

73 Murray Farm Road, Carlingford

Proposed Child Care Centre

DRAWING SCHEDULE:

- A000 - COVER PAGE
- A001 - CALCULATIONS PAGE / LEP MAPS
- A002 - SITE CONTEXT PLAN
- A003 - DEMOLITION PLAN
- A004 - SITE ANALYSIS PLAN
- A005 - SITE PLAN
- A006 - BASEMENT PLAN
- A007 - GROUND FLOOR PLAN / ACOUSTIC TREATMENT DETAILS
- A008 - FIRST FLOOR PLAN / ACOUSTIC TREATMENT DETAIL
- A009 - SECOND FLOOR PLAN
- A010 - ROOF PLAN
- A011 - GROUND FLOOR OUTDOOR AREA COVERAGE DIAGRAM
- A012 - FIRST FLOOR OUTDOOR AREA COVERAGE DIAGRAM
- A013 - CUT AND FILL PLAN
- A014 - NORTH AND EAST ELEVATIONS (STREETSCAPE)
- A015 - WEST AND SOUTH ELEVATIONS
- A016 - SECTION A-A & SECTION B-B
- A017 - DRIVEWAY SECTION
- A018 - SHADOW DIAGRAMS (9AM & 12 NOON)
- A019 - SHADOW DIAGRAM (3PM)
- A020 - 3D PERSPECTIVES
- A021 - 3D PERSPECTIVES
- A022 - GROUND FLOOR - EMERGENCY EVACUATION PLAN
- A023 - FIRST FLOOR - EMERGENCY EVACUATION PLAN

GENERAL NOTES

1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE FROM DRAWINGS.
2. ALL BUILDING WORKS SHALL BE IN ACCORDANCE WITH THE RELEVANT NATIONAL CONSTRUCTION CODE (NCC), BUILDING CODE OF AUSTRALIA (BCA), RELEVANT AUSTRALIAN STANDARDS (AS), INCLUDING AMENDMENTS AND THE REQUIREMENTS OF COUNCIL AND PRIVATE CERTIFIERS (PC) AND OTHER AUTHORITIES HAVING JURISDICTION.
3. THE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT DRAWINGS AND REPORTS FOR COORDINATION AND INFORMATION.
4. THRESHOLDS AND DOORWAYS ARE FLUSH FOR WHEELCHAIR ACCESS IN ACCORDANCE WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY. REFER TO ACCESS CONSULTANT REPORT FOR DISPENSATIONS AND POTENTIAL PERFORMANCE SOLUTION PROPOSED.
5. DRAWINGS ARE NOT COORDINATED BY JANSSEN DESIGNS. CONDITIONS AND DOCUMENTS NEED TO BE COORDINATED AND CHECKED TO CONFIRM THEY SATISFY THE AUSTRALIAN STANDARDS, SPECIALIST DISABILITY ACCOMMODATION, DESIGN FOR DISABILITY ACCOMMODATION, DEVELOPMENT APPLICATION REQUIREMENTS, THE NCC, BCA CODES AND CONTROLS THAT APPLY TO THIS PROJECT. A COORDINATED CONSTRUCTION SET MAY VARY FROM THE PRODUCED DRAWINGS. JANSSEN DESIGNS DOES NOT ACCEPT ANY LIABILITY, DIRECT OR INDIRECT, FOR ANY LOSS LIABILITY OR LOSS SUFFERED OR INCURRED BY ANY PERSON OR THIRD PARTY PLACING ANY RELIANCE ON THE SERVICES OR DOCUMENTS OR ADVICE ARISING IN CONNECTION WITH THE SERVICE.
6. ALL STRUCTURAL ELEMENTS ARE SHOWN INDICATIVELY AND ARE TO BE CONFIRMED WITH THE DESIGN, DETAIL AND SPECIFICATION OF THE STRUCTURAL ENGINEER.
7. ALL STRUCTURAL FRAMING, LOADING, BEARING, RETAINING AND FIXING OF ELEMENTS ARE TO THE DESIGN, DETAIL AND SPECIFICATION OF THE STRUCTURAL ENGINEER.
8. ALL SERVICES ELEMENTS INCLUDING HYDRAULICS, ELECTRICAL, MECHANICAL, FIRE AND COMMUNICATION SERVICES SHOWN ARE INDICATIVE ONLY. REFER TO SERVICES CONSULTANT SEPARATE DOCUMENTATION AND SPECIFICATION FOR DETAILED DESIGN.
9. ANY DISCREPANCIES BETWEEN ARCHITECTURAL CONSULTANT DOCUMENTATION ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
10. ALL CONCRETE AND METALWORK ITEMS, SUCH AS SHOP DRAWINGS, TO BE ORGANISED AND REVIEWED BY THE CLIENT.
11. ALL SITE AND BUILDING GRID SET-OUT IS TO BE CONDUCTED AND VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF CONSTRUCTION WITH ANY DISCREPANCIES NOTIFIED TO THE CLIENT FOR CLARIFICATION.



