regardless of channel.
16. The plan outlines Pillar 1 actions designed to ensure customers are delivered the same high-quality experience regardless of channel and strives for 'tell us once' transactions. It includes the accelerated introduction of a Customer Relationship Management (CRM) system that will deliver a single source of truth for customer interactions and assist customers to track progress of requests in real-time, reducing volume of incoming calls. It also includes changes to Council workflows to ensure consistent messaging across all channels and consideration of any necessary structural realignment that reinforces the delivery of a consistent, high quality customer service experience.
17. Pillar 2: Deliver services where and when customers want them: Data shows a shift to service requests being lodged online however research identified poor user experience with the online lodgment process, a desire for improved search functionality and a need for improved accessibility and user experience for customers on mobile.
18. The plan outlines Pillar 2 actions to deliver customer services where and when they need them and to better understand customer preferences for service delivery. It includes investment in a new website that better supports customer journeys, meets accessibility needs, is mobile responsive and better supports integrations such as a CRM, email marketing and event booking platforms.
19. The plan proposes an increase in Customer Service resourcing to ensure the Contact Centre can meet service expectations and KPIs and test demand for alternate offerings including mobile customer service pop-ups.
20. Pillar 2 actions also include further research including a community survey of 1000 people to enhance understanding of customer preferences and unmet service needs.
21. Pillar 3: Deepen customer engagement: The community satisfaction survey data shows potential to deepen our customer engagement and improve awareness of how to engage with Council and its service offering. The survey also illustrated lower ratings amongst business owners than residents.

22. The plan outlines Pillar 3 actions to build faster, stronger connections to better understand customer needs and drive satisfaction. It includes the introduction of digital welcome packs for new residents and businesses and a new concierge-style contact point for local businesses to support their interaction with Council and drive continuous improvement in Council processes. It also seeks to improve customer experience for Culturally and Linguistically Diverse communities.
23. Pillar 4: Build a customer-centric culture: Data collected through the project found satisfaction scores were generally high for customers when interacting with customer service staff however, the same commitment to customer experience was not evident in other layers across the organisation.
24. The plan outlines Pillar 4 actions to build a customer-centric culture across the organisation that drives faster service request resolution and greater focus on customer experience through training, monitoring, performance and recognition. It includes the creation of a new Customer Advocate role to assist with complaint management, identify any process issues and drive continuous improvement.
25. To ensure customer experience benefits can be delivered as quickly as possible, it's proposed to create a two-year contract role for a project manager to oversee an aggressive implementation timeline.

CONSULTATION & TIMING

Stakeholder Consultation

26. The following stakeholder consultation has been undertaken in relation to this matter:

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
October 2023 – May 2024	Internal	Feedback was sought on key challenges and pain points experienced by customers.	Feedback enhanced understanding of key customer pain points and system limitations	City Engagement & Experience
January 2024	Internal Ombudsman Shared Service	Feedback was sought on key drivers for customer complaints and proposed actions by Council to address it. IOSS supportive of renewed customer focus.	Noted	City Engagement & Experience
May 21 2024	Executive Team	Briefing on the key actions of the Customer Experience Transformation Plan included proposed evaluation mechanisms and	Noted	City Engagement & Experience

		implementation timelines.		
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Councillor Consultation

27. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
29 May 2024	Councillor workshop	Briefing on the key actions of the Customer Experience Transformation Plan. The briefing included proposed evaluation mechanisms and implementation timelines.	Noted	City Engagement & Experience

LEGAL IMPLICATIONS FOR COUNCIL

28. There are no legal implications for the Council as a result of this report.

FINANCIAL IMPLICATIONS FOR COUNCIL

29. The additional cost of implementation of the Customer Transformation Plan is estimated at \$1.48 million over the next two financial years (2024/25 and 2025/26).
30. The costs to implement each component of the Transformation Plan are set out below:

One-off Project Costs

- New website establishment: \$300,000 (one-off expenditure proposed to be funded from ESL savings and existing budget allocation)
- Introduction of a CRM: \$250,000 (one-off expenditure already budgeted for in the TechOne upgrade for 2024/25)
- Temporary Project Manager (2 years) one-off expenditure approximately \$185,00 per annum.

Ongoing Project Costs

- Customer Service Officers (permanent increase of six (6) FTE and ongoing expenditure): \$480,000 per annum (with potentially 2 to be funded from the domestic waste reserve).
- Customer Advocate (permanent increase of one (1) FTE and ongoing expenditure): \$145,000 per annum

- Business concierge and associated marketing: within existing resources.
31. Whilst some of the implementation can be funded from the domestic waste reserve (approximately 35% of all customer enquiries relate to domestic waste services and illegal dumping), additional funds will need to be allocated by Council on a one-off and ongoing basis to facilitate the proper implementation of the plan.
32. Potential funding sources include:
- a. Domestic Waste Reserve
 - b. State and Federal grants (for website upgrades and digitisation)
 - c. Internal savings and/or additional revenue
 - d. Reallocation of general reserve funds from a capital project(s) to fund operational expenditure.
33. The table below summarises the financial impacts on the budget should the Council support the immediate implementation of the Customer Experience Transformation Plan. Adoption of this total expenditure would result in a reduction in Council's proposed surplus for 2024/25.
34. It is recommended that the CEO prepare a further report to Council to identify potential funding sources for the ongoing implementation of the Plan.

	FY 24/25	FY 25/26
Revenue		
Internal Revenue		
External Revenue		
Total Revenue	N/A	N/A
Funding Source	General Reserve	General Reserve
Operating Result		
External Costs		
Internal Costs	606,000	874,470
Depreciation		
Other		
Total Operating Result	606,000	874,470
Funding Source	N/A	N/A
CAPEX		
CAPEX		
External fund – Sydney Metro West		
Internal fund		
Other		
Total CAPEX	N/A	N/A

Sally White

Group Manager Communications & Customer Engagement

Amit Sharma

A/ Executive Director - Finance and Information

Angela Jones-Blayney

Executive Director City Engagement & Experience

Gail Connolly

Chief Executive Officer

ATTACHMENTS:

There are no attachments for this report.

REFERENCE MATERIAL

REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER	13.7
SUBJECT	Adoption of Delivery Program, Operational Plan and Budget (DPOP) 2024/25 and Resourcing Strategy
REFERENCE	F2024/00282 - D09390509
REPORT OF	Corporate Strategy Manager; Chief Financial Officer

CSP THEME: Fair

WORKSHOP/BRIEFING DATES: 28 Oct 2023, 30 Oct 2023, 6 Dec 2023, 7 Feb 2024, 14 Feb 2024, 28 Feb 2024, 6 Mar 2024, 27 Mar 2024, 10 Apr 2024, 3 June 2024

PURPOSE:

To seek adoption of the Year 3 Delivery Program 2022-26 (inclusive of Operational Plan and Budget 2024/25, Rates 2024/25, and Fees and Charges 2024/25) and the Resourcing Strategy suite of plans including the Long Term Financial Plan, Workforce Management Strategy and Asset Management Strategy and Plans, following public exhibition.

RECOMMENDATION

- (a) That Council adopt the updated four-year Delivery Program (2022/23 – 2025/26) and one-year Operational Plan (2024/25) (DPOP), inclusive of the Annual Budget 2024/25 and the Schedule of Fees and Charges 2024/25 (to commence from 1 July 2024).
- (b) That Council adopt expenditure totalling \$534.7 million in the Budget 2024/25 (which incorporates the operating and capital budgets) and the funds to cover such expenditure be voted.
- (c) That Council note the updated suite of Resourcing Strategy plans and:
 - i. Adopt the Long-Term Financial Plan 2025-34;
 - ii. Adopt the Asset Management Strategy 2025-34 including Asset Management Plans for Buildings, Parks and Open Spaces, Stormwater and Road Infrastructure; and
 - iii. Endorse the Workforce Management Strategy 2024-28.
- (d) That Council note the submissions received via the public exhibition process, as outlined in the Engagement Evaluation Report (**Attachment 12**), have been taken into consideration in the finalisation of all plans.
- (e) That, in accordance with s496, s496A, s534 and s535 of the *Local Government Act 1993*, Council makes rates and charges for every parcel of rateable land within the City of Parramatta Local Government Area for the year commencing 1 July 2024 as detailed in the Rates and Charges section of the 2024/25 Operational Plan (**Attachment 2**).

- (f) That the Chief Executive Officer be delegated authority to make changes of a minor, administrative and/or non-policy nature to the adopted/endorsed documents in the process of finalising them for publication.

BACKGROUND

1. In accordance with the Integrated Planning and Reporting (IP&R) requirements in the Local Government Act (s404, s405), in 2022 Council adopted a four-year Delivery Program for the period 2022-2026, inclusive of a 'Year One' Operational Plan & Budget 2022/23, along with a supporting 10-year Long Term Financial Plan.
2. The Delivery Program specifies Council's principal activities in response to the high-level goals and strategies in the City's Community Strategic Plan 2018-38 (CSP), including the services to be delivered, projects, and methods to measure success.
3. In 2023, these documents were updated for 'Year Two' and adopted in June 2023.
4. The Delivery Program has now been updated for 'Year Three', inclusive of a draft Operational Plan & Budget for Financial Year 2024/25 (the combined suite of documents known as 'the DPOP'). The Operational Plan components outline the projects, programs and budgets and include rating structures and a schedule of fees and charges for 2024/25. The DPOP is supported with an updated 10-year Long Term Financial Plan (LTFP) for 2025-34.
5. In accordance with the Local Government Act s403, Council must also have a long-term strategy (its "resourcing strategy") for the provision of the resources required to perform its functions. The Resourcing Strategy is a suite of plans comprising the LTFP, Workforce Management Strategy, and Asset Management Strategy including associated plans for Buildings, Parks and Open Spaces, Stormwater and Road Infrastructure assets.
6. On 28 October 2023, the CEO and staff commenced a strategic review and update of the Delivery Program, Operational Plan and Resourcing Strategy suite. A full day workshop was held with Councillors to set Strategic Policy Directions for Income, Expenditure, and the Capital program, followed by a comprehensive series of more detailed workshops.
7. Following endorsement by Council on 22 April 2024, the draft DPOP including Budget, Rates, Fees & Charges, and draft Resourcing Strategy were placed on public exhibition from 24 April to 22 May 2024. During this time, 33 submissions were received, as outlined in **Attachment 12**.
8. The final draft DPOP including Budget, Rates, Fees & Charges (**Attachments 1-4**), and final draft Resourcing Strategy suite (**Attachments 5-11**) are now presented to Council for adoption.

ISSUES/OPTIONS/CONSEQUENCES

9. The DPOP, including Budget, Rates, Fees & Charges, and the LTFFP must be adopted by Council by 30 June 2024, to commence implementation from 1 July 2024 (Act s405).
10. A small number of changes are proposed to the final draft documents, in response to Councillor, community and internal stakeholder feedback received through the public exhibition period.
11. An overview of changes made can be found in **Attachment 13**. These include:
 - Minor edits and design improvements to improve accuracy and readability;
 - DPOP Part 4 (found in **Attachment 1**): Minor changes to projects and KPIs based on feedback received and the most recent available reporting information (e.g. elevating several already-budgeted projects to 'Key Projects' and adjusting delivery dates and KPI targets);
 - Minor adjustments to some Fees & Charges (**Attachment 3**) including new discounted rates for some venue hire fees, specification of venue hire durations, and amended rates for some roads and infrastructure fees.

CONSULTATION & TIMING

Stakeholder Consultation

12. In accordance with statutory requirements, a minimum 28 day public exhibition was undertaken from 24 April to 22 May 2024 (see engagement outcomes in **Attachment 12**), resulting in 33 submissions.
13. The following stakeholder consultation has been undertaken in relation to this matter:

Date	Stakeholder	Stakeholder Comment	Council Officer Response	Responsibility
June 2023 - September 2023	Community - via five (5) 'Your Place, Your Voice!' ward workshops	Various feedback received via priority setting / participatory budgeting activities.	Results assessed by Council staff, workshopped with Councillors and included in workshops for draft DPOP.	Corporate Strategy & Research & Engagement teams
24 April 2024 – 22 May 2024	Multiple via public exhibition process	33 submissions received – see Attachment 12 for summary of submissions	Multiple – see Attachment 12 for summary of responses	Corporate Strategy with relevant Executive Directors

Councillor Consultation

14. The following Councillor consultation has been undertaken in relation to this matter:

Date	Councillor	Councillor Comment	Council Officer Response	Responsibility
Sat 28 Oct 2023 9am-5pm	Councillor Strategy Day	Various discussion / directions provided on 2024/25 budget, capital works program, city vision and organisational strategy	Direction used to set direction for upcoming strategic projects	Finance & Information / City Assets & Operations / City Planning & Design
Mon 30 Oct 2023 7:30pm-9pm	Councillor Workshop	General discussion of <i>Your Place, Your Voice</i> community workshop results	Direction used to set direction for upcoming strategic projects	City Engagement & Experience
Wed 6 Dec 2023 6pm – 10pm	Councillor Workshop	Feedback provided on budget principles, Councillor workshop process and proposed timeline.	Amendments made to Councillor workshop schedule and project timelines. Commenced internal development of draft DPOP.	Finance and Corporate Strategy teams
Wed 7 Feb 2024 6pm – 9:06pm	Councillor Workshop	Various feedback provided on Services and KPIs	Feedback incorporated into draft content	Corporate Strategy / Executive Directors
Wed 14 Feb 2024 5:52pm – 9:01pm	Councillor Workshop	Various feedback provided on Capital Projects	Feedback incorporated into draft content	Finance / capital delivery teams
Wed 28 Feb 2024 6:07pm – 8:45pm	Councillor Workshop	Various feedback provided on draft Fees & Charges	Feedback incorporated into draft content	Finance / Executive Directors
Wed 6 Mar 2024 6pm – 7:45pm	Councillor Workshop	Various feedback provided on draft Workforce Management Strategy	Feedback incorporated into draft content	Acting ED People, Culture & Workplace

Wed 27 Mar 2024 6pm – 8:15pm	Councillor Workshop	Various feedback provided on draft Asset Strategy	Feedback incorporated into draft content	Finance / asset teams
Wed 10 Apr 2024 6:15pm – 9:30pm	Councillor Workshop	Various feedback provided on final draft Key Projects, KPIs, Operating Plan, LTFP and proposed public exhibition process	Feedback incorporated into draft content	Corporate Strategy / Finance teams
Mon 20 May 2024	Councillor Kellie Darley via email	<ul style="list-style-type: none"> - Seeking various clarifications relating to projects and budget details - Requests for a number of already budgeted projects to be featured as Key Projects - Suggestions for several non-policy editorial amendments 	<p>Further information has been provided relating to items raised, including at a workshop on 3 June.</p> <p>Some amendments have been made in response, including:</p> <ul style="list-style-type: none"> - Ermington Foreshore Stage 3 project corrected to 'Rydalmere Foreshore' - Several already budgeted projects now featured as 'Key Projects' including Playground Replacement Program, Pavilion Capital Improvement Program, Parks Stormwater Reuse Program, Waste Strategy, Events and Festivals Strategy, Year 1 Heritage Review - Target for 'Visitation of Libraries' KPI increased to 	Corporate Strategy and Finance, with relevant Executive Directors

			1.2m/y based on updated visitation figures - Target completion dates for Smart City Strategy and Environmental Sustainability Strategy brought forward to 31 Dec 2024 - Several non-policy editorial amendments / corrections incorporated.	
Wed 22 May 2024	Councillor Kellie Darley via email	Request for alternative modelling for waste levy surcharge and waste reserve balance forecast	Alternative model presented for discussion at Councillor Workshop 3 June 2024	Finance
Mon 3 June 2024	Councillor Workshop	Discussion of public exhibition feedback, final drafts and changes proposed prior to returning to Council Meeting 24 June	Final drafts completed for Council meeting for adoption	Corporate Strategy, Finance

15. As detailed in the above table, between October 2023 and June 2024, Councillor engagement for the draft documents included:

- a. Ten (10) Councillor workshops/briefing sessions (including a weekend strategy day focused on budget principles)
- b. The provision of early draft content (e.g. draft project lists, budgets, KPIs and draft documents as available)
- c. More than 32 hours of detailed discussions with a mix of activities, staff presentations, priority setting, open forum and Q&A sessions
- d. Over 1,600 pages of reports and contents provided on the Councillor portal, including written responses to queries raised during each workshop
- e. Additional opportunities provided for 1:1 meetings/discussions with staff at Councillors' request.

LEGAL IMPLICATIONS FOR COUNCIL

16. There are no legal implications for Council associated with this report.

FINANCIAL IMPLICATIONS FOR COUNCIL

17. In 2024/25, Council is budgeting for an underlying operating surplus of \$6 million (before capital grants and contributions, and any loss/gain on asset disposals), with key highlights as below:

- a. Adoption of IPART approved rate peg of 5.1%.
- b. 0% increase to the Domestic Waste Charges for the next three financial years i.e. FY2025 to FY2027 and a \$50 one-off rebate towards the cost of the Domestic Waste Charge in FY2025 for residential rate payers.
- c. Raise unregulated fees and charges to contribute more than 10% of the total operating revenue.
- d. Hold employee costs at FY24 levels.
- e. Realign the capital program budget allocation to reasonable levels and reduce the burden on general reserves.
- f. Realign the Materials and Contracts expenses with service levels and project requirements.

