

TUESDAY PROJECTS

TOWN PLANNING



Statement of Environmental Effects

12 Lloyd George Avenue, Winston Hills

“Demolition of existing structures and the construction of a new dwelling house.”

2 December 2022

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PROJECT DETAILS

Client:	Mr and Mrs Maroun
Subject land:	12 Lloyd George Avenue, Winston Hills
Lot Description:	Lot 234 in Deposited Plan 235090
Proposed development:	Demolition of existing structures and the construction of a new dwelling house.
Council	City of Parramatta Council

The report is prepared by Emma Rogerson
Specialist Town Planner
Master of Urbanism (Urban and Regional Planning) (USYD)
Bachelor of Architecture and Environments (USYD)
Planning Institute of Australia (Assoc.)



I certify that the contents of the Statement of Environmental Effects to the best of my knowledge, has been prepared as follows:

- In accordance with Section 4.12 of the Environmental Planning and Assessment Act 1979 and Clause 50 of the Environmental Planning and Assessment Regulation 2021;
- The statement contains all available information that is relevant to the environmental impact assessment of the proposed development;
- To the best of my knowledge the information contained in this report is neither false nor misleading.

Emma Rogerson

Signed: 2 December 2022

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1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared for Mr and Mrs Maroun to accompany a Development Application (DA) to City of Parramatta Council for the demolition of existing structures and the construction of a new dwelling house at 12 Lloyd George Avenue, Winston Hills.

More specifically, the proposed development comprises of the:

- **Demolition** of the existing single storey dwelling house with carport, shed, awning and swimming pool;
- **Construction** of a new detached two-storey dwelling house with basement parking;
- **Removal** of small trees and shrubs; and the
- **Retention** of existing vehicle crossing.

The proposal is permissible with consent and is suitable for the site and the area. The proposal has been designed to relate to its site and to the streetscape in terms of appearance, envelope, setbacks, bulk and scale. The proposal will operate without any significant impact to the amenity of neighbouring properties.

This statement assesses any numeric non-compliance as acceptable on merit, resulting in no adverse impacts and in compliance with all relevant DCP and LEP objectives.

The purpose of this SEE is to:

- Describe the site to which the application applies and its context;
- Describe the proposed development
- Describe the legislative framework against which the application is to be assessed and determined; and
- Provide an assessment of the environmental impacts in accordance with the Section 4.15 of the EP&A Act 1979.

This Statement has been prepared in reference to the following:

Document	Author	Date
Architectural Plans	ARCM Design	October 2022

2.0 SITE ANALYSIS & CONTEXT

2.1 The Site

The site is located at 12 Lloyd George Avenue, Winston Hills and is legally described Lot 234 in Deposited Plan 235090. The site is located on the northern side of Lloyd George Avenue, between Asquith Avenue and Baldwin Avenue.

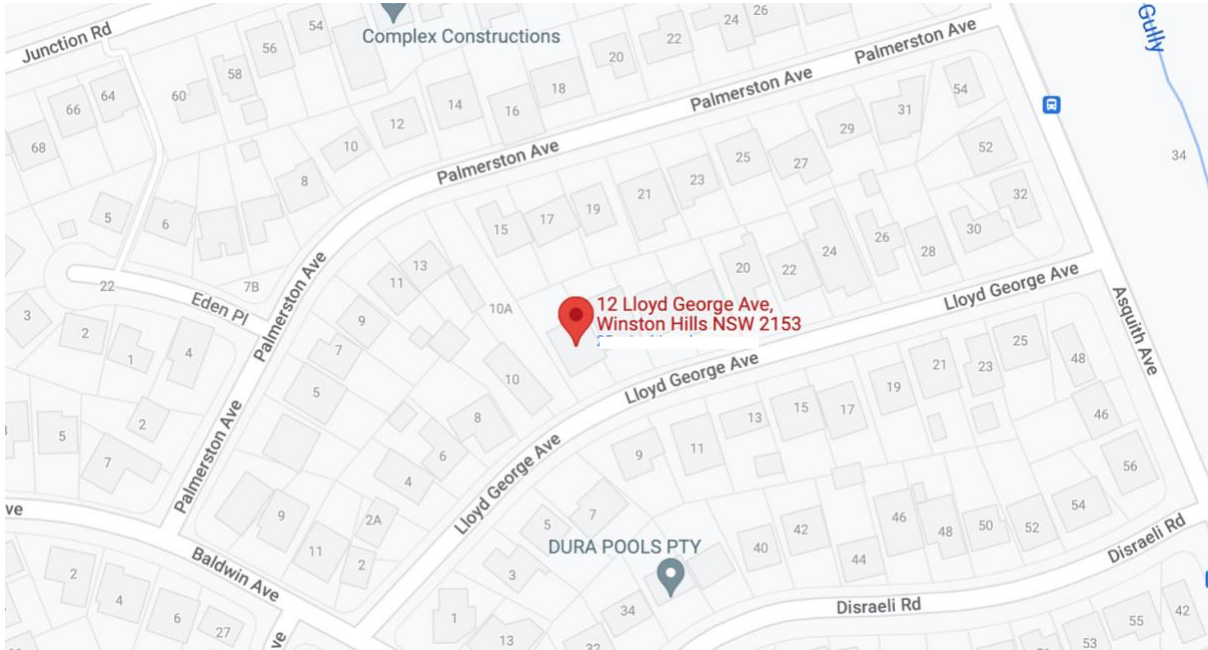


Figure 1 – Site locality map (Google Maps, 2022)