AMENDMENTS			Project Title:	DRAWING TITLE:	CLIENT DETAILS:
ISSUE	DESCRIPTION	DATE	Proposed Child Care Centre	Cover Page	Glanville

LOCAL GOVERNMENT AREA:			
Parramatta Council			
ADDRESS:			
73 Murray Farm Road, Carlingford			
Date:	Issue For:	Issue:	Project #:
14.10.2022	DA	A	10208
Scale:	Drawing #:		
1:100	A000		

COMPLIANCE TABLE

TOTAL SITE AREA	944.90m ²
MAX. REQUIRED FLOOR SPACE RATIO PROPOSED FLOOR SPACE RATIO	472.45m ² 0.5:1 (CHILD CARE DESIGN GUIDELINE) 445m ² 0.47:1 - COMPLIES
MAX BUILDING HEIGHT PROPOSED BUILDING HEIGHT	9M 8.5M - COMPLIES

CHILDCARE

NUMBER OF CHILDREN:

- 0-2 YEARS - 16 PLACES
- 2-3 YEARS - 25 PLACES
- 3-6 YEARS - 24 PLACES

TOTAL - 65 PLACES

NUMBER OF TEACHERS:

- 0-2 YEARS - 4 TEACHERS @ 1:4 RATIO
- 2-3 YEARS - 5 TEACHERS @ 1:5 RATIO
- 3-6 YEARS - 3 TEACHERS @ 1:10 RATIO

INDOOR PLAY AREA:

- 0-2 YEARS - 52.5m² @ 3.28m² / KID
- 2-3 YEARS - 82.2m² @ 3.288m² / KID
- 3-6 YEARS - 79m² @ 3.29m² / KID

OUTDOOR PLAY AREA:

TOTAL AREA - 455m² @ 7m² / KID

ZONING - R2 LOW DENSITY RESIDENTIAL



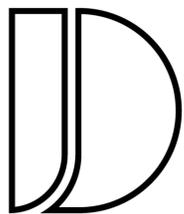
FLOOR SPACE RATIO - 0.5:1 (AS PER CHILDCARE DESIGN GUIDELINE)



MAXIMUM BUILDING HEIGHT - 9M



HERITAGE - N/A



**JANSSSEN
DESIGNS**

info@janssendesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575

AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Calculations & LEP
Controls