18. The Long-Term Financial Plan has been constructed with ongoing operational revenues and expenses. Three separate scenarios have been prepared with different rate pegging and domestic waste charge increase assumptions (without any proposal of ASV or SRV adjustment) and are available in the attachment "Final Draft Long Term Financial Plan 2025-34" (**Attachment 5**).

- (a) Scenario 1): Continue to provide the level of service driven by existing budget allocation – the current balanced Asset Management Plan, along with a Rate Peg of 5.1% as approved by IPART in FY25, with a 0% increase in Domestic Waste Management charges between FY25 to FY27 and a \$50 one-off rebate in FY25 Domestic Waste Management charges per residential rate payer. The Net Underlying Operating Results remain in reasonable surplus in 9 out of 10 years.
- (b) Scenario 2): Continue providing a level of service driven by existing budget allocation – the current balanced Asset Management Plan, along with a Rate peg of 0% for Rates in FY25, a 0% increase in Domestic Waste Management charges between FY25 to FY27, and a \$50 one-off rebate in FY25 Domestic Waste Management charges per residential rate payer. The Net Underlying Operating Results remains in deficit in all future years after FY25.
- (c) Scenario 3): Continue providing a level of service driven by existing budget allocation – the current balanced Asset Management Plan, along with a Rate peg of 0% for Rates in FY25 and 0% increase in Domestic Waste Management charges between FY25 to FY27. The Net Underlying Operating Results remains in deficit in all future years after FY25.

Dayne Glinkowski
Corporate Strategy Manager

Robert Cologna
Group Manager, Strategic Land Use Planning

Amit Sharma
A/ Executive Director - Finance and Information

Gail Connolly
Chief Executive Officer

ATTACHMENTS:

1	Final DPOP: Parts 1-4, Delivery Program and Operational Plan 2024/25 (separately enclosed)	106 Pages
2	Final DPOP: Part 5, Budget 2024/25 (separately enclosed)	20 Pages
3	Final DPOP: Part 6, Fees & Charges 2024/25 (separately enclosed)	232 Pages
4	Final Fees & Charges - Key Changes since 2023/24 (separately enclosed)	77 Pages
5 ↓	Final Long Term Financial Plan 2025-34	13 Pages
6 ↓	Final Workforce Management Strategy 2025-28	14 Pages
7	Final Asset Management Strategy 2025-34 (separately enclosed)	49 Pages
8	Final Buildings Asset Management Plan 2025-34 (separately enclosed)	75 Pages
9	Final Parks and Open Spaces Asset Management Plan 2025-34 (separately enclosed)	100 Pages
10	Final Stormwater Asset Management Plan 2025-34 (separately enclosed)	109 Pages
11	Final Road Infrastructure Asset Management Plan 2025-34 (separately enclosed)	105 Pages
12 ↓	Public Exhibition Engagement Evaluation Report, including Summary of Submissions and Responses	18 Pages
13 ↓	Summary of Final Changes Proposed Post-Exhibition of DPOP	9 Pages

REFERENCE MATERIAL

LONG TERM FINANCIAL PLAN FY2024/25- FY2033/34

Objective

The objective of the Long-Term Financial Plan (LTFP) is to express in financial terms the activities Council proposes to undertake over the short, medium, and long term, provide a sound basis for strategic decision making and a framework that guides the future strategies and actions of Council.

Specific objectives of the plan are to:

- Reflect the financial position based on the current service levels
- Provide a financial plan that can predict cost and predict future outcomes
- Reflect the impact of current service levels on our financial sustainability
- Provide some scenario analysis and their impact on our financial sustainability
- Guide our future operational plan and Council ability to invest in new services

This LTFP aligns with the policy of Council to remain financially sustainable and to renew infrastructure based on Council's Asset Management Plan. Council renewal will be planned based on overall condition, asset characteristics and service criticality.

The LTFP addresses funding issues, increased maintenance costs, increased depreciation from fair value revaluations, contributions to new assets along with developer contributions and any major upgrades of facilities.

1. Financial Sustainability

This section will cover areas that impact Council's financial sustainability.

Financial Sustainability is a key challenge facing local government due to several contributing factors including increased demand for services beyond those traditionally provided, cost shifting from other levels of government, ageing infrastructure, and constraints on revenue growth.

The LTFP is a forecast for future years based on the information available at the time. This plan may be updated as an internal document as information changes occur.

This document is important in forecasting the working funds (unrestricted cash) to ensure it remains positive and has a buffer sufficient to fund a large organisation and manage unforeseen risks and events. Also, to predict if Council needs to increase Rates above IPART (Independent Pricing and Regulatory Tribunal) rate peg to sustain all services.

2. Growth

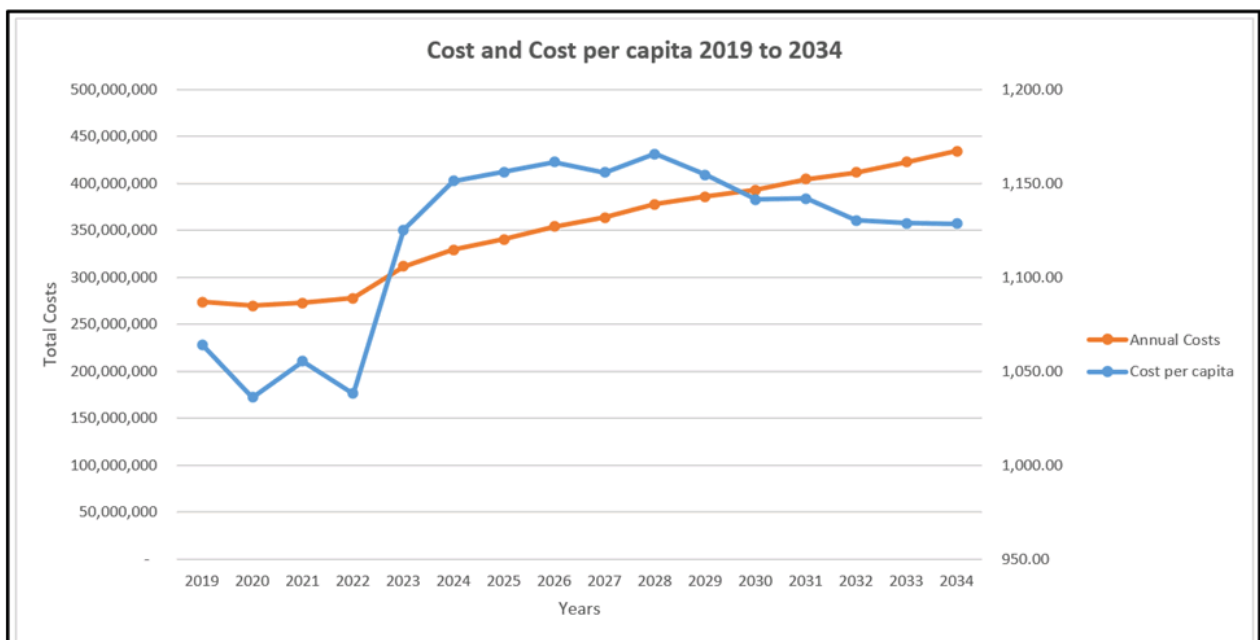
Over the 10-year forecast, the Local Government Area (LGA) population is predicted to increase from 294,216 to 384,818 being an average increase of 3.11% per annum. The impact of population expansion is that Council will be affected due to increased demand for additional services and extension to the existing services such as:

- Cleaning and waste removal
- Footpath, Roads, Stormwater assets construction and renewal

- Recreational Facilities
- Community Centres
- Open space and Sporting complexes
- Aquatic Centres
- Public Domain Upgrades
- Art and Culture Facilities
- Libraries
- Events and Festivals

The provision of new services often requires initial significant capital spend. The capital needs are mainly met by developers' contributions and grants, but the operational costs to service these facilities will need to be funded from council operating revenues.

The Council's costs trends are outlined below in the graph, which indicate maintenance of a cost trend line that is decreasing in real terms per capita. There is a steep increase in the depreciation amount from the third financial year of budget and LTFP, which is due to anticipated completion of WestInvest projects by the end of FY2026/27. The total costs include all operating expenses from the continuing operations, such as employee costs, materials, and services, borrowing costs, depreciation, amortisation, and other expenses.



3. Infrastructure Renewals, Backlog and Asset Optimisation

The issue of the condition of Infrastructure in local government has been identified as a major priority.

A measure of condition is the amount of infrastructure backlog which occurs due to a shortfall in infrastructure renewal as assets depreciate.

Council approach to asset conditions management is as follows:

- Asset management plans prioritise renewal based on condition and are linked to the LTFP.

- Council seeks to have a fully funded capital program, where the source of funding is identified and secured for both capital renewal and new capital works.
- Council aims to maintain its asset base, by renewing ageing infrastructure and by ensuring working capital is set aside for those works.

4. Financial Assumptions

4.1 Economic Indicators

In the below table are the macro-economic assumptions contained in the LTFP.

	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
	Forecast ID									
Dwelling Growth	119,494	122,735	127,334	131,934	136,533	141,133	145,732	151,707	157,927	161,550
Dwelling Growth %	2.79%	2.71%	3.75%	3.61%	3.49%	3.37%	3.26%	4.10%	4.10%	2.29%
Population Change	294,216	304,552	314,507	324,183	333,955	344,284	354,225	364,117	374,575	384,818
Population Change %	2.87%	3.51%	3.27%	3.08%	3.01%	3.09%	2.89%	2.79%	2.87%	2.73%

The growth assumptions of the LGA are sourced from forecast.ID. The dwelling and population growth are key drivers to increase rates income and required community services. Developer contributions are planned to provide new assets including parks, community centres, pools, and the redevelopment of town centres. This LTFP has balanced the increases in rates income with the increase in cost to service the new facilities and assets.

4.2 Revenue Assumptions

The following outlines the Council's assumptions for Revenue generation and sources.

4.2.1 Rates and Special Rate Income

For the financial year FY2024/25 Council has applied the IPART rate peg methodology for calculating rate increases. IPART's rate peg formula is below:

BCC (3.9%) – productivity factor (0%) + population factor (0.2%) + ESL factor (0.6%) + other adjustments (superannuation adjustment 0.4%)

The components of the rate peg for FY2024/25 are made up of:

- The change in the local government cost index to June 2025 of 3.9%.
- A productivity factor of 0.0% due to the ABS indices used for the LGCI incorporate improvements in labour and capital productivity.
- An adjustment of 0.4% for the increase in superannuation guarantee payments from 11% in 2023-24 to 11.5% in 2024-25.
- An Emergency Services Levy (ESL) factor of 0.6% to reflect the annual change in the ESL.
- A population factor 0.2% (net of any supplementary valuations percentage or zero).

The Local Government Rate Peg Index for FY2024/25 for the City of Parramatta was set as 5.1% by IPART. Future year rate peg assumptions have been made and included per the table below.

	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
Rates	Rates									
Rate Cap	5.10%	3.70%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%
Ordinary rates	5.10%	3.70%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%

4.2.2 Annual Charges

These fees are related to Domestic Waste Management charges.

The Local Government Act 1993 (Act) requires that Domestic Waste Management Charges must reflect the actual cost of providing those services. Sec 504(3) of the Act stipulates charges cannot exceed the reasonable costs to the council providing the service. The annual increase in Domestic Waste Management Charges is assumed to be 3% from FY2027-28 to FY2023-34 reflecting forecast price growth.

	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
	Domestic Waste Management Charges									
DWM Change	0.00%	0.00%	0.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%
Annual Charges	0.00%	0.00%	0.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%

4.2.3 User Fees and Charges

The LTFP assumes that Statutory Fees and Charges will increase by CPI but will also change because of increased volume and the value of construction costs. Discretionary Fees and Charges are assumed to increase by 5% in FY2023/24 and then by 2.5% on average in the outer years across the board.

	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
	User Fee and Charges - unregulated									
CPI	5.00%	3.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%
User Fees	5.00%	3.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%

The calculation of User Fees and Charges may be affected by the strategic review of pricing methods, particularly for new facilities, with a goal to ensure all charges align to the cost of delivering the service and the community subsidy policy. All Fees and Charges are designed to be fair and affordable and not pass on any unnecessary burden to residents.

4.2.4 Interest and Investment

The current assumptions are based on the advice provided by Arlo Advisory, our independent advisers. For each type of financial instrument category held by the Council, below are the forecast rate assumptions, providing a weighted average return on these investments of 4.25%. There is an uptick expected due to the rebound in domestic and global shares, and fixed bonds. Most of the long-term deposits & FRNs invested with attractive returns are likely to drop due to two Reserve Bank of Australia (RBA) rate cuts forecasted for FY24/25.

Type	Projected Rate
Cash	4.10%
CFS Global	4.75%
NSW TCorp (Long-Term)	5.00%
TDs	4.40%
FRNs	4.75%
Bonds	1.06%

4.2.5 Operating Grants and Contributions

Councils operating grants consist of the Federal Assistance Grants (42%), Fire & Rescue Grant (17% one-off), Sydney Water (11% one-off), Community Services Grants (7%), Roads restoration contributions (4%), Roads & Bridges Grants (3%), Library Grant (3%), and Other grants & contributions (14%). All grants received are subject to indexation, and Council have assumed all grants will continue unless mentioned.

	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
	Operating Grants and Contributions									
CPI	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Operating Grants & Contributions	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%

4.2.6 Capital Grants and Contributions

Council capital grants consists of capital grants received from State and federal Government and s7.11 and s7.12 Developer Contributions. Council has been successful in securing \$199m of grants from WestInvest. We rely upon the previous year's collection and have limited visibility on future grants linked with projects. This is low risk to our financial position as this income is excluded from our underlying profit and are restricted categories within our net working capital.

	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
	Capital Grants and Contributions									
Capital grants and contributions	75,732	83,842	89,106	39,578	29,379	30,113	30,866	31,638	32,429	33,239
Capital grants and contributions	75,732	83,842	89,106	39,578	29,379	30,113	30,866	31,638	32,429	33,239

4.2.7 Other Revenues

Council's Other Revenue will increase due to income normalisation of Ranger and Parking Services, ramp up of PAC (Parramatta Aquatic Centre), PHIVE (5/7 Parramatta Square) facility operation, Lease rental, Riverside theatre, Social and Cultural Services, in addition to increases from CPI.

	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
	Other revenue									
CPI	3.50%	3.00%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%
Other revenue	3.50%	3.00%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%

4.3 Expense Assumptions

The following outlines Council's assumptions for Expenses with relevant commentary.

4.3.1 Wages and Salary

The Local government award has now been formally endorsed by all parties and approved by the Industrial Relations Commission of New South Wales (IRC). The EBA includes:

- For FY2025, a 3.5% annual salary increase, plus a lumpsum payment of the greater of a 0.5% increase of annual salary or \$1,000 (to employees with at least 12 months continuous service with part-time employees to receive pro-rated payment) as of 30 June 2024.
- In FY2026, a 3% annual salary increase, plus a lumpsum payment of the greater of a 0.5% increase of annual salary or \$1,000 (to employees with at least 12 months continuous service with part-time employees to receive pro-rated payment) as of 30 June 2025.

Following are other factors taken into consideration in setting salary and wages:

- Alignment to the latest Organisational structure and annual award movements.

- Skills step movements awarded for achieving higher skills.
- Superannuation Contribution increases by 0.5% in FY25 as per Federal guidelines.
- New Service growth relates to cost for increasing head count to operate PHIVE and PAC, as part of large-scale expansion of community assets.

Below are the percentage assumptions for Salaries and Wages.

	2023-24	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-2031	2031-2032	2032-2033	2033-2034
	Employee benefits										
LG Award (Estimates)	4.50%	3.50%	3.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
FG bill - Super increase	0.50%	0.50%	0.50%	0.50%							
Employee benefits	5.00%	4.00%	3.50%	2.50%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%

4.3.2 Borrowing Costs

The Council's interest expense on the existing loans declines with the full repayment of loans in March 2025. The interest calculated per the repayment schedule is included in the Income Statement.

4.3.3 Material and Contracts and Other expenses

The increase in materials and contracts and other expenses for the new and ongoing projects is offset by the reprioritisation and rescoping of other programs undertaken by Council. No indexation is factored into the costs for next year unless contracted.

5. LTFP scenarios and relationship between LTFP and Asset Management Strategy

The LTFP responds to and informs the management of assets and other resources. The City of Parramatta Council has a portfolio of infrastructure assets with a written down value of \$2.5 billion (\$3.3 billion gross carrying value). Council's current combined infrastructure backlog is estimated to be \$20.0 million or at a backlog ratio of 0.75%, which is below the industry benchmark of 2%. Council is currently in the process of revaluing and condition assessing the Roads & Infrastructure assets, which will have an impact on the infrastructure backlog ratio in the future.

The growth forecasts highlight the need for additional infrastructure assets and for existing assets to be managed efficiently to accommodate the expected demand and community needs and expectations. The Integrated Planning and Reporting cycle provides an opportunity for community, stakeholders, Councilors and internal staff consultation to occur and discuss the Asset Management Strategy assumptions and planned program.