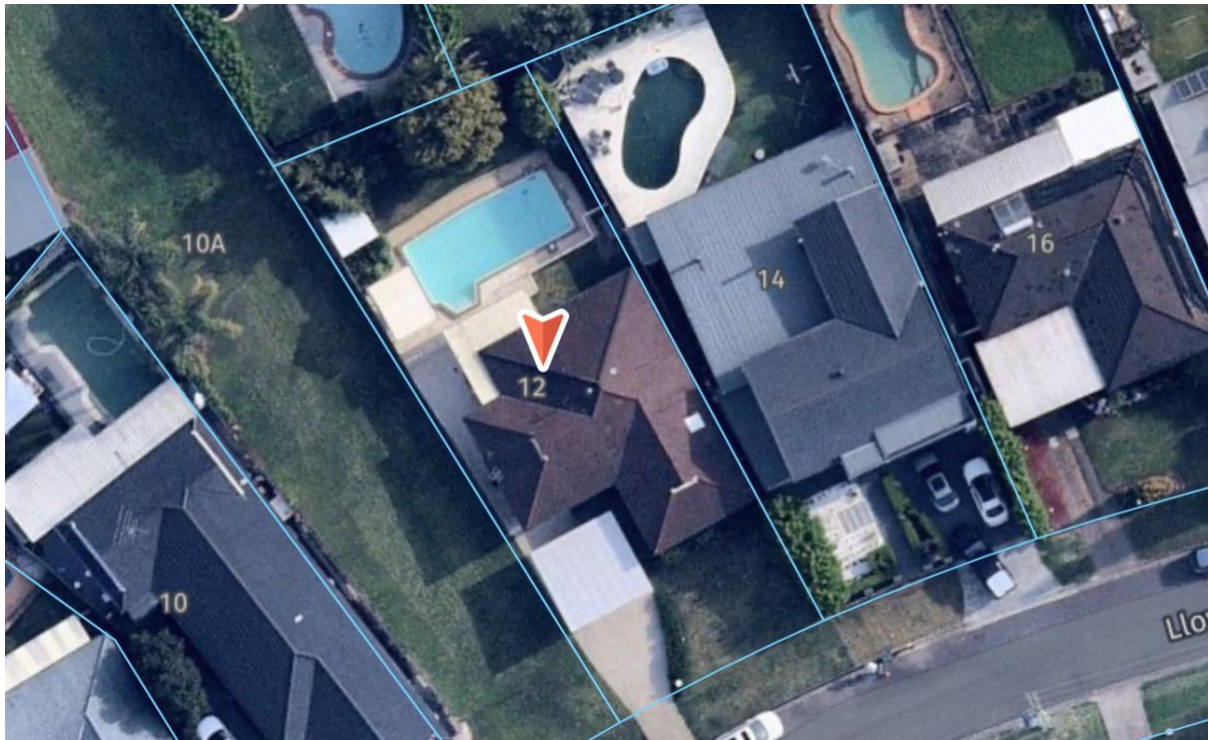


Figure 2 – Aerial map (NearMaps, 2022)

The site is rectangular with a total area of 696.9 square metres by survey, with a 15.245 metre street frontage to Lloyd George Avenue. The eastern side boundary measures 41.66 metres and the western side boundary measures 43.2 metres. The rear boundary measures 17.93metres. The site falls towards the street from the rear by approximately 1 metre.

The site currently contains a single storey brick house with a tiled roof. The rear of the site is landscaped with trees, grass and shrubs. A carport is located in the front setback. Vehicular access is available from Lloyd George Avenue.

The land is zoned R2 Low Density Residential under the provisions of Parramatta Local Environmental Plan 2011 (LEP). The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.



Figure 3 – Subject site as viewed from Lloyd George Avenue (Realestate.com.au, 2022)



Figure 4 – Rear garden with pool, shade structure and shed (Realestate.com.au, 2022)



Figure 5 – Existing living room (Realestate.com.au, 2022)

2.2 The Locality

The site is located within the local residential area of Winston Hills. The locality comprises primarily of low density residential development of one to two storeys high. The area contains a mix of Architectural styles including both contemporary and period buildings.

The development site adjoins a two-storey dwelling at Lloyd George Avenue, and a vacant strip of public recreation land at 10A Lloyd George Avenue. Neighbouring the recreation space is a single storey dwelling at 10 Lloyd George Avenue.



Figure 6 – Neighbouring site at 14 Lloyd George Avenue (Google Maps, 2022)



Figure 7 – Neighbouring site at 10 and 10A Lloyd George Avenue (Google Maps, 2022)



Figure 8 – Two storey contemporary dwelling cross the road at 11 Lloyd George Avenue (Google Maps, 2022)

Notable sites in the area include:

- Gail Meagher Park
- Melbourne Road Reserve
- McMillan Avenue Reserve
- Northmead Gully

2.3 Development History

A search on Council's DA Tracker returned no results for development applications associated with the site.

3.0 THE PROPOSAL

3.1 Overview

The Development Application proposes the demolition of existing structures and the construction of a new dwelling house at 12 Lloyd George Avenue, Winston Hills.

More specifically, the proposed development comprises of the:

- **Demolition** of the existing single storey dwelling house with carport, shed, awning and swimming pool;
- **Construction** of a new detached two-storey dwelling house with basement parking;
- **Removal** of small trees and shrubs; and the
- **Retention** of existing vehicle crossing.



Figure 9 – Proposed development as viewed from the street (ARCM Design, 2022)

The proposal has been designed to relate to its site and to the streetscape in relation to appearance, envelope, setbacks, bulk and scale. The contemporary design utilises high quality materials and detailing to present an unobtrusive visual outcome for the locality. The two-storey with basement development will be commensurate in scale with other dwellings along Lloyd George Avenue.