The LTFP financial statements have been based on one general scenario outlined in the Asset Management Strategy. The scenario includes three sub scenarios, 1a), 1b), and 1c), which maintain the same Asset Management Plan but include different rate revenue income assumptions.

Summary

Adoption of scenarios **1b** will lead to an operating deficit in all the 10 years of the LTFP while the scenario **1c** will lead to an operating deficit in 9 out of 10 years. Under both these scenarios, Council will need to find an additional source of revenue to maintain assets at the required condition or maintain assets delivered under the new development plans. The deficit is substantial under these scenarios and these scenarios are not financially sustainable for Council to undertake.

Scenario **1a** will provide sufficient funds to maintain the level of service driven by the existing budget and assumes that the IPART approved rate peg of 5.1% is also approved by Council.

By focusing on critical areas and setting improvement targets over the period of the Resourcing Strategy and Delivery Program, Council aims to improve the financial health of the organization to a desirable level that can be sustained in the long term.

Scenario 1a - Continue to provide the level of service driven by existing budget allocation – the current balanced Asset Management Plan, along with a Rate Peg of 5.1% as approved by IPART in FY25, with a 0% increase in Domestic Waste Management charges between FY25 to FY27 and a \$50 one-off rebate in FY25 Domestic Waste Management charges per residential rate payer in FY25.

Income Statement										
Year	BASE YEAR	3Y PLAN	3Y PLAN	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP
	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33	2033/34
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Revenue from continuing operations										
Ordinary Rates	178,974	240,404	246,179	252,094	258,151	264,355	270,710	277,218	283,883	290,710
Additional Special Variation (ASV)	0	0	0	0	0	0	0	0	0	0
Special Rates	0	0	0	0	0	0	0	0	0	0
Rates	178,974	240,404	246,179	252,094	258,151	264,355	270,710	277,218	283,883	290,710
Annual Charges	50,278	0	0	0	0	0	0	0	0	0
Rates and Annual Charges	229,252	240,404	246,179	252,094	258,151	264,355	270,710	277,218	283,883	290,710
User charges and fees	49,973	49,373	50,607	51,872	53,169	54,499	55,861	57,257	58,689	60,156
Interest and investment revenue	23,690	23,914	24,990	26,115	27,290	28,518	29,801	31,142	32,544	34,008
Grants and contributions provided for operating purposes	23,721	24,353	24,840	25,337	25,844	26,361	26,888	27,426	27,974	28,534
Grants and contributions provided for capital purposes	75,732	91,247	28,886	26,709	26,739	26,769	26,800	26,833	26,866	26,866
Other revenues	18,860	20,424	20,934	21,458	21,994	22,544	23,108	23,685	24,277	24,884
Internal Revenue	19,799	13,426	13,628	13,832	14,039	14,250	14,464	14,681	14,901	15,125
Gain on disposal of assets	650	0	0	0	0	0	0	0	0	0
Gain in share in joint venture	600	600	600	600	600	600	600	600	600	600
Total revenues from continuing operations	442,297	463,741	468,664	478,016	487,826	497,895	508,231	518,842	529,734	540,883
Expenses from continuing operations										
Employee benefits and on-costs	145,934	150,447	153,915	156,993	160,133	163,336	166,651	170,188	173,952	177,963
Materials and contracts	72,331	75,843	76,601	78,867	79,656	80,452	81,250	82,053	82,864	83,681
Borrowing costs	98	88	80	72	65	58	52	47	42	38
Depreciation, amortisation and impairment	66,500	71,500	76,500	81,500	86,500	91,500	96,500	101,500	106,500	111,500
Other expenses	55,225	55,814	56,372	56,936	57,505	58,080	58,661	59,247	59,840	60,438
Loss on Asset Sale	439	3,968	3,991	4,015	4,039	4,065	4,091	4,118	4,146	0
Internal expenses	20,204	13,426	13,628	13,832	14,039	14,250	14,464	14,681	14,901	15,125
Total expenses from continuing operations	360,731	371,087	381,086	391,695	403,577	415,725	428,281	441,301	454,827	468,965
Operating result from continuing operations	81,566	92,654	87,578	86,321	84,249	82,170	80,050	77,541	74,907	71,918
Net Underlying operating result before capital grants & contributions and loss/gain on asset sale	6,028	5,375	4,683	-373	1,549	3,966	2,540	5,827	5,188	4,652

Statement of Financial Position										
Year	BASE YEAR	3Y PLAN	3Y PLAN	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP
	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33	2033/34
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
ASSETS										
Current assets										
Cash and cash equivalents	57,517	48,645	51,968	53,583	48,556	56,620	48,655	50,231	50,939	51,661
Investments	329,853	424,853	449,853	454,853	459,853	464,853	469,853	474,853	479,853	484,853
Receivables	11,327	6,327	5,327	4,327	3,327	2,327	3,327	2,327	2,327	1,527
Inventories	120	119	117	116	115	114	113	112	111	109
Other	1,711	1,694	1,677	1,660	1,643	1,627	1,611	1,595	1,579	1,563
Non-current assets classified as held for resale	0	0	0	0	0	0	0	0	0	0
Total current assets	400,528	481,637	508,942	514,539	513,494	525,540	523,559	530,318	535,008	539,713
Non-current assets										
Receivables	109,349	69,980	64,980	59,980	54,980	49,980	44,980	39,980	34,980	29,980
Investments	2,988	3,138	3,295	3,459	3,632	3,814	4,005	4,205	4,415	4,636
Infrastructure property, plant & equipment	3,823,694	3,848,559	3,829,579	3,824,074	3,833,220	3,833,984	3,849,635	3,862,122	3,878,341	3,900,482
Right of use of Assets	923	0	0	0	0	0	0	0	0	0
Investments accounted for using equity method	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635
Total non-current assets	3,940,589	3,925,312	3,901,489	3,891,148	3,895,467	3,891,413	3,902,255	3,909,942	3,921,371	3,938,733
Total assets	4,341,117	4,406,949	4,410,431	4,405,688	4,408,962	4,416,953	4,425,813	4,440,259	4,456,379	4,478,446
LIABILITIES										
Current liabilities										
Payables	48,030	52,633	58,116	63,928	70,321	77,353	85,088	93,597	102,957	113,252
Contract Liabilities	21,214	20,153	19,146	18,188	17,279	16,415	15,594	14,814	14,074	13,370
Borrowings	0	0	0	0	0	0	0	0	0	0
Lease Liability	1,002	0	0	0	0	0	0	0	0	0
Provisions	40,870	41,687	42,521	43,372	44,239	45,124	46,026	46,947	47,886	48,843
Total current liabilities	111,116	114,674	119,783	125,488	131,839	138,892	146,709	155,358	164,916	175,466
Non-current liabilities										
Payables	62	316	48	48	48	48	48	48	48	48
Borrowings	0	0	0	0	0	0	0	0	0	0
Lease Liability	52	1,978	3,776	0	0	0	0	0	0	0
Provisions	39,316	41,282	43,346	45,513	47,789	50,178	52,687	55,321	58,087	60,992
Total non-current liabilities	39,430	43,576	47,170	45,561	47,837	50,226	52,735	55,369	58,135	61,040
Total liabilities	150,546	158,249	166,953	171,049	179,675	189,118	199,444	210,728	223,052	236,506
Net assets	4,190,572	4,248,699	4,243,478	4,234,639	4,229,286	4,227,836	4,226,369	4,229,532	4,233,328	4,241,940
EQUITY										
Retained earnings	3,500,051	3,592,706	3,620,283	3,642,605	3,666,854	3,693,524	3,718,774	3,747,316	3,775,223	3,806,741
Reserves	690,520	655,994	623,194	592,034	562,433	534,311	507,596	482,216	458,105	435,200
Total equity	4,190,571	4,248,700	4,243,477	4,234,639	4,229,286	4,227,835	4,226,370	4,229,531	4,233,328	4,241,941

Statement of Cash Flows										
Year	BASE YEAR 2024/25 LTFP \$'000	3Y PLAN 2025/26 LTFP \$'000	3Y PLAN 2026/27 LTFP \$'000	LTFP 2027/28 LTFP \$'000	LTFP 2028/29 LTFP \$'000	LTFP 2029/30 LTFP \$'000	LTFP 2030/31 LTFP \$'000	LTFP 2031/32 LTFP \$'000	LTFP 2032/33 LTFP \$'000	LTFP 2033/34 LTFP \$'000
Cash flows from operating activities										
<i>Receipts:</i>										
Rates and annual charges	229,252	240,404	246,179	252,094	258,151	264,355	270,710	277,218	283,883	290,710
User charges and fees	49,973	49,373	50,807	51,872	53,169	54,499	55,861	57,257	58,689	60,156
Interest and investment revenue	23,690	23,914	24,990	26,115	27,290	28,518	29,801	31,142	32,544	34,008
Grants and contributions	99,453	115,600	51,726	52,046	52,582	53,130	53,888	54,258	54,840	55,400
Bonds, deposits and retention received	0	0	0	0	0	0	0	0	0	0
Other revenues	18,880	20,424	20,934	21,458	21,994	22,544	23,108	23,685	24,277	24,884
<i>Payments:</i>										
Employee benefits and on-costs	(145,934)	(150,447)	(153,915)	(156,993)	(160,133)	(163,336)	(166,851)	(170,188)	(173,592)	(177,063)
Materials and contracts	(72,331)	(75,843)	(76,601)	(78,867)	(79,656)	(80,452)	(81,320)	(82,173)	(83,006)	(83,815)
Borrowing costs	(98)	(88)	(80)	(72)	(65)	(58)	(52)	(47)	(42)	(38)
Bonds, deposits and retention refunded	0	0	0	0	0	0	0	0	0	0
Other expenses	(55,225)	(55,814)	(56,372)	(56,936)	(57,505)	(58,080)	(58,661)	(59,247)	(59,840)	(60,438)
Net cash provided (or used in) operating activities	147,660	167,523	107,469	110,717	115,828	121,119	122,284	127,906	129,373	130,703
Cash flows from investing activities										
<i>Receipts:</i>										
Sale of investments	886,967	851,488	868,518	889,888	934,382	944,070	949,629	968,622	987,094	1,006,836
Sale of fixed assets	7,084	8,500	10,200	12,240	14,689	17,626	21,152	25,382	30,458	36,550
Contributions received from joint ventures and associates	0	0	0	0	0	0	0	0	0	0
<i>Payments:</i>										
Purchase of investments	(857,961)	(875,120)	(901,374)	(919,401)	(962,789)	(953,161)	(991,288)	(986,113)	(1,005,836)	(1,025,952)
Purchase of fixed assets	(186,381)	(161,263)	(81,490)	(91,829)	(107,137)	(121,591)	(109,742)	(134,220)	(140,382)	(147,415)
Net cash provided by (or used in) investing activities	(150,292)	(176,395)	(104,146)	(109,102)	(120,856)	(113,056)	(130,248)	(126,330)	(128,665)	(129,981)
<i>Borrowings and advances</i>										
Borrowings and advances	(852)	0	0	0	0	0	0	0	0	0
<i>Lease liabilities</i>										
Lease liabilities	(2,200)	0	0	0	0	0	0	0	0	0
<i>Other</i>										
Other	0	0	0	0	0	0	0	0	0	0
Net cash provided by (or used in) financing activities	(3,052)	0	0	0	0	0	0	0	0	0
Net increase/(decrease) in cash and cash equivalents	(5,684)	(8,873)	3,323	1,615	(5,027)	8,064	(7,964)	1,576	708	722
Cash and cash equivalents at beginning of reporting period	63,201	57,517	48,645	51,968	53,583	48,556	56,620	48,655	50,231	50,939
Cash and cash equivalents at end of reporting period	57,517	48,645	51,968	53,583	48,556	56,620	48,655	50,231	50,939	51,661

Performance Measures											
Year	BASE YEAR 2024/25 LTFP \$'000	3Y PLAN 2025/26 LTFP \$'000	3Y PLAN 2026/27 LTFP \$'000	LTFP 2027/28 LTFP \$'000	LTFP 2028/29 LTFP \$'000	LTFP 2029/30 LTFP \$'000	LTFP 2030/31 LTFP \$'000	LTFP 2031/32 LTFP \$'000	LTFP 2032/33 LTFP \$'000	LTFP 2033/34 LTFP \$'000	Benchmark
Operating performance ratio	1.4%	1.3%	1.1%	-0.2%	0.2%	0.8%	0.5%	1.2%	1.0%	0.9%	> 0%
Own source operating revenue ratio	71%	79%	76%	88%	88%	89%	89%	89%	89%	89%	> 60%
Unrestricted current ratio	3.6	4.2	4.2	4.1	3.9	3.8	3.6	3.4	3.2	3.1	> 1.5
Debt service cover ratio	76	908	1,063	1,229	1,445	1,696	1,907	2,238	2,521.1	2,727.1	> 2
Rates, annual charges, interest and extra charges outstanding percentage	4.1%	2.2%	1.8%	1.4%	1.1%	0.7%	1.0%	1.1%	0.7%	0.4%	< 5%
Cash expense cover ratio	11.89m	13.81m	14.4m	14.31m	14.02m	14.26m	13.67m	13.64m	13.4m	13.16m	> 3 m

Scenario 1b - Continue providing a level of service driven by existing budget allocation – the current balanced Asset Management Plan, along with a Rate peg of 0% for Rates in FY25, a 0% increase in Domestic Waste Management charges between FY25 to FY27, and a \$50 one-off rebate in FY25 Domestic Waste Management charges per residential rate payer.

Income Statement											
Year	BASE YEAR	3Y PLAN	3Y PLAN	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP
	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33	2033/34	
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Revenue from continuing operations											
Ordinary Rates	170,774	177,093	181,520	186,058	190,710	195,477	200,364	205,374	210,508	215,771	
Additional Special Variation (ASV)	0	0	0	0	0	0	0	0	0	0	
Special Rates	0	0	0	0	0	0	0	0	0	0	
Rates	170,774	177,093	181,520	186,058	190,710	195,477	200,364	205,374	210,508	215,771	
Annual Charges	50,278	49,634	50,646	51,678	53,208	54,784	56,407	58,078	59,798	61,570	
Rates and Annual Charges	221,052	226,727	232,166	237,736	243,918	250,262	256,771	263,451	270,306	277,340	
User charges and fees	45,008	49,973	49,373	50,807	51,872	53,169	54,499	55,861	57,257	58,689	
Interest and investment revenue	24,033	23,690	23,914	24,990	26,115	27,290	28,518	29,801	31,142	32,544	
Grants and contributions provided for operating purposes	20,123	23,721	24,353	24,840	25,844	26,361	26,888	27,426	27,974	28,534	
Grants and contributions provided for capital purposes	112,720	75,732	91,247	26,886	26,709	26,739	26,769	26,800	26,833	26,866	
Other revenues	18,331	18,880	20,424	20,934	21,458	21,984	22,544	23,108	23,685	24,277	
Internal Revenue	12,438	19,799	13,426	13,628	13,832	14,039	14,250	14,464	14,681	14,901	
Gain on disposal of assets	0	650	0	0	0	0	0	0	0	0	
Gain in share in joint venture	600	600	600	600	600	600	600	600	600	600	
Total revenues from continuing operations	455,261	434,097	450,064	394,651	403,659	413,593	423,802	434,293	445,075	456,157	
Expenses from continuing operations											
Employee benefits and on-costs	143,992	145,934	150,447	153,915	156,993	160,133	163,336	166,651	170,188	173,922	
Materials and contracts	70,120	72,331	75,843	76,801	78,867	79,656	80,452	85,320	86,173	91,386	
Borrowing costs	105	98	88	80	72	65	58	52	47	42	
Depreciation, amortisation and impairment	63,387	66,500	71,500	76,500	84,981	88,140	90,984	93,543	95,846	97,919	
Other expenses	51,670	55,225	55,814	56,372	56,938	57,505	58,080	58,661	59,247	59,840	
Loss on Asset Sale	0	439	3,968	3,991	4,015	4,039	4,065	4,091	4,118	4,146	
Internal expenses	12,438	20,204	13,426	13,628	13,832	14,039	14,250	14,464	14,681	14,901	
Total expenses from continuing operations	341,711	360,731	371,087	381,086	395,695	403,577	411,225	422,981	430,301	441,827	
Operating result from continuing operations	113,550	73,365	78,977	13,564	7,964	10,016	12,577	11,312	14,775	16,148	
Net Underlying operating result before capital grants & contributions and loss/gain on asset sale	830	-2,172	-8,302	-9,330	-14,730	-12,684	-10,127	-11,398	-7,940	-8,390	

Statement of Financial Position											
Year	BASE YEAR	3Y PLAN	3Y PLAN	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP
	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33	2033/34	
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
ASSETS											
Current assets											
Cash and cash equivalents	49,317	31,768	21,078	8,336	9,075	18,045	16,142	23,952	21,083	28,435	
Investments	329,853	424,853	449,853	454,853	459,853	464,853	469,853	474,853	479,853	484,853	
Receivables	11,327	6,327	5,327	4,327	3,327	2,327	3,327	3,327	2,527	1,527	
Inventories	120	119	117	116	115	114	113	112	111	109	
Other	1,711	1,694	1,677	1,660	1,643	1,627	1,611	1,595	1,579	1,563	
Non-current assets classified as held for resale	0	0	0	0	0	0	0	0	0	0	
Total current assets	392,328	464,760	478,052	469,292	474,014	486,966	491,046	504,038	505,152	516,487	
Non-current assets											
Receivables	109,349	69,980	64,980	59,980	54,980	49,980	44,980	39,980	34,980	29,980	
Investments	2,988	3,138	3,295	3,459	3,632	3,814	4,005	4,205	4,415	4,636	
Infrastructure property, plant & equipment	3,823,894	3,843,559	3,824,579	3,819,074	3,808,220	3,793,984	3,789,635	3,782,122	3,788,341	3,790,482	
Right of use of Assets	923	0	0	0	0	0	0	0	0	0	
Investments accounted for using equity method	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	
Total non-current assets	3,940,589	3,920,312	3,896,489	3,886,148	3,870,467	3,851,413	3,842,255	3,829,942	3,831,371	3,828,733	
Total assets	4,332,917	4,385,072	4,374,540	4,355,440	4,344,481	4,338,379	4,333,300	4,333,980	4,336,523	4,345,220	
LIABILITIES											
Current liabilities											
Payables	48,030	52,833	58,116	63,928	70,321	77,353	85,088	93,597	102,957	113,252	
Contract Liabilities	21,214	20,153	19,146	18,188	17,279	16,415	15,594	14,814	14,074	13,370	
Borrowings	0	0	0	0	0	0	0	0	0	0	
Lease Liability	1,002	0	0	0	0	0	0	0	0	0	
Provisions	40,870	41,687	42,521	43,372	44,239	45,124	46,026	46,947	47,886	48,843	
Total current liabilities	111,116	114,674	119,783	125,488	131,839	138,892	146,709	155,358	164,916	175,466	
Non-current liabilities											
Payables	62	316	48	48	48	48	48	48	48	48	
Borrowings	0	0	0	0	0	0	0	0	0	0	
Lease Liability	52	1,978	3,776	0	0	0	0	0	0	0	
Provisions	39,316	41,282	43,346	45,513	47,789	50,178	52,687	55,321	58,087	60,992	
Total non-current liabilities	39,430	43,576	47,170	45,561	47,837	50,226	52,735	55,369	58,135	61,040	
Total liabilities	150,546	158,249	166,953	171,049	179,675	189,118	199,444	210,728	223,052	236,506	
Net assets	4,182,372	4,226,822	4,207,588	4,184,391	4,164,806	4,149,261	4,133,857	4,123,253	4,113,471	4,108,714	
EQUITY											
Retained earnings	3,491,851	3,570,829	3,584,393	3,592,357	3,602,373	3,614,950	3,626,262	3,641,036	3,655,366	3,673,514	
Reserves	690,520	655,994	623,194	592,034	562,433	534,311	507,596	482,216	458,105	435,200	
Total equity	4,182,371	4,226,822	4,207,587	4,184,392	4,164,806	4,149,261	4,133,857	4,123,252	4,113,471	4,108,714	

Statement of Cash Flows										
Year	BASE YEAR 2024/25 LTFP \$'000	3Y PLAN 2025/26 LTFP \$'000	3Y PLAN 2026/27 LTFP \$'000	LTFP 2027/28 LTFP \$'000	LTFP 2028/29 LTFP \$'000	LTFP 2029/30 LTFP \$'000	LTFP 2030/31 LTFP \$'000	LTFP 2031/32 LTFP \$'000	LTFP 2032/33 LTFP \$'000	LTFP 2033/34 LTFP \$'000
Cash flows from operating activities										
<i>Receipts:</i>										
Rates and annual charges	221,052	226,727	232,166	237,736	243,918	250,262	256,771	263,451	270,306	277,340
User charges and fees	49,973	49,373	50,607	51,872	53,169	54,499	55,861	57,257	58,689	60,156
Interest and investment revenue	23,690	23,914	24,990	26,115	27,290	28,518	29,801	31,142	32,544	34,008
Grants and contributions	99,453	115,600	51,726	52,046	52,582	53,130	53,688	54,258	54,840	55,400
Bonds, deposits and retention received	0	0	0	0	0	0	0	0	0	0
Other revenues	18,880	20,424	20,934	21,458	21,994	22,544	23,108	23,685	24,277	24,884
<i>Payments:</i>										
Employee benefits and on-costs	(145,934)	(150,447)	(153,915)	(156,993)	(160,133)	(163,336)	(166,851)	(170,188)	(173,592)	(177,063)
Materials and contracts	(72,331)	(75,843)	(76,601)	(78,867)	(79,656)	(80,452)	(81,250)	(82,051)	(82,856)	(83,664)
Borrowing costs	(98)	(88)	(80)	(72)	(65)	(58)	(52)	(47)	(42)	(38)
Bonds, deposits and retention refunded	0	0	0	0	0	0	0	0	0	0
Other expenses	(55,225)	(55,814)	(56,372)	(56,936)	(57,505)	(58,080)	(58,661)	(59,247)	(59,840)	(60,438)
Net cash provided (or used in) operating activities	139,460	153,845	93,456	96,359	101,595	107,025	108,346	114,139	115,796	117,333
Cash flows from investing activities										
<i>Receipts:</i>										
Sale of investments	886,967	851,488	868,518	889,888	934,382	944,070	949,629	968,622	987,094	1,006,836
Sale of fixed assets	7,084	8,500	10,200	12,240	14,689	17,626	21,152	25,382	30,458	36,550
Contributions received from joint ventures and associates	0	0	0	0	0	0	0	0	0	0
<i>Payments:</i>										
Purchase of investments	(857,961)	(875,120)	(901,374)	(919,401)	(962,789)	(953,161)	(991,288)	(986,113)	(1,005,836)	(1,025,952)
Purchase of fixed assets	(186,381)	(156,263)	(81,490)	(91,829)	(87,137)	(106,591)	(89,742)	(114,220)	(130,382)	(127,415)
Net cash provided by (or used in) investing activities	(150,292)	(171,395)	(104,146)	(109,102)	(100,856)	(98,056)	(110,248)	(106,330)	(118,665)	(109,981)
Borrowings and advances	(852)	0	0	0	0	0	0	0	0	0
Lease liabilities	(2,200)	0	0	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0	0	0	0
Net cash provided by (or used in) financing activities	(3,052)	0	0	0	0	0	0	0	0	0
Net increase/(decrease) in cash and cash equivalents	(13,884)	(17,550)	(10,690)	(12,742)	740	8,970	(1,903)	7,810	(2,869)	7,352
Cash and cash equivalents at beginning of reporting period	63,201	49,317	31,768	21,078	8,336	9,075	18,045	16,142	23,952	21,083
Cash and cash equivalents at end of reporting period	49,317	31,768	21,078	8,336	9,075	18,045	16,142	23,952	21,083	28,435

Performance Measures											
Year	BASE YEAR 2024/25 LTFP \$'000	3Y PLAN 2025/26 LTFP \$'000	3Y PLAN 2026/27 LTFP \$'000	LTFP 2027/28 LTFP \$'000	LTFP 2028/29 LTFP \$'000	LTFP 2029/30 LTFP \$'000	LTFP 2030/31 LTFP \$'000	LTFP 2031/32 LTFP \$'000	LTFP 2032/33 LTFP \$'000	LTFP 2033/34 LTFP \$'000	Benchmark
Operating performance ratio	-0.9%	-2.5%	-2.7%	-4.1%	-3.4%	-2.7%	-2.9%	-2.0%	-2.1%	-2.1%	> 0%
Own source operating revenue ratio	71%	78%	75%	88%	88%	88%	88%	88%	89%	89%	> 60%
Unrestricted current ratio	3.5	4.1	4.0	3.7	3.6	3.5	3.3	3.2	3.1	2.9	> 1.5
Debt service cover ratio	67	753	887	1,029	1,224	1,453	1,640	1,945	2,200.3	2,376.1	> 2
Rates, annual charges, interest and extra charges outstanding percentage	4.2%	2.3%	1.9%	1.5%	1.1%	0.8%	1.1%	1.1%	0.8%	0.5%	< 5%
Cash expense cover ratio	11.53m	13.09m	13.11m	12.46m	12.43m	12.73m	12.41m	12.64m	12.3m	12.33m	> 3 m

Scenario 1c - Continue providing a level of service driven by existing budget allocation – the current balanced Asset Management Plan, along with a Rate peg of 0% for Rates in FY25 and 0% increase in Domestic Waste Management charges between FY25 to FY27.

Income Statement											
Year	BASE YEAR	3Y PLAN	3Y PLAN	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP
	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33	2033/34	
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Revenue from continuing operations											
Ordinary Rates	170,774	177,093	181,520	186,058	190,710	195,477	200,364	205,374	210,508	215,771	
Additional Special Variation (ASV)	0	0	0	0	0	0	0	0	0	0	
Special Rates	0	0	0	0	0	0	0	0	0	0	
Rates	170,774	177,093	181,520	186,058	190,710	195,477	200,364	205,374	210,508	215,771	
Annual Charges	50,278	49,634	50,646	51,678	53,208	54,784	56,407	58,078	59,798	61,570	
Rates and Annual Charges	221,052	226,727	232,166	237,736	243,918	250,262	256,771	263,451	270,306	277,340	
User charges and fees	49,973	49,373	50,607	51,872	53,169	54,499	55,861	57,257	58,689	60,156	
Interest and investment revenue	23,690	23,914	24,990	26,115	27,290	28,518	29,801	31,142	32,544	34,008	
Grants and contributions provided for operating purposes	23,721	24,353	24,840	25,337	25,844	26,361	26,888	27,426	27,974	28,534	
Grants and contributions provided for capital purposes	75,732	91,247	26,896	26,709	26,739	26,789	26,800	26,833	26,866	26,866	
Other revenues	18,880	20,424	20,934	21,458	21,994	22,544	23,108	23,685	24,277	24,884	
Internal Revenue	19,799	13,426	13,628	13,832	14,039	14,250	14,464	14,681	14,901	15,125	
Gain on disposal of assets	650	0	0	0	0	0	0	0	0	0	
Gain in share in joint venture	600	600	600	600	600	600	600	600	600	600	
Total revenues from continuing operations	434,097	450,064	394,651	403,659	413,593	423,802	434,293	445,075	456,157	467,513	
Expenses from continuing operations											
Employee benefits and on-costs	145,934	150,447	153,915	156,993	160,133	163,336	166,851	170,188	173,592	177,063	
Materials and contracts	72,331	75,843	76,601	78,867	79,656	80,452	85,320	86,173	91,386	96,915	
Borrowing costs	98	88	80	72	65	58	52	47	42	38	
Depreciation, amortisation and impairment	66,500	71,500	76,500	84,981	88,140	90,984	93,543	95,846	97,919	99,785	
Other expenses	51,225	55,814	56,372	56,936	57,505	58,080	58,661	59,247	59,840	60,438	
Loss on Asset Sale	439	3,968	3,991	4,015	4,039	4,065	4,091	4,118	4,146	0	
Internal expenses	20,204	13,426	13,628	13,832	14,039	14,250	14,464	14,681	14,901	15,125	
Total expenses from continuing operations	356,731	371,087	381,086	395,695	403,577	411,225	422,981	430,301	441,827	449,365	
Operating result from continuing operations	77,365	78,977	13,564	7,964	10,016	12,577	11,312	14,775	14,330	18,148	
Net Underlying operating result before capital grants & contributions and loss/gain on asset sale											
	1,828	-8,302	-9,330	-14,730	-12,684	-10,127	-11,398	-7,940	-8,390	-8,718	
Statement of Financial Position											
Year	BASE YEAR	3Y PLAN	3Y PLAN	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	LTFP	
	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33	2033/34	
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	
ASSETS											
Current assets											
Cash and cash equivalents	53,317	35,768	25,078	12,336	13,075	22,045	20,142	27,952	25,083	32,435	
Investments	329,853	424,853	449,853	454,853	459,853	464,853	469,853	474,853	479,853	484,853	
Receivables	11,327	6,327	5,327	4,327	3,327	2,327	3,327	3,527	2,527	1,527	
Inventories	120	119	117	116	115	114	113	112	111	109	
Other	1,711	1,694	1,677	1,660	1,643	1,627	1,611	1,595	1,579	1,563	
Non-current assets classified as held for resale	0	0	0	0	0	0	0	0	0	0	
Total current assets	396,328	468,760	482,052	473,292	478,014	490,966	495,046	508,038	509,152	520,487	
Non-current assets											
Receivables	109,349	69,980	64,980	59,980	54,980	49,980	44,980	39,980	34,980	29,980	
Investments	2,988	3,138	3,295	3,459	3,632	3,814	4,005	4,205	4,415	4,636	
Infrastructure property, plant & equipment	3,823,694	3,843,559	3,824,579	3,819,074	3,808,220	3,793,984	3,789,635	3,782,122	3,788,341	3,790,482	
Right of use of Assets	923	0	0	0	0	0	0	0	0	0	
Investments accounted for using equity method	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	3,635	
Total non-current assets	3,940,589	3,920,312	3,896,489	3,886,148	3,870,467	3,851,413	3,842,255	3,829,942	3,831,371	3,828,733	
Total assets	4,336,917	4,389,072	4,378,540	4,359,440	4,348,481	4,342,379	4,337,300	4,337,980	4,340,523	4,349,220	
LIABILITIES											
Current liabilities											
Payables	48,030	52,833	58,116	63,928	70,321	77,353	85,088	93,597	102,957	113,252	
Contract Liabilities	21,214	20,153	19,146	18,188	17,279	16,415	15,594	14,814	14,074	13,370	
Borrowings	0	0	0	0	0	0	0	0	0	0	
Lease Liability	1,002	0	0	0	0	0	0	0	0	0	
Provisions	40,870	41,687	42,521	43,372	44,239	45,124	46,026	46,947	47,886	48,843	
Total current liabilities	111,116	114,674	119,783	125,488	131,839	138,892	146,709	155,358	164,916	175,466	
Non-current liabilities											
Payables	62	316	48	48	48	48	48	48	48	48	
Borrowings	0	0	0	0	0	0	0	0	0	0	
Lease Liability	52	1,979	3,776	0	0	0	0	0	0	0	
Provisions	39,316	41,282	43,346	45,513	47,789	50,178	52,687	55,321	58,087	60,992	
Total non-current liabilities	39,430	43,576	47,170	45,561	47,837	50,226	52,735	55,369	58,135	61,040	
Total liabilities	150,546	158,249	166,953	171,049	179,675	189,118	199,444	210,728	223,052	236,506	
Net assets	4,186,372	4,230,822	4,211,588	4,188,391	4,168,806	4,153,261	4,137,857	4,127,253	4,117,471	4,112,714	
EQUITY											
Retained earnings	3,495,851	3,574,829	3,588,393	3,596,357	3,606,373	3,618,950	3,630,262	3,645,036	3,659,366	3,677,514	
Reserves	690,520	655,994	623,194	592,034	562,433	534,311	507,596	482,216	458,105	435,200	
Total equity	4,186,371	4,230,822	4,211,587	4,188,392	4,168,806	4,153,261	4,137,857	4,127,252	4,117,471	4,112,714	