Please refer to plans prepared by ARCM Design.

Similar development recently approved within the Local Government Area include:

- 8 Lomond Crescent, Winston Hills – DA/1141/2021 for a **two-storey dwelling with basement parking in an R2 zone**
- 16 Barellan Avenue, Carlingford – DA/579/2020 and DA/579/2020/A for a dual occupancy with **basement parking in an R2 zone**

3.2 Development Configuration

The proposed development comprises the following:

Level	Use
Lower Ground	Storage
	Waste Room
	Parking
	Bathroom

	Services Room
Ground Floor	Playroom
	Master Bedroom
	Bathroom x 2
	Pantry
	Laundry
	Open Plan Living/Dining/Kitchen
	Outdoor Alfresco
First Floor	Bedrooms x 3
	Bathrooms x 2
	Void

Basement

The basement level will be located at RL 72.5. Access to the basement level is provided by stairs and lift which connect each floor of the building, as well as the driveway for vehicle entry. The basement level comprises of vehicle parking, plant and services room, storage room, a garbage room and lift and stair access.

Ground Floor

The ground floor contains the shared recreation and function spaces for the dwelling, with a lounge, dining, kitchen and covered alfresco space. This floor can be accessed from the primary house entry, as well as a rear door. The master bedroom is located on this floor.

First Floor

The first floor provides for more private bedroom spaces. This floor is accessible via a set of stairs from the ground floor hallway space and a lift. Front and rear facing openings from this floor facilitate passive surveillance across the public domain and the private rear garden.

3.3 Numerical Overview

A brief numerical overview of the development parameters for the proposed development is included in the following table

Table 1: Key development components

Component	Requirement	Proposal
Site area	-	696.9m ²
Gross Floor Area	Maximum 348.45m ²	349.23m ²
Floor Space Ratio	Maximum 0.5:1	0.5:1

Height	Maximum 9m	No greater than 9m
Boundary setbacks	Minimum	Approximately
<ul style="list-style-type: none"> • Front • Side (east) • Side (west) • Rear 	Average of neighbours 0.9m 0.9m 12.5m (30% of depth)	Average >0.9m >0.9m 8.512m
Landscaped Area	Minimum 40%	40%
Private Open Space	Minimum 100m ²	>100m ²
Car spaces	Minimum 2	>2

4.0 STATUTORY PLANNING FRAMEWORK AND ENVIRONMENTAL ASSESSMENT

This Chapter provides an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

4.1 Statutory and Policy Compliance

The relevant matters for consideration under Section 4.15(a) of the EP&A Act, 1979, are identified as:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004
- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- Parramatta Local Environmental Plan 2011
- Parramatta Development Control Plan 2011

The primary statutory document that relates to the subject site and the proposed development is Parramatta Local Environmental Plan 2011. The primary non-statutory plan relating to the subject site and the proposed development is Parramatta Development Control Plan 2011.

4.1.1 State Environmental Planning Policy (Resilience and Hazards) 2021

This Policy is to provide for a state-wide planning approach to the remediation of contaminated land. Subject to Clause 7, considerations should be given to the suitability of land in terms of contamination.

The subject site has a long history of being used for the residential purpose. Thus, there is no further consideration required under Clause 7(1)(b) and (c) of this SEPP.

4.1.2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

SEPP (BASIX) 2004 applies to the proposed development. A BASIX Certificate is submitted with the application and confirms that the proposal will comply with the water, thermal comfort and energy efficiency requirements of the policy.

4.1.3 State Environmental Planning Policy (Biodiversity and Conservation) 2021

This SEPP repeals clause 5.9 and 5.9AA of the Parramatta LEP in relation to the regulation of clearing vegetation. Section 9(2) of the SEPP confers the assessment criteria for the removal of vegetation to the Council's DCP. No mature trees greater than 5m in height are proposed for removal under this Development Application, so no further consideration of this SEPP is required.

4.1.4 State Environmental Planning Policy (Precincts—Western Parkland City) 2021

The subject site is labelled within the “30km” category on the Wind Turbine Buffer Zone Map. As the development does not relate to the construction of any wind monitoring tower or electricity generating works, no further consideration is required.

4.1.5 Parramatta Local Environmental Plan 2011

The development complies with the provisions of Parramatta Local Environmental Plan 2011 (LEP 2011).

Zoning and permissibility

The site is located in Zone R2 Low Density Residential.



Figure 10 – Land Zoning Map (NSW Planning Portal)

The development is identified to be *the construction of a dwelling house*, which is permitted with consent in the R2 Low Density Residential zone.

The objectives of the zone are:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that non-residential land uses are located in a context and setting that minimises impacts on the amenity of a low density residential environment.*
- *To allow for a range of community facilities to be provided to serve the needs of residents, workers and visitors in residential neighbourhoods.*

The proposed new dwelling house meets the relevant land use zone objectives. The development will provide additional bedrooms in a growing area where there is high demand for additional housing. The proposal will not prevent other sites from hosting land uses that provide facilities or services to meet the day to day needs of residents.

Clause 4.3 Height of buildings

The LEP Height of Building Map stipulates that the maximum building height permitted for the site is 9 metres. The proposed height of the development is no greater than 9m in height.

Clause 4.4 Floor space ratio

The LEP Floor Space Ratio Map stipulates that the maximum floor space ratio permitted for the site is 0.5:1. The proposal has a floor space ratio of exactly 0.5:1.

Clause 5.10 Heritage Conservation

The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.