Statement of Cash Flows										
Year	BASE YEAR 2024/25 LTFP \$'000	3Y PLAN 2025/26 LTFP \$'000	3Y PLAN 2026/27 LTFP \$'000	LTFP 2027/28 LTFP \$'000	LTFP 2028/29 LTFP \$'000	LTFP 2029/30 LTFP \$'000	LTFP 2030/31 LTFP \$'000	LTFP 2031/32 LTFP \$'000	LTFP 2032/33 LTFP \$'000	LTFP 2033/34 LTFP \$'000
Cash flows from operating activities										
<i>Receipts:</i>										
Rates and annual charges	221,052	226,727	232,166	237,736	243,918	250,262	256,771	263,451	270,306	277,340
User charges and fees	49,973	49,373	50,607	51,872	53,169	54,499	55,861	57,257	58,689	60,156
Interest and investment revenue	23,690	23,914	24,990	26,115	27,290	28,518	29,801	31,142	32,544	34,008
Grants and contributions	99,453	115,600	51,726	52,046	52,582	53,130	53,688	54,258	54,840	55,400
Bonds, deposits and retention received	0	0	0	0	0	0	0	0	0	0
Other revenues	18,880	20,424	20,934	21,458	21,994	22,544	23,108	23,685	24,277	24,884
<i>Payments:</i>										
Employee benefits and on-costs	(145,934)	(150,447)	(153,915)	(156,993)	(160,133)	(163,336)	(166,651)	(170,188)	(173,592)	(177,063)
Materials and contracts	(72,331)	(75,843)	(76,601)	(78,867)	(79,656)	(80,452)	(81,250)	(82,050)	(82,850)	(83,650)
Borrowing costs	(98)	(88)	(80)	(72)	(65)	(58)	(52)	(47)	(42)	(38)
Bonds, deposits and retention refunded	0	0	0	0	0	0	0	0	0	0
Other expenses	(51,225)	(55,814)	(56,372)	(56,936)	(57,505)	(58,080)	(58,661)	(59,247)	(59,840)	(60,438)
Net cash provided (or used in) operating activities	143,460	153,845	93,456	96,359	101,595	107,025	108,346	114,139	115,796	117,333
Cash flows from investing activities										
<i>Receipts:</i>										
Sale of investments	886,967	851,488	868,518	889,888	934,382	944,070	949,629	968,622	987,094	1,006,836
Sale of fixed assets	7,084	8,500	10,200	12,240	14,689	17,626	21,152	25,382	30,458	36,550
Contributions received from joint ventures and associates	0	0	0	0	0	0	0	0	0	0
<i>Payments:</i>										
Purchase of investments	(857,961)	(875,120)	(901,374)	(919,401)	(962,789)	(953,161)	(991,288)	(986,113)	(1,005,836)	(1,025,952)
Purchase of fixed assets	(186,381)	(156,263)	(81,490)	(91,829)	(87,137)	(106,591)	(89,742)	(114,220)	(130,382)	(127,415)
Net cash provided by (or used in) investing activities	(150,292)	(171,395)	(104,146)	(109,102)	(100,856)	(98,056)	(110,248)	(106,330)	(118,665)	(109,981)
<i>Borrowings and advances</i>										
Borrowings and advances	(852)	0	0	0	0	0	0	0	0	0
<i>Lease liabilities</i>										
Lease liabilities	(2,200)	0	0	0	0	0	0	0	0	0
<i>Other</i>										
Other	0	0	0	0	0	0	0	0	0	0
Net cash provided by (or used in) financing activities	(3,052)	0	0	0	0	0	0	0	0	0
Net increase/(decrease) in cash and cash equivalents	(9,884)	(17,550)	(10,690)	(12,742)	740	8,970	(1,903)	7,810	(2,869)	7,352
Cash and cash equivalents at beginning of reporting period	63,201	53,317	35,768	25,078	12,336	13,075	22,045	20,142	27,952	25,083
Cash and cash equivalents at end of reporting period	53,317	35,768	25,078	12,336	13,075	22,045	20,142	27,952	25,083	32,435

Performance Measures											
Year	BASE YEAR 2024/25 LTFP \$'000	3Y PLAN 2025/26 LTFP \$'000	3Y PLAN 2026/27 LTFP \$'000	LTFP 2027/28 LTFP \$'000	LTFP 2028/29 LTFP \$'000	LTFP 2029/30 LTFP \$'000	LTFP 2030/31 LTFP \$'000	LTFP 2031/32 LTFP \$'000	LTFP 2032/33 LTFP \$'000	LTFP 2033/34 LTFP \$'000	Benchmark
Operating performance ratio	0.2%	-2.5%	-2.7%	-4.1%	-3.4%	-2.7%	-2.9%	-2.0%	-2.1%	-2.1%	> 0%
Own source operating revenue ratio	71%	78%	75%	88%	88%	88%	88%	88%	89%	89%	> 60%
Unrestricted current ratio	3.6	4.1	4.0	3.8	3.6	3.5	3.4	3.3	3.1	3.0	> 1.5
Debt service cover ratio	71	753	887	1,029	1,224	1,453	1,640	1,945	2,200.3	2,376.1	> 2
Rates, annual charges, interest and extra charges outstanding percentage	4.2%	2.3%	1.9%	1.5%	1.1%	0.8%	1.1%	1.1%	0.8%	0.5%	< 5%
Cash expense cover ratio	11.88m	13.26m	13.28m	12.62m	12.59m	12.89m	12.57m	12.8m	12.45m	12.47m	> 3 m

Workforce Management Strategy

Draft March 2024

City of Parramatta Council
Workforce Management Strategy (2024 – 2028)
DRAFT - March 2024

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Introduction

Council’s Workforce Management Strategy is a key element of a suite of documents known as the Resourcing Strategy – a statutory requirement for all NSW councils.

Council’s Resourcing Strategy consists of medium to long-term strategies in three inter-related elements:

- Financial planning (Long-term Financial Plan);
- Asset management (Asset Management Strategy Plans); and

Workforce management planning (Workforce Management Strategy). Together, these strategies provide a framework for delivering on the goals of our City’s Community Strategic Plan and aligning decisions about Council’s ongoing financial sustainability, service and project delivery, and our people.

Purpose of the Workforce Management Strategy (WMS)

The Workforce Management Strategy sets out our organisational needs, forward planning and resourcing requirements. Key trends and emerging issues considered in the development of our Workforce Management Strategy include:

- an increase in resident population;
- difficulty attracting and retaining niche and/or in-demand skills;
- identifying future skill requirements not yet known;
- knowledge loss when employees resign or retire;
- increasing workloads;
- balancing the work-life needs of the workforce; and
- improving Council’s capacity for change.

The Workforce Management Strategy provides an overview of our current workforce and details priorities and actions to be implemented during the next four years to ensure we have a workforce capable of delivering all outcomes identified in the Community Strategic Plan 2018-2038: Butbutt Yura Barra Ngurra.

The Workforce Management Strategy is a key contributor to the following objectives in the Community Strategic Plan and as such, Council is committed to:

Strategic Goal in the Community Strategic Plan	Strategic Actions to achieve Goals
Fair – We can all benefit from the opportunities our City and neighbourhoods offer.	F.4.2 Deliver effective, responsible, and ethical City leadership, and responsible financial management, reflective of community needs and aspirations.

Thriving – We are a nation-leading City with prospering communities and industries.	T.3.2 Accelerate local jobs growth and create employment opportunities that benefit the community and the City.
Innovative – We champion new ideas to create a better future.	I.2.1 Support opportunities for innovation and continuous improvement in Parramatta.

The Workforce Management Strategy has been developed to address the challenges of providing appropriately qualified and experienced staff for today and in the future by establishing strategic objectives. These were determined in line with the services, projects and targets outlined in Council's overarching Delivery Program (2022-26) and the long term community goals of the City's Community Strategic Plan.

Strategic Objective 1	Build leadership capabilities across all levels of the organisation including emerging leaders
Strategic Objective 2	Attract and support an ever-changing and diverse employee group, ensuring frameworks are established to retain staff in the job market
Strategic Objective 3	Invest in our talent and ensure clear pathways are available for succession
Strategic Objective 4	Consistently increase organisation-wide engagement to achieve high performing teams
Strategic Objective 5	Create a proactive safety and risk culture which is at the forefront of all day-to-day activities
Strategic Objective 6	Create a sustainable workplace that is progressive in its outlook

Context

Local Government Profile

The City of Parramatta is one of the fastest growing local government areas in New South Wales, and this growth is expected to continue over the next decade and beyond.

The key economic centres of Westmead, Epping, the Parramatta CBD and Sydney Olympic Park under the one council banner has created an economic powerhouse that will drive the future growth of Global Sydney. By 2041 an additional 189,292 residents are estimated to be located within the Local Government Area (LGA), versus the 2021 census population.

Staff Profile as at 31 December 2023

Council had 1516 employees including permanent, casual and term contracts.

Tenure

Tenure in years	Headcount	% of Workforce
0-1 Years	477	31%
1-3 Years	278	18%
3-5 Years	142	9%
5-10 Years	288	19%
10-15 years	125	8%
15-20 years	89	6%
>20 Years+	117	8%

Age

Age	Headcount	% of Workforce
16 - 20	67	4%
21 - 30	220	15%
31 -40	409	27%
41 - 50	363	24%
51 - 60	311	21%
61 - 70	125	8%
> 71 Years +	21	1%

Gender Identity

Currently, our workforce is made up of 52.57% females, 46.83% males, 0.26% non-specific and 0.33% non-binary.

Females fill more than double the casual roles than men within Council and we have a 3:5 ratio of females to males in our Executive Team.

<p>1,516 Headcount</p> <p>1,145.07 Full Time Equivalent</p>	<p>1071 Permanent</p> <p>15 Temporary Appointment</p> <p>114 Term Contract</p> <p>294 Casual</p> <p>22 Agency/Contractor</p>	<p>43 years Average Age</p> <p>31-40 Highest Age Profile</p>
<p>52.57% Female</p> <p>46.83% Male</p> <p>0.33% Non-binary</p> <p>0.26% Non-Specific</p>	<p>14.51% Staff Turnover</p> <p>6.44 years Average Tenure</p>	<p>138 Positions Created</p> <p>83 Positions Deleted</p> <p>55 Net Increase</p> <p><i>Permanent positions only</i></p>

Data provided as at 31 December 2023 (or relevant to the period from 01/01/2023-31/12/2023)

Strategic Issues and Risks

In addition to supporting LGA growth via high quality ongoing service delivery, Council is preparing our workforce for major developments such as:

- Redevelopment of the Epping Aquatic Centre;
- Redevelopment of Riverside Theatres; and
- A strong program of additional capital works projects funded via the NSW Government’s Western Sydney Infrastructure Grants Program (formerly WestInvest).

City of Parramatta is also initiating major internal changes to prepare for future workforce needs. This includes:

- A shift to hybrid working which focuses on an individual’s version of work;
- Agile organisation structures;
- Process efficiencies via innovative technology;
- Continuous improvement through diversity and collaboration; and
- A focus on safety and wellbeing.

This extraordinary growth will be both rewarding and challenging. To meet the challenges and capitalise on opportunities, we must have the right workforce in place with the required skills and capabilities. This will ensure that we continue to effectively and proficiently provide for our community.

As a result of the forecast growth, the community will likely require more Council-provided services and infrastructure. In response, Council is continuing to recruit and develop a skilled and adaptable workforce to deliver accordingly. We recognise, however, that changing demographics may lead to spikes in demand for services and infrastructure in the future, which will mean further changes to the composition of our workforce. This is why our workforce strategy and planning must remain flexible and responsive.

Skill Shortages

According to the National Skills Commission, skills in national shortage with strong future demand are centred around ICT, engineering, financial services, childcare, community services and trades such as horticulture and arboriculture.

This poses significant challenges to Council as a large portion of our operations and service delivery for the community centre around these areas. Specifically, in relation to our delivery of Children's and Community Services, maintenance of open spaces, provision of engineering services and advice to residents of our LGA.

Further to this, priority projects including the redevelopment of Epping Aquatic Centre and Riverside Theatre will require increased resourcing by way of staff specialising in ICT, production and community services. Therefore, Council must establish methods of effectively attracting talent in the market in conjunction to upskilling, extending and retaining current resources to facilitate the transition and growth Council is experiencing.

An Older Workforce

Of Council's workforce, 30% is 50 years and over (as at 31 December 2023). Having all five generations working for Council brings many benefits including a wide range of experiences, perspectives and backgrounds. To future proof Council it is important to ensure employees in the latter years of their career continue to be valued for their contributions, and their knowledge is retained when they decide transition to retirement.

- knowledge and skills are maintained and transferred;
- older workers feel valued; and
- flexible work options are available to ease the transition into retirement.

Attracting, Recruiting and Retaining Staff in the Current Employment Market

Council is focused on attracting, retaining and developing the right employees for each role. Council inevitably faces competition with the private sector when it comes to sourcing suitable candidates for employment. Building our employee brand and value proposition is key to attraction of high-quality candidates. We will continue to focus on:

- high quality roles;
- salary sacrifice opportunities;
- flexible and family-friendly work practices;

- learning and development opportunities; and
- the opportunity to work in the public sector and make a difference in our LGA and to the community members we serve.

Now more than ever employees are seeking personal value and purpose at work and employers need teams that can work with ambiguity and have the capacity for continuous upskilling to meet the future capabilities needed.

Alignment of Core Business Functions

We review our organisational design regularly, making changes where necessary to ensure it is flexible, resilient, and that it promotes high performance and excellence in service delivery and customer experience. Council aims to have the right people, in the right places, with the right skills, doing the right jobs, at the right time.

The structural review process focuses on:

- building on strengths where Council is recognised in areas of excellence by the community;
- core service delivery at levels agreed by the community;
- supporting individual and team achievement and recognition;
- collaborating and strengthening relationships and effective delivery across Council; and
- employee professional development and improvement.

A Culture of Leadership, Performance and Accountability

Our leaders have significant responsibility in leading a complex workforce, who are serving one of the most rapidly growing and evolving cities in the country. We are making a significant investment in building our leadership capabilities. The long-term goal is to develop effective and capable leaders at all levels and to have internal talent identified for progression. We are in the process of rolling out a leadership development program across all leadership and management levels. This focus on learning and development will equip our leaders with the right skills, behaviours and, knowledge to drive a high-performance culture.

Strategic Direction

Corporate Values

City of Parramatta have developed and implemented core values which help us achieve our purpose.

Our values are embedded in our People and Culture programs, our position descriptions, and our ways of working. The values are:

- Customer Focus;
- Innovation;
- Integrity; and
- Teamwork.

People First. Community First.

Our rich organisational history makes us unique. We are the connector between the Traditional Custodians of the land, Sydney's original settlement, and Greater Sydney's future. Our passion and dedication for caring, connecting, and serving our community is part of our DNA, and has got us to where we are today.

We are committed to holding onto these strengths to promote a healthy workplace where everyone can be their best. This means we are putting our team members and the community at the front and centre of our decisions by applying a People First. Community First. lens to everything we do. To help us live and breathe this principle we have introduced a set of ASPIRE behaviours designed by our people for our people, embedded into our core people practices.

ASPIRE Behaviours

ASPIRE outlines how we will collectively demonstrate our People First. Community First. commitment.

We are:

- **Appreciative** – we recognise and value each other's talents, skills, and contributions. We extend this to our community members.
- **Supportive** – we support each other with a one-team organisational mindset and look for opportunities to connect and communicate outside our team and directorate.
- **Positive** – we are excited about the future and celebrate our successes along the way.
- **Inclusive** – we create a safe and healthy workplace where everyone feels they belong and has a voice.
- **Respectful** – we treat others how we want to be treated. We are trusted in what we do. We demonstrate integrity and take personal responsibility for getting the right outcomes.
- **Empowering** – we promote confidence, in how we lead, interact, and work with others so everyone can be their best. We own our interactions and keep promises.

Apprenticeship/Trainee programs

With the aim to future-proof our organisation through a multi-generational workforce, our Early Careers Framework encompasses school students exploring career options through school-based work experience programs, recent school graduates, university students and graduates. We intend to further expand and diversify our Early Career offerings by working with Group Training Organisations to place apprentices and trainees.

Women's leadership/mentoring program

City of Parramatta is committed to supporting women progress their careers. We support high potential talent in the early stages of their career and professional life through a mentoring program. This program connects participants to an Executive Team member to share insights and guidance on their careers, goals, ambitions, and performance. Where appropriate we partner with supporting organisations to deliver the mentoring program.

Employee Resource Groups (Diversity, Equity & Inclusion Strategy)

Women @ CoP

Women @CoP are an ERG that positively and proactively demonstrates and drives a gender inclusive culture which enables leadership, participation and contribution from a diverse workforce, which drives business success. The ERG supports initiatives that drive greater gender balance in mid-senior level leadership roles and are advocates for Diversity, Equity and Inclusion.

Pride @ CoP

We aim to foster a culture to support LGBTIQ+ workplace inclusion. The ERG focus is to develop and retain LGBTIQ+ staff so that they have clear career progression pathways. To ensure they have the support to increase capabilities and confidence, so that they can apply for senior roles and increase the diversity within the teams.

Early Careers Network

The Early Careers Network aims to support the growth of students, graduates, trainees, apprentices, and work experience by facilitating professional development and networking opportunities using both internal and external resources.

Disability ERG

Our Disability ERG aims to support our people with disability, as well as our people who are carers of a person with a disability. We aim to educate that disability is not always visible (physical), but can also be hidden (i.e. mental health, anxiety), and to make the process of applying for a role at Council simpler and more welcoming for people with disability. We partner with organisations to help Council become a more inclusive and accessible workplace.

Veterans ERG

Our Veterans ERG aims to encourage Veterans to seek employment with City of Parramatta Council. We identify as a Veteran Friendly Employer, and create a welcoming environment for Veteran new hires, and to connect with and provide a support network to Veterans who currently work at Council.

First Nations ERG (Pending)

We aim to create a First Nations ERG that will connect and provide a support network to First Nations employees currently working at Council, and help to create a welcoming environment for First Nations new hires.

Cultural & Heritage ERG (Pending)

We aim to create a Culture and Heritage ERG that will provide a platform for our culturally and linguistically diverse (CALD) employees to showcase cultural diversity days of significance (i.e. Harmony Day, Diwali, Easter, Chinese New Year, Ramadan etc.)

Commitment to career and leadership development

We manage a corporate training budget to deliver a comprehensive Leadership Development program for all levels of management. The delivery of the program will include a combination of in-house and partner delivered programs.

We allocate budget to support staff with their individual learning needs to promote career development opportunities.

All staff briefings/leadership forums (for leadership development)

We deliver Leadership Team Forums ,and where appropriate we partner with supporting organisations, to deliver relevant material and guidance for our leaders. We will further expand our delivery with an All Staff Forum.