Clause 6.1 Acid sulphate soils

The Acid Sulphate Soils Map stipulates that the site is Class 5. The proposed works will not be below 5 metres Australian Height Datum, and are unlikely to lower the water table below 1 metre Australian Height Datum on adjacent Class 1,2,3 or 4 land.

Clause 6.2 Earthworks

The objective of this clause is to ensure that earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.

The proposal is considered to be consistent with the requirements of this clause as the development is not expected to disrupt or have a detrimental effect on the drainage patterns and soil stability of the locality. Nor is it likely to disturb relics and have an adverse impact on any waterway, drinking water catchment or environmentally sensitive area. This is due to the reasonable extent of cut and fill included within the proposal associated with the fill of the swimming pool and the excavation for the basement, which will not drastically alter the existing terrain and environmental functions and processes given the relatively minor footprint of such works.

4.1.6 Parramatta Development Control Plan 2011

The development achieves a high level of compliance with the provisions of Parramatta Development Control Plan 2011.

Control	Comment	Compliance
PART 3 – DEVELOPMENT PRINCIPLES		
3.1 PRELIMINARY BUILDING ENVELOPE		
3.1.1.	The building height provisions in the Parramatta LEP 2011 indicate the maximum building height expressed in metres. The PLEP 2011 maximum building height map stipulates that the maximum building height for development on this site is 9m.	The proposed dwelling house is no greater than 9m in height when measured from the natural ground line. Yes
3.1.3	Height: 9m	Yes
	Floor space ratio: 0.5:1	A compliant floor space ratio of no more than 0.5:1 is proposed. Yes
	Minimum site frontage: 15m	The street frontage measures 15.245m Yes
	Front setback: Primary street frontage: 5-9 m, consistent with the prevailing setback along the street. Secondary street frontage: secondary street frontage (corner allotments): 3m.	A front setback of 7.287m – 7.98m is proposed for the ground floor, consistent with the existing dwelling and its neighbours. There is no secondary frontage. N/A
	Side setbacks: minimum 900mm	The minimum eastern setback is 1.5m, and the minimum western setback is 1.614m, complying with this control. Yes
	Rear setback: 30% of site length	The proposed rear setback varies between 8.512m to 9.739m, which is considered to be acceptable upon merit. Refer to Part 4.1.6.1 Acceptable upon merit – Refer to Part 4.1.6.1 of this report

Control	Comment	Compliance
	of this report for further discussion.	
Deep soil zone: 30% site area, with minimum dimensions of 4m and 50% of the DSZ at the rear and 15% of the DSZ at the front.	40% of the site is landscaped area. The deep soil zone is only 6% short of the required numerical	Acceptable upon merit
Landscaped area: 40% of site (includes DSZ)	minimum, but still provides generous high quality area with capacity for mature plantings to be added in the future.	Yes

3.2 BUILDING ELEMENTS

3.2.1 Building form and massing

P2	The proportion and massing of buildings is to relate favourably to the form, proportions and massing of existing and proposed buildings patterns in the street.	The low density character is respected by the proposed two-storey dwelling.	Yes
P3	Building height and mass should not result in unreasonable loss of amenity to adjacent properties, open space or the public domain.	Neighbouring sites retain their residential amenity, including solar access and privacy due to the humble scale of development proposed and the separation by a public recreation area between 10 Lloyd George Avenue.	Yes

3.2.2 Building facades and articulation

P1	Building design and architectural style is to interpret and respond to the positive character of the locality, including the dominant patterns, textures and compositions of buildings.	The proposed design responds to the low density character of the area, with a high quality and contemporary appearance which will encourage the upkeep of surrounding sites and generate a positive streetscape appearance. The design aligns with other contemporary styles such as 11 Lloyd George Avenue.	Yes
P2	Design consideration is to be given to the underlying building elements that contribute to the character of the area. Such things include roof shape, pitch and overhangs; entry porches, verandas, balconies and terraces; materials, finishes, fixtures, patterns, fenestrations, colours and detailing; the location and proportion of windows and doors. 3.2 The descriptions of housing character types in Appendix 4 – Neighbourhood Character Areas for different	The proposed building aligns with the setbacks and low-density character of neighbouring sites. A mix of architectural forms are present along the Lloyd George Avenue streetscape which means that the contemporary yet modest design proposed under this	Yes

Control		Comment	Compliance
	areas of the local government area are to be interpreted in the design of residential development to protect and enhance neighbourhood amenity and character.	Development Application is not out of place.	
P3	Building facades should be modulated in plan and elevation and articulated to reduce the appearance of building bulk and to express the elements of the building's architecture.	All elevations are articulated by way of openings, as well as changes in wall height and materiality features.	Yes
P8	New buildings and facades should not result in glare that causes discomfort or threatens safety of pedestrians or motorists	Elevations do not produce unreasonable glare.	Yes
3.2.3 Roof design			
P2	Roof form should minimise the appearance of bulk and scale of a building.	The proposed roof assists the building to present as a humble dwelling in an established low-density area.	Yes
P3	Roof forms are to respond to the neighbouring roofs, in particular in scale and pitch.		Yes
3.2.5 Streetscape			
P1	Development is to respond and sensitively relate to the broader urban context including topography, block patterns and subdivision, street alignments, landscape, views and vistas and the patterns of development within the area.	A mix of architectural forms are present along the Lloyd George streetscape which means that the contemporary yet modest design proposed under this Development Application is not out of place.	Yes
P2	Building design and landscaping are to be in harmony with the form, mass and proportions of the streetscape.		Yes
P4	Building setbacks from the street boundary are to be consistent with prevailing setbacks of adjoining and nearby buildings.	The proposed building aligns with the setbacks and low-density character of neighbouring sites.	Yes
P9	Vehicular access points are to be minimised and should not break the continuity of the streetscape. Landscaping should be used to minimise the visual intrusion of vehicular access points.	Only one vehicle crossing is proposed, as per existing.	Yes
P10	Garages and parking structures are not to dominate the building facade and front setback.	No parking structures are in front of the building line.	Yes
P14	Locate satellite dish and telecommunication antennae, air conditioning units, ventilation stacks and any ancillary structures; <ul style="list-style-type: none"> • Away from the street frontage. • Integrated into the roof design and in a position where such facilities will not become a skyline feature at the top of any building. 	Noted – such services will not be noticeably visible.	Yes