Employee Engagement

Council continues to recognise the significant benefits associated with promoting and enriching a workplace culture of consultation and engagement in the workplace. Council continues to measure engagement through the Annual Engagement Survey and periodic pulse surveys.

Strategic Objectives

By proactively managing our workforce through workforce planning, Council will have the capability to deliver on our strategic and operational objectives.

Council always aims to deliver services within the limits of its resources (i.e. workforce, assets and financial). By supporting decision-making with evidence-based practice, Council also seeks to minimise the costs involved in sudden or unsustainable additions to the workforce.

Methodology

Council has conducted an analysis of the priorities highlighted in the Community Strategic Plan and the current and future needs of the LGA and workforce to develop our strategic objectives.

These strategic objectives were established through facilitated workshops to ensure alignment with the organisations strategic direction.

Aspired Outcomes

Strategic Objective 1: Build leadership capabilities across all levels of the organisation including emerging leaders

Outcome

- Internal progression into leadership positions
- A high-performing engaged leadership team

Strategic Objective 2: Attract and support an ever-changing and diverse employee group, ensuring frameworks are established to retain staff in the job market

Outcome

- A reduction in staff turnover and the retention of talent
- More females securing executive and leadership positions
- A workforce of employees from all diverse groups

Strategic Objective 3: Invest in our talent and ensure clear pathways are available for succession

Outcome

- Continual internal progression
- Successful partnerships with tertiary institutions

Strategic Objective 4: Consistently increase organisation-wide engagement to achieve high performing teams

Outcome

- Being an employer of choice

- Being an innovative, collaborative and actively engaged workforce

Strategic Objective 5: Create a proactive safety and risk culture which is at the forefront of all day-to-day activities

Outcome

- A caring and supporting health and wellbeing culture.
- An engaged and productive workforce.

Strategic Objective 6: Create a sustainable workplace that is progressive in its outlook

Outcome

- An agile and engaged workforce.
- Robust supportive early career pathways.
- A workforce focused on value creation as opposed to risk aversion

Workforce Management Plan Evaluation

Council will continue to monitor internal and external environments to identify changes that may result in plan adjustments.

The workforce priorities identified will be consistently reviewed to determine their success and relevance to our changing community needs and expectations, as well as our changing environment and labour market. All actions associated with our workforce priorities will be managed through Council's Delivery Program and Operational Plan.

Council will regularly report on areas that assist in measuring success.

An evaluation of the achievements from the current plan will form part of the preparation for our next Workforce Management Plan.



Draft Delivery Program 2022-2026 and Operational Plan and Budget 2024/25, draft Fees & Charges 2024/25, and Draft Resourcing Strategy

Engagement Evaluation

May 2024

cityofparramatta.nsw.gov.au

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- 2. Engagement Evaluation 4

1. Introduction

Public exhibition of the draft Delivery Program 2022-2026 and Operational Plan and Budget 2024/25, draft Fees and Charges 2024/25, and draft Resourcing Strategy commenced on **Wednesday 24 April 2024** and concluded at 5pm on **Wednesday 22 May 2024**.

The draft plans were exhibited for a minimum of 28 days in line with the statutory requirement.

The community were given the opportunity to make submissions through the following methods:

- directly via email or post; or
- online via '[Participate Parramatta](#)'.

To assist with the accessibility of the engagement, the community were provided with a number of key documents and translations, including:

- DPOP summary information
- DPOP summary information – Arabic
- DPOP summary information – Simplified Chinese
- DPOP summary information – Korean
- DPOP summary information – Hindi
- Draft DPOP Parts 1 – 4: Services and Projects
- Draft DPOP Part 5: Financial Information (Budget)
- Draft DPOP Part 6: Fees & Charges 2024/25
- Key changes to Fees and Charges since 2023/24

The draft Resourcing Strategy documents were also on public exhibition:

- Draft Long Term Financial Plan
- Draft Workforce Management Strategy
- Draft Asset Management Strategy

Draft Delivery Program 2022-2026 and Operational Plan and Budget 2024/25, draft Fees & Charges 2024/25, and Draft Resourcing Strategy May 2024

- Draft Buildings Asset Management Plan 2025-34
- Draft Parks and Open Spaces Asset Management Plan 2025-34
- Draft Stormwater Asset Management Plan 2025-34
- Draft Road Infrastructure Asset Management Plan 2025-34



Figure 1 Snippet from the Participate Parramatta page

2. Engagement Evaluation

Overall, **approximately 120,686 people** saw the opportunity to share feedback based on the data captured from the following communications and engagement channels. The project page on Participate Parramatta was viewed 6221 times by 2740 unique visitors¹ over the public exhibition period.

This resulted in a total of **33 submissions**² and 16 Quick Poll responses.

- 18 submissions were received via the online submission form on the Participate Parramatta; and
- 15 submissions were received directly by the project team via email or mail
- 16 participants voted in the Quick Poll

2.1. Social Media

The project was promoted across Council's social media channels through both paid advertisements campaigns and organic posts. The following results were achieved via Council's main social media channels.

2.1.1. Paid Social Media results

Paid social media	Campaign Result	Benchmark
Spend	\$399.75	n/a
Reach	20,925 ³	n/a
Impressions	54,043	n/a
Frequency (no. times ad seen p/p)	2.58	2-3
Link clicks	929	n/a
CPC (cost per click)	\$0.43	\$0.50-\$1
CTR (click through rate)	1.72%	More than 1%
Post engagements	960	n/a
Engagement rate (ER)	1.8%	More than 2%

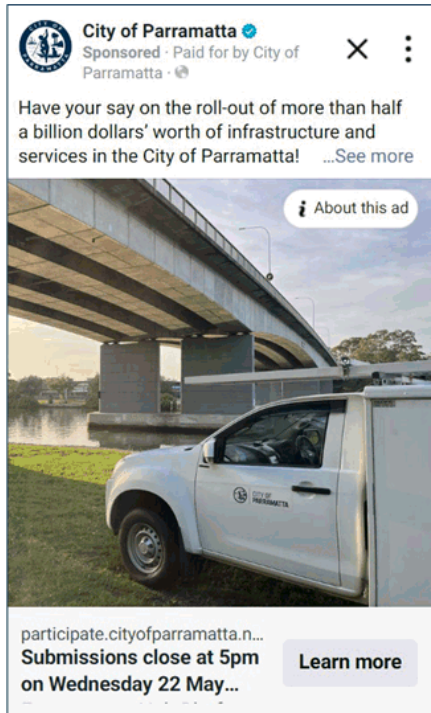
¹ 1,452 times by 1,046 unique visitors in 2022/23

² 14 submissions in 2022/23

³ 36,201 in 2022/23 (down 40%. Refer to insights)

Draft Delivery Program 2022-2026 and Operational Plan and Budget 2024/25, draft Fees & Charges 2024/25, and Draft Resourcing Strategy May 2024

Top performing ad



Insights, Comments & Recommendations

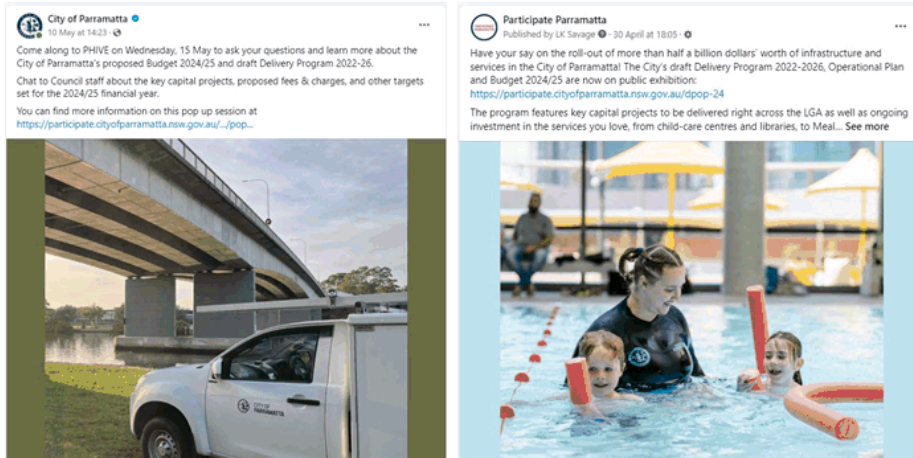
- Good results across almost all benchmarks for this campaign.
- Due to an issue with Meta identifying these ads as having a political nature, only one image variation ran. These only had an impact on engagements and the ER as our audience engaged less with an ad they'd already seen a few times.
- 42% of results were from men, 57% from women.
- 39% from 25-34, 34% from 18-24, and 11% from 35-44

2.1.2. Organic Social media results

The following results were achieved via Participate Parramatta's social media channels.

COP Facebook		Benchmarks
Posts	5	n/a
Followers	6.9K	n/a
Reach	10,301	n/a
Post Engagements	124	n/a
Engagement rate	1%	2-3%

Participate Facebook		Benchmarks
Posts	3	n/a
Followers	6.9K	n/a
Reach	327	n/a
Post Engagements	10	n/a
Engagement rate	3%	2-3%



2.2. EDMs

The feedback opportunity and the broader project was promoted through the following EDMs:

Email campaign	Emails sent	Open rate	Link
Participate Parramatta (2 May)	17,633	39% (6759)	401
Participate Parramatta (15 May)	18,000	38% (6811)	269
City News (7 May)	30,967	30%	88
City News remail	22,192	18%	31
Total	88,792		

2.3. Parra News

The project was also promoted in Parra News (local news publication) during the exhibition period on Tuesday 30 April 2024.

2.4. COP Homepage

City of Parramatta website	Views	Users	Ave time	Clicks
Homepage banner	146	66	4m41s	23
On exhibition	42	33	17s	0
Media release	36	30	21s	0
TOTAL	224			

2.5. Pop-up at PHIVE

A pop-up stall was promoted on Facebook and to Participate followers. Held on the Ground Floor at PHIVE, the project team distributed over 50 postcards and spoke to interested members of the community.

2.6. QR Codes

Location	Scans
DPOP 24 Posters and postcards	3
DPOP 24 PAC	17
DPOP 24 PHIVE popup	2
DPOP 24 Hardcopies	3
DPOP 24 Kiosk	0
DPOP 24 Condensed flyer	11
DPOP 24 Flyer (Summary)	10
DPOP 24 Lord Mayor Column	7
DPOP 24 Library and CCC screens	0
DPOP 2024 Advert (Parra News)	14
TOTAL	67

2.7. PARTICIPATE Parramatta

Promotion of the engagement directed community members to the Participate Parramatta website. The project page was viewed 6,221 times, generated 18 contributions and 16 quick poll responses.

Project Page Events	
Views	6,221
Visitors	2,740
Online submissions	18
Quick poll responses	16
Total contributions*	34

*Survey and the quick poll combined.

2.8. Downloads of documents

A total of 16 documents were available in the *Resources* section. These documents were downloaded a total of 1287 times⁴ during the exhibition period.

Documents	Views/Downloads
Draft DPOP Parts 1-4 - Services & Project	499
Draft DPOP Part 6 - Fees & Charges	255
Draft DPOP Part 5 – Budget	183
Summary English	45
Draft Workforce Management Strategy	38
Draft Parks and Open Spaces Asset Management Plan 2025-34	37
Draft Road Infrastructure Asset Management Plan 2025-34	36

⁴ 441 times in 2022/23

Draft Delivery Program 2022-2026 and Operational Plan and Budget 2024/25, draft Fees & Charges 2024/25, and Draft Resourcing Strategy May 2024

Draft Buildings Asset Management Plan 2025-34	34
Draft Stormwater Asset Management Plan 2025-34	26
Draft Long Term Financial Plan	25
Draft Asset Management Strategy	25
Summary Korean	19
Summary Arabic	18
Key Changes to Fees & Charges since 2023-24	18
Summary Chinese Simplified	15
Summary Hindi	14
TOTAL	1287

2.9. Email submissions

15 email submissions were received.

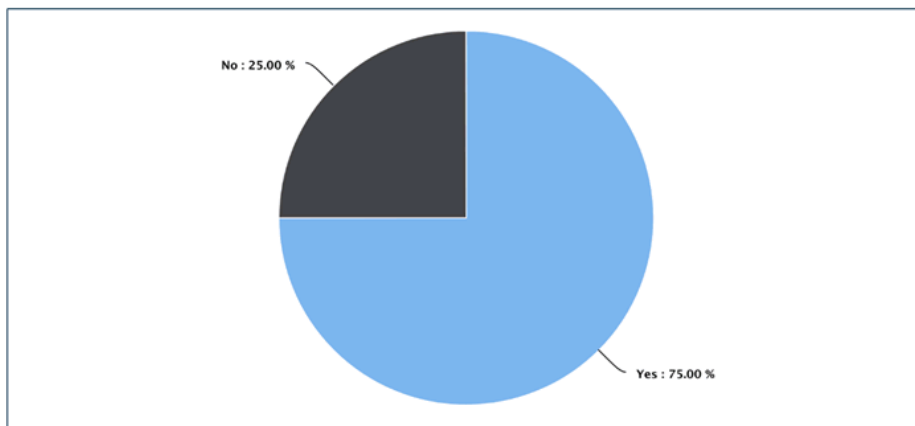


Figure 2 Response to Quick Poll question: After reading this page, do you have a better understanding of the DPOP?

Public exhibition of draft DPOP & Budget, Fees & Charges and Resourcing Strategy 24 Apr – 22 May 2024

Summary of responses and channels

Submission ID #	Submission type	Submission channel
1	Individual	Email
2	Individual	Email
3	Individual	Survey
4	Individual	Survey
5	Individual	Survey
6	Individual	Survey
7	Individual	Email
8	Individual	Survey
9	Individual	Survey
10	Individual	Survey
11	Individual	Survey
12	Individual	Survey
13	Individual	Email
14	Individual	Email
15	Individual	Email
16	Individual	Email
17	Individual	Survey
18	Individual	Survey
19	Individual	Email
20	Individual	Email
21	Group	Survey
22	Individual	Email
23	Individual	Email
24	Individual	Survey
25	Individual	Email
26	Individual	Survey
27	Individual	Survey
28	Individual	Email
29	Individual	Survey
30	Group	Survey
31	Individual	Email
32	Individual	Survey
33	Staff/internal	Email

DPOP & Budget, Fees & Charges Community Submissions 2024/25

City Assets & Operations

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
8	\$50 rebate	Suggests that rebate will benefit landlord rather than renters. Requests something for renters or community at large.	N	Council collects rates from property owners, and it is generally at the discretion of the property owner whether to pass on any rebates or benefits to their tenants.
19	\$50 rebate	Opposing \$50 rebate. Suggests that the \$4m excess could be better used towards other waste services initiatives	N	This would be subject to a Council resolution
22	\$50 rebate	Supports this Council initiative in response to current cost of living pressures	N	N/A
20	\$50 rebate	Supports \$50 rebate - a great initiative. Requests that it be extended to following year.	N	This would be subject to a Council resolution
24	\$50 rebate	Suggests that waste reserve money could be put towards other Council services such as doorstep recycling or other waste reduction initiatives.	N	There are numerous waste initiatives available in the market. However, the Council follows a staged approach to evaluate these initiatives and develop a business case to justify the investment. Currently, the Council has dedicated significant resources to the development of the Community Recycling Centre and the implementation of FOGO (Food Organics and Garden Organics).
25	\$50 rebate	Objects to \$50 rebate being paid to ratepayers. Could be better spent on waste initiatives and education	N	A significant investment in waste initiatives and education has been allowed for in the long-term financial plan.
17	Waste Management Charges	The estimated income from the domestic waste charges appears to be based on 23/24 usage. However, the new waste system for 24/25 will result in many residents in the present 140L bin category being charged at the 80L bin rate. This does not appear accounted for, and the estimated income may be off by \$1-3 million.	N	The calculation has been based on 1st July. The FOGO roll out will only happen from November 2024. Allowance for a revenue reduction has been allowed for in the long-term financial plan.
17	Waste Management Charges	Suggests an additional tier for "shared" or "strata" residential charges should be added for more fair and representative domestic waste pricing	N	Each dwelling is provided a waste service as per the Fees & Charges based on an allocated capacity and not physical bins provided. This could be either individual bins or shared bins
6	Delays in project completion	Delays in completion of Max Ruddock amenities	N	Max Ruddock Reserve amenities building is being delivered as part of a Western Sydney Infrastructure Grants project. The project is on track in alignment with the funding deed.
2	Sidewalks/ Road repairs	Request to repair sidewalks for pedestrian access in Parramatta	N	Footpaths are assessed and rated according to severity and placed on a maintenance program for repairs.
31	Outdoor Lighting	Request to repair the path lights on the escarpment boardwalk.	N	The path lights will be inspected, and repairs will be undertaken accordingly.
17	Accessibility of Governor Philip Walk	Area behind Wistaria Gardens is currently inaccessible. Seeking clarification on when this will be resolved.	N	Wisteria gardens is managed by the NSW Government Greater Sydney Parklands not City of Parramatta. Council would need to lobby for re-opening of the accessway.
20	Lake Parramatta upgrade	Supports Lake Parramatta upgrade	N	
25	Upgrade George Kendall Reserve baseball diamonds	More budget to address lack of shade, bathroom amenities and seating	N	All major capital works are identified in the George Kendall Riverside Park Master Plan and will be delivered upon availability of funding to undertake detail design and works. It should also be noted that major works within the park which align with the adopted Master Plan have been funded and undertaken by the NSW Governments Department of Planning, Housing and Infrastructure (DPHI) with the project due to be completed by June/July 2024.
21	Commitment to accessible infrastructure	Supports commitment to infrastructure to promote accessible and green spaces and community and cultural development - in particular Lake Parramatta, Somerville Park, Epping Pool and Riverside projects.	N	A key document that guides the design of public infrastructure is Council's Environmental Sustainability Strategy. This strategy puts in place the thinking, planning and actions to ensure that the City grows economically, while also creating vibrant, smart, resilient neighbourhoods, and great places to play. Key themes of the strategy include; A City in Nature, Connected and Resilient Communities, Build for the Future and Leading by Example.
7	Environment & Sustainability	Greater emphasis and funding in this area - parks and programs Tree planting - to address increasing temps and ensure sun protection. Wants incentives to plant and maintain large trees on private property - eg rate reductions and education campaigns	N	Council already provides 1 tree/plant giveaway days (per ward + 1 to all) per year for ratepayers. Education covered under existing programs. No additional budget for financial incentives.

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
29	Environment & Sustainability	Request for greater funding of environmental sustainability activities/programs - Parra River, tree canopies, bush regeneration, electric cars, education etc.	N	This would be subject to a Council resolution for any increased budget.
27	Environment & Sustainability	Request for more funding for environment sustainability. Community workshops asked for 0%, budget only provides 4%. Need for more tree planting, bush regeneration, litter removal from creeks, restoration of Vineyard Creek, electric vehicle charging stations etc.	N	This would be subject to a Council resolution for any increased budget.
27	Problem Waste	Request more regular pickups for problem waste - batteries etc.	N	Council is establishing a Community Recycling Centre to provide greater access and convenience for the community to recycle problem waste. This includes batteries
10	FOGO	Supports FOGO. Requesting information on whether biodegradable benchtop tidy bags will form part of the service. Info on this not provided in DPOP or F&Cs	N	Yes, this will be provided as part of the service
28	FOGO	Seeking a cost benefit analysis of this project.	N	This is state government mandate to introduce FOGO by 2030.
31	More public waste bins	Request to provide adequate waste bins in the area on the Northern side of the river between Alfred Street Bridge and MacArthur Bridge.	N	Council will review the request to determine if additional bins are warranted
30	Richie Benaud Oval/Belmore Park redevelopment	Supports but questions why the approved work on the Richie Benaud Oval/Belmore Park redevelopment has been omitted.	N	Council has applied for a Commonwealth Government grant to upgrade Belmore Park including Richie Benaud Oval. At the time of publishing the grant application has not been executed and is being processed by the Commonwealth.

Community & Culture

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
4	F&Cs increases	Request to keep tennis court hire costs as is. Amenities request - Clubhouse and toilets for Epping tennis courts	N	Fee increases reflect increasing cost to run services to the community. Council's investment in such services has increased at a similar level. Request for amenities at Epping tennis courts will need to be investigated. No plan to add as a project.
5	F&Cs increases	Oppose increase in rates and fees (courts)	N	Fee increases reflect increasing cost to run services to the community. Council's investment in such services has increased at a similar level.
13	F&Cs increases	Disappointment in Seniors classes fees raised by about 4%	N	Fee increases reflect increasing cost to run services to the community. Council's investment in such services has increased at a similar level.
15	F&Cs increases	No objection to Social Support fee increases - from \$87.50 per hour to \$91.00 per hour.	N	Feedback noted.
18	F&Cs increases	Opposing tennis court price increase. Suggests there is no rubbish bin and lack of maintenance at Dundas Park	N	Feedback noted. Feedback regarding maintenance schedule will be passed onto appropriate team.
16	Seniors (free) pool access	Request for flexibility in allowing free access to seniors beyond Tuesdays	N	No plan to expand this current offer.
27	More support for NFPs	More grants for NFPs	N	Increase to grants program of \$50,000 already included, plus planned consolidation of grant programs into larger program.
32	More support for NFPs	More Council support required for NFPs	N	Increase to grants program of \$50,000 already included, plus planned consolidation of grant programs into larger program. Council provides substantial program of capacity building support and advocacy for funding improvements.
27	Meeting rooms for community	Meeting rooms for community are currently in short supply and too expensive.	Y	With the addition of PHIVE and Parramatta Town Hall there is increased supply and diversity of hireable space for community use across the City of Parramatta. PHIVE venue hire packages for Community and Not For Profit category hirers have been added which are inclusive of lectern and microphone at no additional charge to reduce total cost to hirers.

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
32	Meeting rooms for community	Community halls are not well maintained or unavailable	N	Community Infrastructure Strategy sets future directions for new and renewed community halls. Maintenance schedules are established for each facility.
21	Increase investment in social services	Increased Investment in social services to promote equity is needed - affordable housing, mental health support and reduce fees for access to community facilities.	N	Council's Social and Community Services Business Unit delivers wide range of services and supports the local community service sector to meet needs. Council provides substantial program of capacity building support and advocacy for funding improvements, such as, for example, recent advocacy on the funding of housing programs and domestic violence services.
11	Increase investment in social services	Concerned that allocation of these support services are not clearly identified	N	Increase to grants program of \$50,000 already included plus planned consolidation of grant programs into larger program.
11	Roxy Theatre	Strongly support its reopening	N	Council continues to advocate to the State Government for the importance of unlocking potential of Roxy Theatre.

City Engagement & Experience

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
21	Further commitment to transparency	Further commitment and transparency in DPOP, Workforce, Resourcing Strategy and Budget is required for: - engagement with marginalised communities - suggests participatory budgeting and decision making for local residents.	N	Council is committed to improving engagement with all community members on these important strategic plans. Recently Council has established an annual series of community workshops, including participatory budgeting activities, to inform the ongoing development and review of these plans. Council continues to implement improvements to its engagement channels and marketing activities to reach a broader portion of the community – including accessibility improvements and opportunities such as in-person workshops delivered in community languages. An upcoming review of Council's Community Engagement Strategy will seek to affirm Council's commitment to engagement prior to the review of the Community Strategic Plan, Delivery Program and Resourcing Strategy in the new Council term.
31	More Regular Local Parramatta Markets	Request for more regular Local Parramatta Markets	N	Council reviews and processes applications for markets within our public domain areas. In recent months we have seen an increase in applications for Parramatta and Centenary Square. The Events and Festivals Strategy is also due for renewal in 2025 where markets will be considered in wider review across the LGA.

City Planning & Design

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
21	Infrastructure funding gap	Draft budget does not address infrastructure funding gap of approx. \$1.3 billion as a result of reduced commitments from developers. This wont allow for sustainable growth.	N	The Works Program in Council's City Centre Contributions Plan sets out estimated costs of works and locations for delivery over the 40-year life of the plan. It is never intended that the entire cost of the Works Program would be funded from developer contributions. Mechanisms that could be used to fund any infrastructure funding gap may include: planning agreements that provide additional funds or works-in-

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
				kind, State and federal government grants; and cross-subsiding new facilities as part of mixed-use development schemes on Council owned land. The DPOP outlines commitments over the next 1 to 4 years and is developed in alignment with the Works Program, which is periodically reviewed.
1	Traffic, Transport & Development Planning	Travel time from Telopea to Sydney - too long. Road Safety request to install traffic lights at intersection at Telopea	N	Intersection upgrades are planned at several intersections in Telopea as part of proposed development in the local area. Traffic signals are also proposed for the intersection of Pennant Hills Road and Evans Road, and Parramatta Light Rail will improve public transport access to Parramatta and other parts of Sydney.
2	Traffic, Transport & Development Planning	Suggest Pedestrian Bridge across Hawkesbury Road, Westmead	N	There are currently no proposed pedestrian bridges for Hawkesbury Road, Westmead. Given the space constraints providing a bridge will significantly impact on pedestrian flow and amenity and so is not considered an appropriate method to address this issue.
24	Traffic, Transport & Development Planning	Supports focus on improving active transport such as improved cycleways to link major nodes in our city	N	Council currently has just over \$130M in walking and cycling projects being delivered across planning, design and construction, and is actively seeking additional funding opportunities. These routes include the key regional corridors connecting through and into the LGA.
26	Traffic, Transport & Development Planning	Budget should focus on new active transportation projects. Consider how sustainable transport and vibrant neighbourhoods can be encouraged and embraced, including improving safety for pedestrians and others	N	Council currently has just over \$130M in walking and cycling projects being delivered across planning, design and construction, and is actively seeking additional funding opportunities. Council has also delivered just under \$1.9M in new footpaths across the LGA this Financial Year. These projects will contribute to a community that will have more opportunities for a safer, healthier, more enjoyable experience in our neighbourhoods and streets.
28	Traffic, Transport & Development Planning	Seeking a more robust framework around transport, planning and development.	N	Council has a number of strategies and plans that guide planning and transport within the LGA. Further, Council has committed to preparing an Integrated Transport Strategy.
3	Traffic, Transport & Development Planning	Endemic tree planting not clearly spelt out. New houses reducing greenery and contributing to flooding.	N	Parramatta DCP 2023 specifies controls to reduce impacts to flooding and urban heat. It also contains controls for the planting of indigenous and/or endemic species on private land as part of a redevelopment, with a list of endemic species included in the DCP.
12	Traffic, Transport & Development Planning	Seeking greater focus on safe biking infrastructure around schools and libraries.	N	Council's draft Bike Plan 2024 identifies both projects and programs to support both walking and riding to school. Should the Bike Plan be adopted by Council, it will be a major focus of delivery.
3	Outdoor Lighting	Request to invest in and develop policy to address outdoor lighting, light pollution and intrusive lighting across LGA	N	Requirements to ensure outdoor lighting on public land is not intrusive are contained in Parramatta Public Domain Guidelines 2017; and for outdoor light sources on private land, conditions of consent on DA's and Complying Development certificates outline the standard required.
11	Accessible public toilets	Short term planning should ensure that there are identifiable and accessible public toilets within 750m-1,000m of any point in the central CBD	N	Initiatives such as the Australian Government Department of Health and Aged Care's " National Public Toilets Map " identify public toilet locations nationally and within the Parramatta CBD. Between Council, state government and private providers, Parramatta CBD already has various accessible public toilets available within 750m-1000m of any point in the CBD. Some of these locations include PHIVE, Centenary Square, Parramatta Westfield, Parramatta Station, Parramatta Park and Parramatta Wharf.
28	Environment & Sustainability	Supportive of climate action initiatives that Council has undertaken such as the peak power demand in the CBD, the flood study and the heat maps. However sees a disconnect between this research and the strategies implemented.	N	Council's Environmental Strategy sets out direction for Council across four environmental themes and has helped to drive projects such as the development of our cool roads trial, tree planting prioritisation for urban heat hotspots and flood warning networks.

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
21	Environment & Sustainability	Transparency around renewable energy initiatives (detailed roadmap), urban greening projects, local community projects	N	Council's Environmental Strategy seeks to bring together and communicate key areas of environmental action for Council as an organisation including how we support our community. This has led to outcomes such as Council's 100% renewable energy contract, Parramatta Light Rail planting programs and our LED Street lighting upgrade project. Detailed project information is communicated via Council's website and other communications channels when appropriate.
31	Install signage on shared pathways	Request to install clear, large, regular signage on the poles and paths of shared pathways, indicating a 10-kilometer speed limit, and to remind people to keep left when walking or cycling.	N	Council looks to install both regulatory and educational line marking on the shared path network as required. There are no plans to introduce 10km/h speed limits on shared paths as it would not be possible to enforce and at 10km/h a rider will become unstable. However recently Council has trialled high visibility temporary signage and pavement stickers reinforcing the "keep left", "share" and "slow down" message at key locations.

Finance & Information

Submission ID #	Theme	Community Submission feedback details	Is an amendment proposed?	Council Response
6	F&Cs increases	Oppose increase in prices (general)	N	To cover the increase in operating costs and ensure financial sustainability of the council.
9	F&Cs increases	Dissatisfaction with Station Street carpark price increase to \$22/day (formerly \$14/8hrs).	N	Alignment of parking rates across various centres to reflect supply and demand.
14	F&Cs increases	General dissatisfaction in price increases	N	To cover the increase in operating costs and ensure financial sustainability of the council.
21	F&Cs increases	Does not support fees and charges as no visibility on changes or comparisons to previous year. Request further detail and justification.	N	To cover the increase in operating costs and ensure financial sustainability of the council.
6	Spread of Projects and Services	Suggests that Winston Hills is not prioritised in terms of number of programs or services (roads, footpaths, amenities) when compared to Parramatta. Changes only made after repeated requests	N	Council is committed to providing a high level of service across the whole local government area. Within a limited budget, Council continually reviews its resource prioritisation on a needs basis to deliver millions of dollars in services and infrastructure across each of its five wards every year. Residents are encouraged to contact Council if there are any urgent concerns related to their local area.
20	Credit card surcharge	Suggests that the charge is not being passed on to users, and instead borne by residents and business.	N	In some cases the cc surcharge is borne by the Council.

Resourcing Strategy Submission

6

Submission ID #	Section	Community Submission feedback details	Is an amendment proposed?	Council Response
23	Draft Budget 2024/25 / Enviro Sustainability	<ul style="list-style-type: none"> Request to double Environmental Sustainability Budget from 4% to a min 8% Community workshop surveys sought increase to 8-11% for these Services. This could be achieved by 1% reduction/redirection to each of Roads/, Public Space/, Corporate/ and Major Works/ for example. 	N	This would be subject to a Council resolution for any increased budget.
23	STORMWATER AMP	<ul style="list-style-type: none"> The City needs to embrace and promote Sponge-City strategies with specific opportunities Blue-Green Infrastructure needs to be evaluated and quantified as broader Resource assets across the City. Executive Summary needs to identify Targets for increasing innovative WSUD upgrades rather than replacing existing like with like infrastructure and services. <ul style="list-style-type: none"> Unable to find data on extent of WSUD & Pollution Control Infrastructure, value, effectivity assessment, targets and opportunities to increase these, Unable to find data or measures of street-runoff gravel and particulate pollutions entering watercourses. Substantial need to increase green-engineering Erosion Control (Extreme Greening planting Casuarina glauca/Lomandra matrix, ie non armouring), Targets needed to increase Water resource Infiltration and OSRetention beyond the OSD in new developments, Targets needed to increase in Permeable Paving and GPTs, doubling the quantity of Assets. 	N	The current draft AMP adequately addresses WSUD and Pollution control device principles and valuations. Blue-Green infrastructure actions addressed under revised draft Environmental Sustainability Strategy (2023).