Control		Comment	Compliance
	<ul style="list-style-type: none"> Adequately set back from the perimeter wall or roof edge of buildings. 		
C1	Garages are to be a maximum of 6.3m wide or 50% of the width of the street elevation whichever is the lesser.	The basement parking opening measures 4.81m in width.	Yes
C2	At grade garages and carports are to be located a minimum of 300mm behind the front wall of the building, or recessed behind the second storey front wall.	No at grade parking is proposed.	N/A

3.2.6 Fences

1	Front fences and landscaping should allow people in their homes to view street activity.	To achieve visual consistency in the streetscape, no new front fencing is proposed.	N/A
2	New fences and walls are to be constructed of robust and durable materials which reduce the possibility of graffiti. The materials should be compatible with the associated building and adjoining fences.		N/A
4	Front fences should not be erected where the streetscape is characterised by an absence of front fences. Landscaping should be used to create good street address and privacy.		N/A
6	Suitable planting should be used to soften the edges of fences at the interface of the public domain.	Generous landscaped areas are provided by the proposal.	Yes
7	Sheet metal fencing is not to be used at the street frontage or forward of the building line or in locations that have an interface with the public domain	To achieve visual consistency in the streetscape, no new front fencing is proposed.	N/A
10	Front fences are to be a maximum height of 1.2m.		N/A

3.3 ENVIRONMENTAL AMENITY

3.3.1 Landscaping

8	Trees should be planted at the front and rear of properties to encourage tree canopy to soften the built environment and to encourage the continuity of the landscape pattern.	Generous landscaped areas are provided, wherein future tree plantings will be able to thrive.	Yes
15	A landscape plan, prepared by a suitably qualified person, is to be submitted for development that, in Council's opinion, will significantly alter the landscape character.	The proposal is not considered to alter the character of the area, so a landscape plan is not considered necessary.	Yes

3.3.2 Private and Communal open Space

Control		Comment	Compliance
C1	A minimum of 100m ² of private open space is to be provided at ground level, with minimum dimensions of 6m.	More than 100sqm of POS is located on site, including the rear lawn area and the covered alfresco space.	Yes

3.3.3 Visual and Acoustic Privacy

P1	Development should be located, oriented and designed to maximise visual and acoustic privacy between buildings.	The use of high window sills, obscure glazing, and aluminium privacy louvres ensures that no overlooking between private spaces is facilitated. Noisier areas are located along the Lloyd George Avenue frontage away from sensitive spaces of neighbouring sites.	Yes
P2	The internal layout of buildings is to be designed to minimise overlooking of living areas, private open spaces and adjoining school yards.		Yes
P3	Building elements such as balconies and decks are to be designed to minimise overlooking of living areas, private open spaces of adjoining dwellings and adjoining school yards.	Balconies face the street, preventing views into the rear gardens of neighbours.	Yes
P4	The windows of dwellings are to be located so they do not provide direct and close views into the windows of other dwellings, particularly those of living areas.	The use of high window sills, obscure glazing, and aluminium privacy louvres ensures that no overlooking between private spaces is facilitated.	Yes
P10	The ground floor level (finished) of any building should not exceed 500mm.	The ground floor level (finished) of the proposed dwelling sites slightly higher at the front due to the sloped terrain. The raised area at the front allows for a flush ground level inside the dwelling which provides better internal accessibility and function. This does not impose any adverse impact on neighbours or the streetscape, rendering it acceptable upon merit.	Acceptable upon merit.
C2	Balconies should face the street or another element of the public domain, such as a park	Balconies face the street, preventing views into the rear gardens of neighbours.	Yes

3.3.5 Solar access and cross ventilation

1	Development is to be designed and sited to minimise the extent of shadows that it casts on: <ul style="list-style-type: none"> private and communal open space within the development; 	The two-storey dwelling is not considered to produce any adverse shadow impact for neighbours that prevent	Yes
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Control		Comment	Compliance
	<ul style="list-style-type: none"> • private and communal open space of adjoining dwellings; • public open space such as bushland reserves and parkland; • solar collectors of adjoining development; and • habitable rooms within the development and in adjoining developments. 	compliance with this control. Adequate setbacks and a modest built form reduces the building envelope on site.	
P2	Detached single and two storey, dual occupancy and townhouse dwellings within the development site and adjoining properties are to receive a minimum of 3 hours sunlight in the primary living area, and in at least 50% of the private open space between 9am and 3pm on 21 June. Where existing development currently receives less sunlight than this requirement, this should not be unreasonably reduced.	The two-storey dwelling is not considered to produce any adverse shadow impact for neighbours that prevent compliance with this control. Adequate setbacks and a modest built form reduces the building envelope on site.	Yes
P3	Living areas of dwellings such as kitchens and family rooms should be located on the northern side of dwellings and service areas such as laundries and bathrooms to the south or west.	The most frequented living areas are located along the northern half of the site, with less used bedrooms to the south.	Yes
P10	Natural cross ventilation should be achieved by locating window openings in opposing walls and in line with each other.	Openings are located along all elevations.	Yes
C2	The minimum floor to ceiling height is 2.7m on the ground floor and 2.4m on the first floor.	Noted – refer to drawings.	Yes
C3	The maximum floor to ceiling height is 3.0m.	A slightly varied ceiling for a small portion of the building is acceptable as it does not prevent the building from complying with solar access controls, nor impose adverse bulk. The proposal complies with the maximum building height permitted for this site.	Acceptable upon merit.

3.3.7 Waste Management

-	Detailed provisions on waste management are contained in the 'Waste Management Guidelines for new Development Applications 2016' contained at Appendix 8.	Noted.	Yes
-	Applicants are also required to prepare a Waste Management Plan addressing the above objectives in accordance with the requirements	Noted – Refer to WMP.	Yes

Control	Comment	Compliance
detailed in City of Parramatta Council's Waste Management Plan template 2016 and Waste Management Guidelines for new Development Applications 2016.		
3.4.4 Safety and Security		
P1 Development is to be designed to incorporate and/or enhance opportunities for effective natural surveillance by providing clear sight lines between public and private places, installation of effective lighting, and the appropriate landscaping of public areas.	Views between the site and the public domain are possible across Lloyd George Avenue.	Yes
C8 Dwellings should be oriented toward the street with entrances clearly visible both day and night.	The proposed entrance is clearly visible from Lloyd George Avenue.	Yes
PART 3.6 MOVEMENT AND CIRCULATION		
3.6.2 Parking and Vehicular Access		
P1 Vehicle access points and parking areas are to be: <ul style="list-style-type: none"> • easily accessible and recognisable to motorists • undistruptive to pedestrian flow and safety • located to minimise traffic hazards and the potential for vehicles to queue on public roads • located to minimise the loss of on street car parking, and to minimise the number of access points. 	The vehicle crossing location remains as per existing.	Yes
P2 Car parking and service/delivery areas are to be located so that they do not visually dominate either the development or the public domain surrounding the development.	The car parking is located underground.	Yes
P6 On-site parking is to be provided at a rate sufficient for residents, employees, visitors and service vehicles as relevant to the development.	2 on-site parking spaces are required, and 2 are provided.	Yes
P11 Car parking at ground level is not to encroach within building setbacks.	At ground parking is not proposed.	N/A
P13 Basement car parking is to be: <ul style="list-style-type: none"> • adequately ventilated • designed for safe and convenient pedestrian movement and to include separate pedestrian access points to the building that are clearly defined and easily negotiated • predominantly located within the building footprint located predominantly below 	The proposed basement is considered to meet the listed criteria.	Yes

Control		Comment	Compliance
	existing ground level. Where slope conditions mean that this is unachievable, the basement projection of the floor level of the storey immediately above is less than 1m above ground level (existing).		
P14	Basement car parks and manoeuvring must comply with AS 2890.	The proposed basement is considered to meet the listed criteria.	Yes
P15	Vehicular ramps for all development types are to be designed with sufficient width for safe and efficient ingress and egress.	The proposed basement is considered to meet the listed criteria.	Yes
P20	Development must provide safe vehicle access and adequate sight distances. Development on arterial roads or development that is not a dwelling house must make provision for vehicles to leave the site in a forward direction.	Safe entry and egress is available to and from the site.	Yes
C15	At grade garages and carports are to be located a minimum of 300mm behind the front building line, or recessed behind the second storey front wall.	At ground parking is not proposed.	N/A
C17	Where slope conditions require a basement, in such cases the area of the basement should not significantly exceed the area required to meet the carparking requirements for the development. Additional basement area to that required to satisfy parking requirements may be included as floorspace area when calculating floorspace ratio.	<p>The basement is located within the building footprint and allows the site to provide high quality and secure parking and storage, whilst limiting the appearance of the site to that of a two-storey dwelling.</p> <p>As per DA/1141/2021 and DA/579/2020 recently approved in the Parramatta LGA, basement parking is increasingly common in R2 Low Density Residential zones where terrain levels allow it to be visually subservient to the wider building above ground.</p> <p>The proposed basement size allows for 2 on-site parking spaces as required, as well as vehicle manoeuvring space and area for safe pedestrian access.</p>	Yes
C32	The required number of car parking spaces are as follows:	2 on-site parking spaces are required, and 2 are provided.	Yes

Control	Comment	Compliance
Dwelling House <ul style="list-style-type: none"> 2 spaces for dwellings equal to or greater than or 125sqm 		

PART 4.2 SPECIAL CHARACTER AREAS

4.2.4 Winston Hills

Statement of Significance:

“This large development was the most important subdivision of its time. The land was acquired by Hooker-Rex and developed as the Model Farm Estate; a complete neighbourhood development. It was one of the last releases of land zoned as Green Belt, providing one of the last greenfield development areas. A number of the original farmhouses remain, incorporated in the subdivision plan. It was opened in 1965 as Winston Hills. The subdivision plan is characterised by curvilinear street designs, gully parklands, wider and less deep allotments than traditional subdivision patterns. House construction is ‘wide-fronted’ with low, horizontal lines. This appearance is created by a number of factors including the siting of houses across the allotments, garages integrated with the house, simple low-pitched roofs with ridges parallel to the street, overhanging eaves or verandahs, and window and door detailing. Most homes are of brick construction with tiled roofs. There is a mixture of single, split level and two-storey homes, and wall finishes include face brick, painted brick and cement rendering. There are additions on some houses, in both brick and lightweight construction.”