<p>23</p>	<p>PARKS & OPEN SPACES AMP</p>	<ul style="list-style-type: none"> • Request to enable and Budget for New Open Space items integrated with Cultural Plan Strategy • This is for greater depth and diversity for tourism business appeal in the east CBD and at Old Toongabbie (ref WH Model Farms), specifically: <ul style="list-style-type: none"> • - • KEY LOCALITY • Develop high profile New "Camelia Grove" Garden - honouring historic Silas Sheather Camellia Grove Nursery (1852-1906, breeding 100 varieties with special nursery program, formerly Dobroyde Gardens Nursery 1830-1867). <ul style="list-style-type: none"> ○ part 1 along Parke St (north of Experiment Farm on Clay Cliff Ck), and ○ part 2 in Camellia Model City (1 ha min). ○ Engage Camellia Ark http://camelliasaustralia.com.au/gardens/camellia-ark/ • KEY LOCALITY • Develop high profile "Reactivating Toongabbie Govt Farm c1791" as State Heritage • Archaeological Research, Interpretive Productive Community Farm, Regional Cycleway, Linear City-forests, Public Art, Ecological/habitat restoration, reference Gov Brisbane's Model Farms for a 21st century reworking. <ul style="list-style-type: none"> ○ see p 2-5 from Caber Park, Lomond/Barnett Park, Oakes Reserve, Sue Savage Reserve, McCoy Park/Girraween Crk • BIODIVERSITY CONSERVATION ACT • The AMP needs to add detail on Council responsibilities and application of Biodiversity Conservation Act, et al with regard to all Open Spaces and Council properties • Request to double (increase x200%) Budget for Skilled Community Engagement and expand Bushcare Program • Request to double Budget of Natural Resources to add new strategies for managing Rare & Remnant Endangered Ecological Communities of Woodland & Grassland on lands Categorized Park (in error) and Bushland requiring higher level or Asset Management. <ul style="list-style-type: none"> ○ Examples needed ○ Citizen Science of Herbiore Grazing (Urban Shepherd Cultural Plan Strategy), and ○ Cultural Burn Mosaic programs with FN Firesticks lead to complement hand-mowing of remnant Grasslands 	<p>N</p> <p>N</p>	<p>Points 1-2, are already covered in Council's strategies (CIS etc), and the Open Space & Recreation Plan currently under development</p> <p>Natural Areas and associated assets (natural & built) currently do not have an AMP, however, there are plans for one in the near future. Natural Area budgets are currently guided by the Natural Areas Plan of Management (internal doc), relevant state & federal legislation, the Biodiversity Plan (2015) and draft revised Environmental Sustainability Strategy (2023).</p>
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23	ROAD INFRASTRUCTURE AMP	<ul style="list-style-type: none"> • Executive Summary needs to identify Targets for increasing roadside WSUD upgrades rather than replacing existing like with like infrastructure and services. <ul style="list-style-type: none"> ○ Unable to find data on quantities and impacts of Road Paint, Bitumen, Rubber tyre dust and plastic residue ○ Unable to find target and measures to collect gravel and particulate pollution that enters watercourses. ○ Unable to find data on extent of WSUD & Pollution Control Infrastructure, value, effectivity assessment, targets and opportunities to increase these • Targets needed to reduce Urban Heat, by increasing higher reflectivity (lighter colour) gravel/concrete/bitumen resurfacing. • Targets needed to increase Permeable paving, • Identify areas for Tree Vault and Stormwater Detention beneath Carparks, Road-shoulders and islands. 	N	The current draft AMP adequately addresses WSUD and Pollution control device principles and valuations. Blue-Green infrastructure actions addressed under revised draft Environmental Sustainability Strategy (2023).
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Summary of changes post-exhibition – DPOP 2024/25

Section in final draft	Summary of change / rationale
City Assets & Operations – Capital Projects Delivery	- Project name changed from "Ermington Foreshore Stage 3" to "Rydalme Foreshore Stage 3" to accurately reflect location of works
City Assets & Operations – Parks and Open Spaces	- Recategorisation to key project: 'Pavilion Capital Improvement Program' - Provide sportsground pavilions and public amenities to a condition which is compliant with current standards - Target Date: 30 June 2025
City Assets & Operations – Parks and Open Spaces	- Key project 'Parramatta Light Rail Tree Offsets', transferred from Environment and Sustainability to Parks and Open Spaces service
City Assets & Operations – Parks and Open Spaces	- Recategorisation to key project: 'Playground Replacement Program' - Renew, maintain and provide public playgrounds, including the replacement of playground equipment - Target date: 30 June 2025
City Assets & Operations – Environment and Sustainability	- Recategorisation to key project: 'Stormwater Harvesting and Reuse Program' - Selecting playing fields to harvest stormwater runoff for park irrigation and toilet flushing - Target Date: 30 June 2025
City Assets & Operations – Environment and Sustainability	- Applied a fixed target to carbon emissions KPI, in response to Councillor feedback for more specific targets. Now reflects 'reduce on previous year by 5%' (formerly 'continue to reduce emissions').
City Assets & Operations – Waste Management and Cleansing	- Recategorisation to key project: 'Waste Strategy' - Develop a new waste strategy to deliver on Council's waste targets and circular economy - Target date 31 December 2025
Community & Culture – Social & Community Services	- Recategorisation to key project under Community Capacity Building: 'Disability Inclusion Action Plan (DIAP) Renewal 2026-2030'
Community & Culture – Libraries	- Library visitation target adjusted slightly from 1,000,000m to 1,200,000 across the library portfolio. This incorporates share of Ground Floor PHIVE visitation
Community & Culture – City Culture	- Updated former 'Parramatta Artists' Studios and Cultural Services' service page to reflect the newly established 'City Culture' business unit and functions
Community & Culture – Riverside Theatres	- Updated Heritage Centre Adaptive Reuse Project target completion date from 30 November 2024 to 30 April 2025
City Engagement & Experience – Communication, Marketing, Strategic Partnerships	- Updated service name from 'Communication and Marketing' to 'Communication, Marketing, Strategic Partnerships', and update service description to reflect transfer of Alliances/Partnership functions from former City Strategy.
City Engagement & Experience – Events and Festivals	- Recategorisation to key project: 'Events and Festivals Strategy 2025-2030' - 5 year Events and Festivals Plan to realign with Council's overarching Strategies and Plans including Parramatta 2050 - target date: 30 June 2025

Section in final draft	Summary of change / rationale
City Planning & Design - Infrastructure Planning & Design	- Target completion date for Smart City Strategy has been amended to 31 December 2024 (formerly 30 June 2025) – Councillor feedback to review these dates.
City Planning & Design – Major Projects and Precincts	Target completion date for Parramatta North & Westmead Innovation District (WID) project amended to 30 June 2025 (formerly 31 December 2024). As this is an ongoing advocacy piece, any state government delays could result in difficulties reporting against December deadline - so we have aligned to the end of reporting year.
City Planning & Design – City Strategic Planning	- Recategorisation to key project: 'Heritage Review' - Undertake year one of the five year heritage review program - target date: 30/06/2025
City Planning & Design – City Strategic Planning	- Target completion date for Environmental Strategy has been amended to 31 December 2024 (formerly 31 March 2025) – Councillor feedback to review these dates.
City Planning & Design – Corporate Strategy	Recategorisation to key projects: <ul style="list-style-type: none"> • 'Community Strategic Plan refresh' – Review and update the City of Parramatta's Community Strategic Plan – target date 30 June 2025 • 'New four-year Delivery Program' – Develop a new four-year Delivery Program for the Council term (FY 2025/26-2028/29) including an Operational Plan for FY 2025/26 - target date 30 June 2025 'Resourcing Strategy refresh' - Coordinate a review of Council's Resourcing Strategy suite of plans - target date 30 June 2025
Supporting Corporate Services – Finance & Information	- Removal of key project: 'CBD Parking Project', as it is a duplication of project already covered by City Assets and Operations – 'Integrated Parking Solutions Program'
Supporting Corporate Services – Finance & Information	- Updated sub service wording from "Property, Security, Assets and Services" to "Property, Assets and Services", to reflect transfer of security function to ICT
Supporting Corporate Services - People, Culture & Performance	<ul style="list-style-type: none"> - Minor adjustments to KPI targets for improved clarity: • <i>Percentage of all workplace incidents reported within Council's online safety record keeping system within 48 hours of incident occurring</i> – Target updated to '≥90%' • <i>Number of lost time injuries occurring per 1 million hours worked</i> – Target updated to 'reflect 12.00 (SafeWork Industry standard for local government)' • <i>Percentage of Leadership induction training completed</i> – Target updated to '100% of permanent NEW

Section in final draft	Summary of change / rationale
	<p>leaders complete within 6 months of commencement in role'</p> <ul style="list-style-type: none"> • <i>Employee Engagement rating</i> – Target updated to '5 percentage points increase on previous annual survey' <p><i>Employee turnover rate</i> – Target updated to 'Decrease turnover rate by 3% (full year result)'</p>
<p>Supporting Corporate Services – Office of the Lord Mayor and CEO</p>	<p>- New service page established with new service description</p> <ul style="list-style-type: none"> - Transfer of existing governance/secretariat KPI and addition of new KPI: <ul style="list-style-type: none"> • Existing: Secretariat - <i>Council Meeting agendas are published 7 days prior to a Council Meeting</i> – Target: 100%, Quarterly • New: Secretariat - <i>Increased transparency of Council decisions</i> – Target: A maximum of 20% of Council reports to be considered in closed/confidential session, Quarterly
<p>Supporting Corporate Services – Office of the Lord Mayor and CEO</p>	<p>- New key project included:</p> <ul style="list-style-type: none"> • 'Community Engagement: Governance of Council' – Deliver a community education campaign in relation to the structure of Council, Council wards and boundaries and the role of Councillors and the Lord Mayor, including an option to consider the introduction of a popularly elected Lord Mayor.– target date 31 December 2025

Summary of changes post-exhibition – Fees & Charges 2024/25

Section Ref No in final draft	Summary of change / rationale
<p>1613</p> <p>1614</p>	<p>Roads & Infrastructure Contribution to Works under Section 217 of the Roads Act, 1993 The below approved unit rates represent the contribution payable being 50% of Council's costs of construction (a) Kerb & Gutter Construction (all properties)</p> <p>(i) Along Frontage – per mtr.</p> <p>(ii) Side Boundary – per mtr</p> <p>Fee % Increase changed from 5% to 7.5% to accommodate inflationary pressures</p>
<p>1615</p>	<p>Roads & Infrastructure Contribution to Works under Section 217 of the Roads Act, 1993 The below approved unit rates represent the contribution payable being 50% of Council's costs of construction (b) Footpath Construction (for property rate exempt under Section 555 of the Act)</p> <p>(i) Concrete Footpath – per mtr.</p> <p>Fee % Increase changed from 5% to 10% to accommodate inflationary pressures</p>
<p>1624</p>	<p>Roads & Infrastructure DS4 – Engineering/Landscaping/Traffic Design Checking, Approval Fees with respect to roads and drainage related works in the public way associated with development</p> <p>Per metre.</p> <p>Fee % Increase changed from 5% to 7.5% to accommodate inflationary pressures</p>
<p>1634</p> <p>1635</p> <p>1636</p> <p>1637</p>	<p>Roads & Infrastructure Fees for Construction of Special Vehicular Footpath Crossings and Associated Works by Council Residential</p> <p>Layback ONLY (3.00m long or 4.20m, including wings)</p> <p>Additional layback length – per metre</p> <p>Footpath Crossing slab (125mm) – per metre</p>

Section Ref No in final draft	Summary of change / rationale
	<p>Footpath Crossing strips 800mm wide x 125mm thick for footpath widths over 5m – per m²</p> <p>Fee % Increase changed from 5% to 7.5% to accommodate inflationary pressures</p>
<p>1638</p> <p>1639</p> <p>1640</p>	<p>Roads & Infrastructure Fees for Construction of Special Vehicular Footpath Crossings and Associated Works by Council Heavy Duty/Industrial</p> <p>Layback ONLY (3.00m long or 4.20m, including wings)</p> <p>Additional layback – per mtr.</p> <p>Footpath Crossing Slab (200mm R/F – F82) – per m²</p> <p>Fee % Increase changed from 5% to 7.5% to accommodate inflationary pressures</p>
<p>1641</p> <p>1642</p>	<p>Roads & Infrastructure Fees for Construction of Special Vehicular Footpath Crossings and Associated Works by Council Works Associated with the above</p> <p>150mm kerb and gutter – per mtr</p> <p>Footpath slab 70mm – per m²</p> <p>Fee % Increase changed from 5% to 7.5% to accommodate inflationary pressures</p>
<p>1646</p> <p>1647</p>	<p>Roads & Infrastructure Restoration of Roads and Footpaths (i) Road Pavement Asphalt Concrete on Cement Concrete Base (Rigid pavement)</p> <p>Establishment Fee</p> <p>Plus per m²</p> <p>Fee Increased from 5% to 7.5% to accommodate inflationary pressures</p>
<p>1648</p> <p>1649</p>	<p>Roads & Infrastructure Restoration of Roads and Footpaths (i) Road Pavement Cement concrete (Rigid pavement)</p> <p>Establishment Fee</p> <p>Plus per m²</p>

Section Ref No in final draft	Summary of change / rationale
	Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1650 1651	Roads & Infrastructure Restoration of Roads and Footpaths (i) Road Pavement Bitumen/Asphalt (Flexible Pavement Establishment Fee Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1652 1653	Roads & Infrastructure Restoration of Roads and Footpaths (i) Road Pavement Unsealed Shoulders/Pavement Establishment Fee Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1654 1655	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Brick Pavers (or similar) Establishment Fee Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1656 1657	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Exposed Aggregate 300X300 Concrete Pavers Minimum Charge Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1658 1659	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Granite Paving 600X300 (eg Centenary Square) Minimum Charge

Section Ref No in final draft	Summary of change / rationale
	Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1660 1661	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Secondary Footpath Treatment (Concrete with Pavers/Asphalt overlay) Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1662 1663	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Granite/Cobblestone Sets (Laneway/Footpath) Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1664 1665	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Porous Pavement (Tree Surround Treatment) Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1668 1669	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Bitumen/Asphalt Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1672 1673	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths 130mm Concrete Residential Footpath Crossing (Driveway) Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1676 1677	Roads & Infrastructure Restoration of Roads and Footpaths (ii) Footpaths Formed or Grassed Area (Nature Strip)

Section Ref No in final draft	Summary of change / rationale
	Plus per m2 Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1678 1679	Roads & Infrastructure Restoration of Roads and Footpaths (iii) Kerb and Gutter Concrete – including Layback Plus per metre Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1680 1681	Roads & Infrastructure Restoration of Roads and Footpaths (iii) Kerb and Gutter Kerb only Plus per metre Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1683 1685	Roads & Infrastructure Restoration of Roads and Footpaths (iii) Kerb and Gutter Gutter only Plus per metre Gully pit lintels each <ul style="list-style-type: none"> • Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1688	Roads & Infrastructure Restoration of Roads and Footpaths (iv) Kerb Ramps Plus per m2 <ul style="list-style-type: none"> • Fee Increased from 5% to 7.5% to accommodate inflationary pressures
1696	Roads & Infrastructure Restoration of Roads and Footpaths Discretionary Discount for Large Areas Concrete/Asphalt Plant Opening Fee for Nightworks (For each night of opening) <ul style="list-style-type: none"> • Fee Increased from 5% to 7.5% to accommodate inflationary pressures

Section Ref No in final draft	Summary of change / rationale
1698	Roads & Infrastructure Restoration of Roads and Footpaths Failure to Lodge Application Failure to Lodge Application <ul style="list-style-type: none"> • Fee Increased from 5% to 7.5% to accommodate inflationary pressures
0905	<ul style="list-style-type: none"> • New fee Discovery Space - (Unfunded Not For Profit) to be \$931
0956	<ul style="list-style-type: none"> • New fee Discovery Space - (Unfunded Not For Profit) to be \$1,165
0784	<ul style="list-style-type: none"> • New fee 75 Inch Video Conference trolley to be \$131
0875-0879	<ul style="list-style-type: none"> • Change name from "Ngurra Gunya" to "Southern Terrace."

REPORTS TO COUNCIL - FOR COUNCIL DECISION

ITEM NUMBER 13.8
SUBJECT LATE REPORT: Appointment of the Chair, Alternate Chairs and Independent Expert Members for the Parramatta Local Planning Panel
REFERENCE F2024/00282 - D09497406
REPORT OF Strategic Business Manager

STAFF RESPONSE

A report will be available in a Supplementary Agenda prior to the meeting.

Alexia Bonilla
Strategic Business Manager

Robert Cologna
A/ Executive Director City Planning and Design

Gail Connolly
Chief Executive Officer

ATTACHMENTS:

There are no attachments for this report.

REFERENCE MATERIAL

NOTICES OF MOTION

24 JUNE 2024

14.1 Emergency Accommodation and Womens' Shelters in Parramatta576

NOTICE OF MOTION

ITEM NUMBER	14.1
SUBJECT	Emergency Accommodation and Womens' Shelters in Parramatta
REFERENCE	F2024/00282 - D09480426
FROM	Councillor Paul Noack

MOTION

- (a) That the CEO prepare a report on current and proposed emergency accommodation provision in the Parramatta LGA that serves women and children fleeing domestic and family violence, reported in such a way as to not compromise the safety of service locations.
- (b) That, if relevant, other types of emergency accommodation needs be highlighted, for example, emergency accommodation or young people.
- (c) That the report canvass options for Council to assist in the provision of additional accommodation, including, but not limited to:
 - i. Assistance with land use planning procedures and approvals;
 - ii. Potential to utilise Council or other properties; and
 - iii. Provision of funding towards operating costs or the full or partial provision of a service by Council.
- (d) That the report be presented for Council's consideration before end November 2024.

BACKGROUND

- 1. None yet provided.

STAFF RESPONSE

- 2. A staff response will be provided in the Supplementary Agenda.

Paul Noack
Councillor

David Moutou
Acting Executive Director Community Services

Roxanne Thornton
Group Manager Office of the Lord Mayor and CEO

Gail Connolly
Chief Executive Officer

ATTACHMENTS:

There are no attachments for this report.

QUESTIONS WITH NOTICE

24 JUNE 2024

15.1 Questions Taken on Notice at 11 June 2024 Council Meeting580

QUESTIONS WITH NOTICE

ITEM NUMBER	15.1
SUBJECT	Questions Taken on Notice at 11 June 2024 Council Meeting
REFERENCE	F2024/00282 - D09497407
REPORT OF	Council Secretariat & Policy Officer

CSP THEME: Accessible

QUESTIONS TAKEN ON NOTICE

Councillor Pandey asked a question in relation to Item 13.3 - 2025 Annual Community Grants Program;

- [Could staff provide Councilors, with wording that is used in our Grants Agreement?](#)

A staff response to be provided in a Supplementary Agenda

Councillor Valjak asked two (2) questions in relation to Item 15.2 - Question with Notice NSW Civil and Administrative Tribunal – Councillor Legal Action;

- [Will a precedent be set if NCAT makes a decision in relation to the matter?](#)
- [Does this mean that there is a likelihood of confidential information being made public?](#)

A staff response to be provided in a Supplementary Agenda.

Councillor Garrard asked a question in relation to Item 15.2 - Question with Notice NSW Civil and Administrative Tribunal – Councillor Legal Action;

- [Where on the Councillor Portal is the Legal Report relating to this matter?](#)

A staff response to be provided in a Supplementary Agenda.

ATTACHMENTS:

There are no attachments for this report.

REFERENCE MATERIAL