C3	New dwelling houses must be compatible with existing houses in the streetscape so that they do not dominate or stand out in marked contrast to existing dwellings.	The proposed design responds to the low density character of the area, with a high quality and contemporary appearance which will encourage the upkeep of surrounding sites and generate a positive streetscape appearance. The design aligns with other contemporary styles such as 11 Lloyd George Avenue.	Yes
C4	Setbacks must be consistent with neighbouring buildings.	Setbacks align with neighbouring sites.	Yes
C5	Dwelling houses should be ‘wide-fronted’ across the site. Overly complex roof forms should be avoided	The dwelling features a simple roof form.	Yes
C6-9	Development not consistent with the existing character of the area include: <ul style="list-style-type: none"> additions to the front of houses front fences loss of open character to front yards second storey additions that are not designed in a manner that minimises the visual impact on the predominant streetscape scale 	No front fencing or front/upper floor addition is proposed. The new works allow for an “open” and spacious front setback.	Yes

4.1.6.1 Rear Setback

The PDCP 2011 requires a numerical rear setback of 30% of the site length, which equates to 12.498m for the eastern boundary and 12.96m for the western boundary at 12 Lloyd George Avenue. A rear setback ranging from 8.512m to 9.739m is proposed, which is considered to be acceptable upon merit given the strong prevalence of similar variations in the immediate locality and the high quality planning outcome proposed for the property.

As marked in figure 11, a substantial number of sites within the immediate locality display a variation of the 30% minimum rear setback controls. This demonstrates an established development pattern and a suitability of such development in the area, which the proposal adheres to.

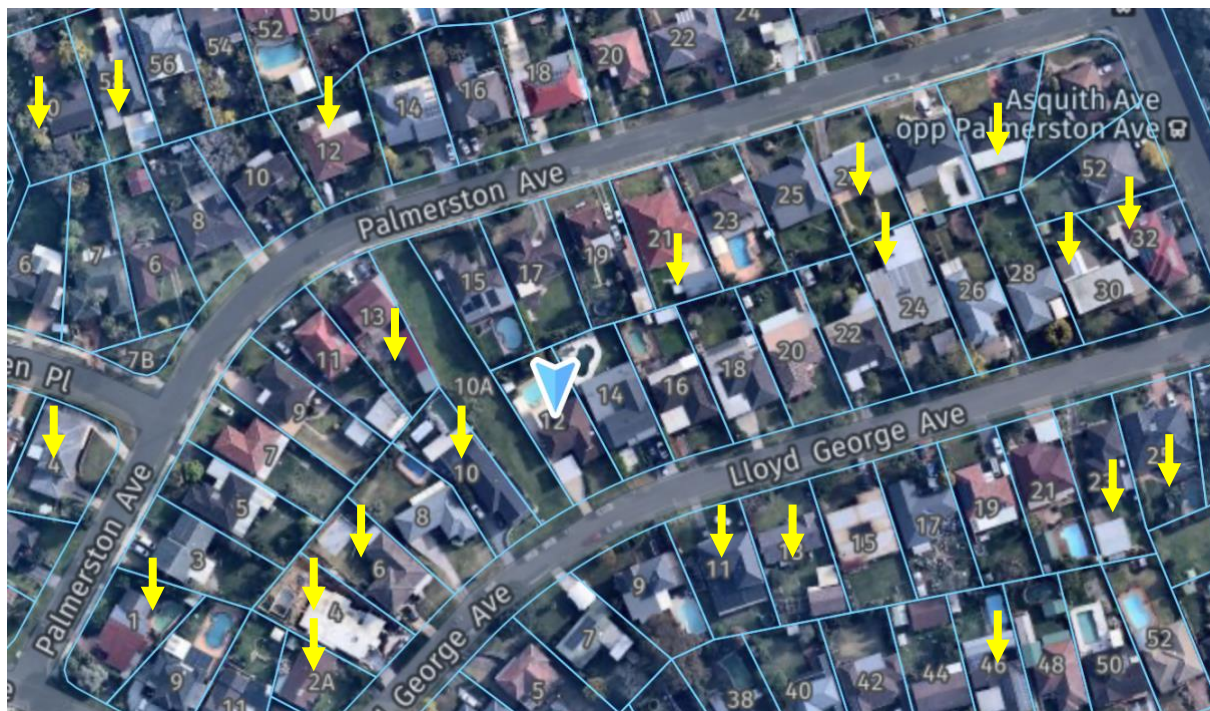


Figure 11 – Aerial Map with properties varying the 30% rear setback control marked (NearMaps, 2022)

The proposal presents as a reasonable two storey dwelling house, which does not detract from the character of the street, does not impact on the residential amenity of neighbours with its compliant building height and side setbacks, and does achieve a high level of compliance with other building envelope provisions. Complying with the 30% rear setback requirement would not achieve a better planning outcome, as landscaped area is met. The variation is therefore acceptable upon merit and should be supported by Council for the aforementioned reasons.

4.2 Strategic Planning Context

The proposal aligns with the desired strategic outcomes identified for the area, detailed within the City of Parramatta Council Local Strategic Planning Statement, the 'A Metropolis of Three Cities' Region Plan, and the Central City District Plan.

4.3 Impacts of the Development

As noted in the above assessment against the provisions of the relevant Environmental Planning Instruments and Development Control Plan, the development is of a reasonable scale and nature, and does not present unreasonable environmental, social and economic impacts.

Impacts on Natural and Built Environment

The development does not impact upon native vegetation, soil conditions, foreshore environment or air quality. Generous landscaped areas are provided, wherein future tree plantings will be able to thrive.

The proposed built form allows the neighbouring sites to retain their access to privacy, solar access, pleasant outlook and overall residential amenity. The high quality materials proposed for use during construction, and the skilful design of the proposed development will also upgrade the presentation of the site to the street and improve aesthetic quality of the streetscape.

Social and Economic Impacts

The development increases the social amenity of the property with the increased habitable floor space and available housing. This will improve the way of life for future residents.

The short term economic impacts are positive, with the generation of employment opportunity through the physical construction stages. The use of high quality materials will ensure a durable final built outcome, reducing the need to rebuild in the near future, resulting in a positive long term financial and sustainability outcome.

4.4 Suitability of the Site

The subject site is considered suitable in size and shape to accommodate the demolition of existing structures and the construction of a new dwelling house. The proposal does not introduce any incompatible uses to the site. The works are permissible under the R2 Low Density Residential zone.

4.4.1 Access to Services

The site is located within an established residential area with excellent access to services and public transport. As the site is within an established urban area, electricity, sewer, telephone, and water services are readily available to the subject site.

4.4.2 Parking and Access

The on-site parking provided complies with the parking requirements as prescribed by Parramatta Development Control Plan 2011. It provides a logical and considered approach to the provision of off-street car parking. The design and layout of on-site basement parking and vehicle access/egress is compliant with AS2890.1.

4.4.3 Hazards

The site is not in an area recognised by Council as being subject to flooding, landslip, bushfire or any other particular hazards. The proposed development is not likely to increase the likelihood of such hazards occurring and is considered appropriate in this instance.

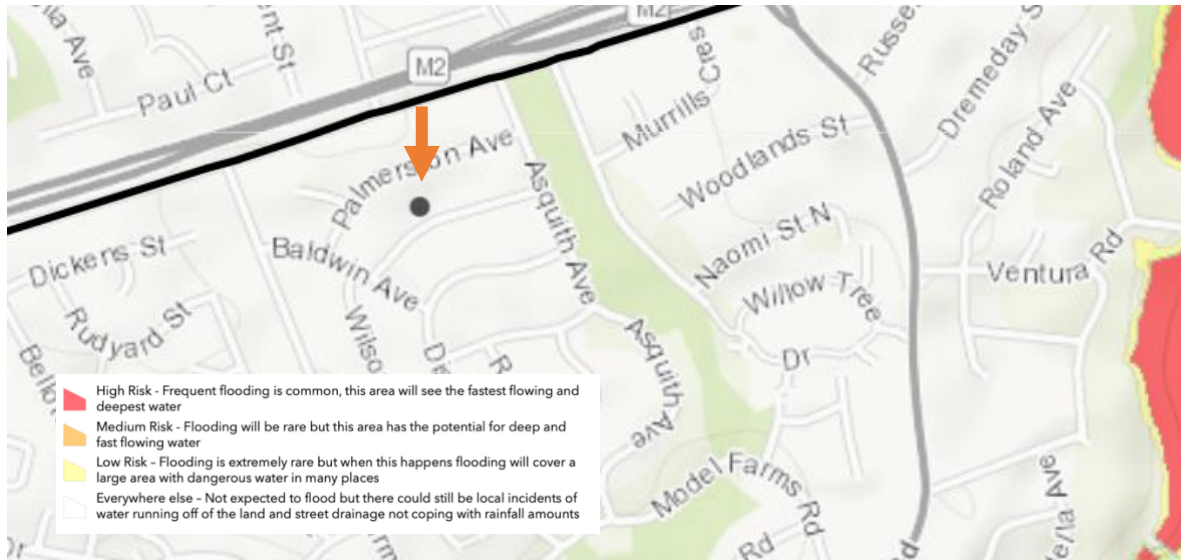


Figure 12 – Flood Prone Mapping (City of Parramatta Flood Mapping)

4.4.4 Stormwater Management

The proposal is suitable on stormwater management grounds. The new works do not significantly increase the impervious surface of the site. Refer to the Stormwater Drainage Plan submitted with this Development Application.

4.4.5 Waste Management

The proposal will not alter the existing ongoing waste management operation on site. Waste storage will occur in the basement and collection will occur along the street kerb, as per existing. Refer to the Waste Management Plan submitted with this Development Application for further information, including detail on the waste management associated with the demolition and construction stages of the proposal.

4.5 The Public Interest

The proposal is considered to be in the public interest as it produces nominal environmental, social and economic impacts. Furthermore, it improves the quality of the subject site without unreasonably impacting on the amenity of neighbouring properties.

The proposed development has been designed to relate to the size, shape and context of the site and has been designed in accordance with the desired future character for development in the area.

The proposal seeks to provide a new dwelling house development that makes efficient use of space on the site in a prime location that is in high demand for residential accommodation. In addition, the proposal has been designed to minimise as far as practical any adverse effects on existing and future neighbouring properties. The proposal is consistent with the applicable LEP and DCP provisions except where identified and justified in this Statement of Environmental Effects. Accordingly, the proposed development is considered to be in the public interest.

5.0 CONCLUSION

The Statement of Environmental Effects (SEE) has been prepared to consider the environmental, social and economic impacts of the demolition of existing structures and the construction of a new dwelling house at 12 Lloyd George Avenue, Winston Hills. The report has addressed the applicable policies and plans, and has provided an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

The application proposes a permissible development within the subject site locality. The proposal incorporates appropriate design considerations to minimise any adverse impacts on the natural and built environment, and the amenity of the surrounding neighbourhood.

Given the benefits of the development and compliance with the relevant policies and plans, we conclude that the proposed development at 12 Lloyd George Avenue, Winston Hills as described in this application is reasonable and supportable, and worthy of approval by City of Parramatta Council.