ADDRESS:
73 Murray Farm Road,
Carlingford

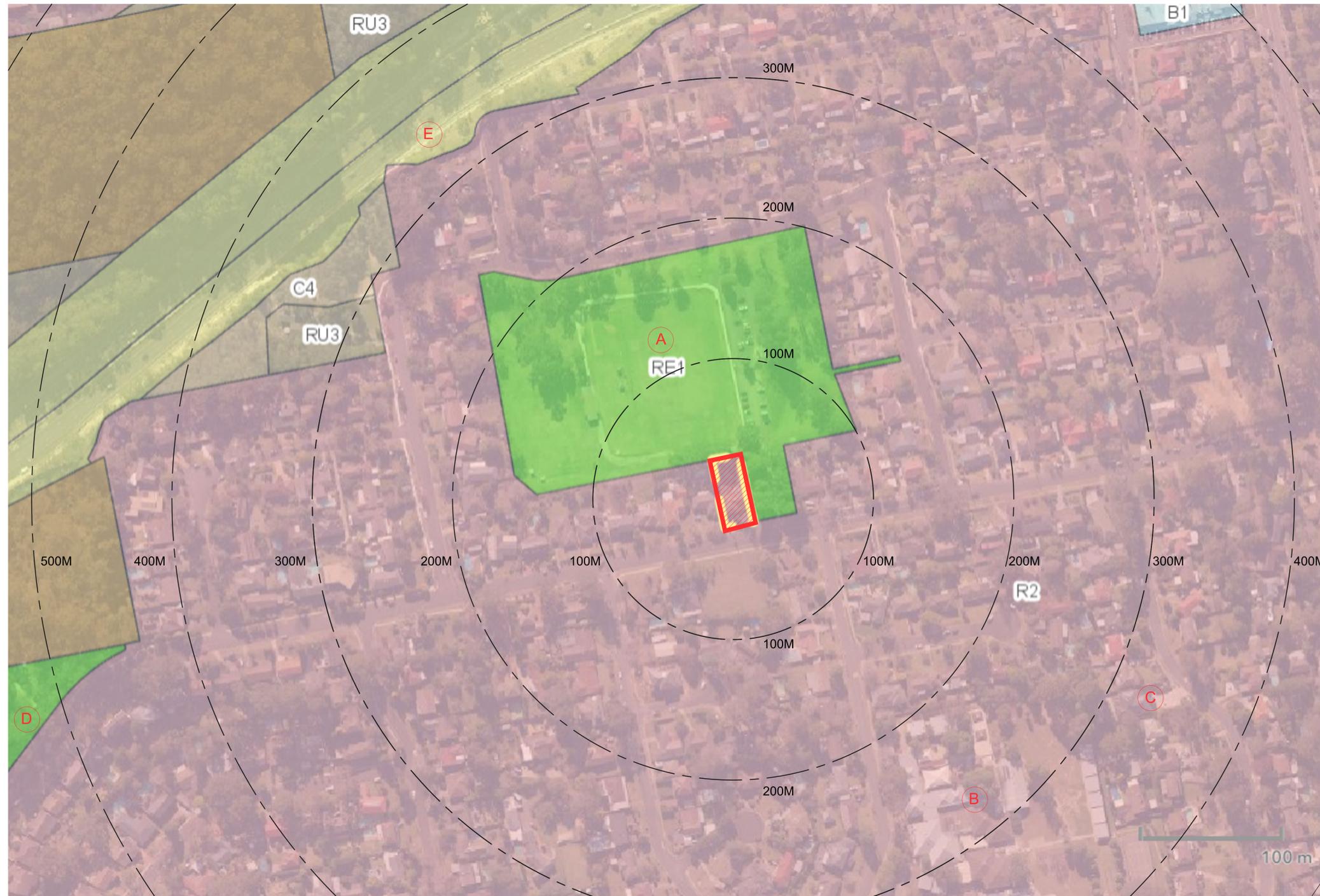
CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Parramatta Council

Date: 14.10.2022	Scale: 1:100	Issue For: DA	Issue: A	Drawing #: A000	Project #: 10208
---------------------	-----------------	------------------	-------------	--------------------	---------------------

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. COPYRIGHT: DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWER SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING. POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKISH POSITION. FRONT GARDEN TAP ON METER. ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE RAINWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THE DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DEH WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ABSA & BASIX REPORT.

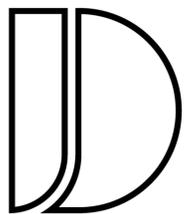
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



LANDMARKS

- A - MURRAY FARM RESERVE
- B - MURRAY FARM PUBLIC SCHOOL
- C - SHINE PRESCHOOL CARLINGFOORD
- D - 1ST MURRAY FARM SCOUTS
- E - M2 MOTORWAY

SITE CONTEXT PLAN -
N.T.S.



**JANSSSEN
DESIGNS**

info@janssensedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575

AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Site Context Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

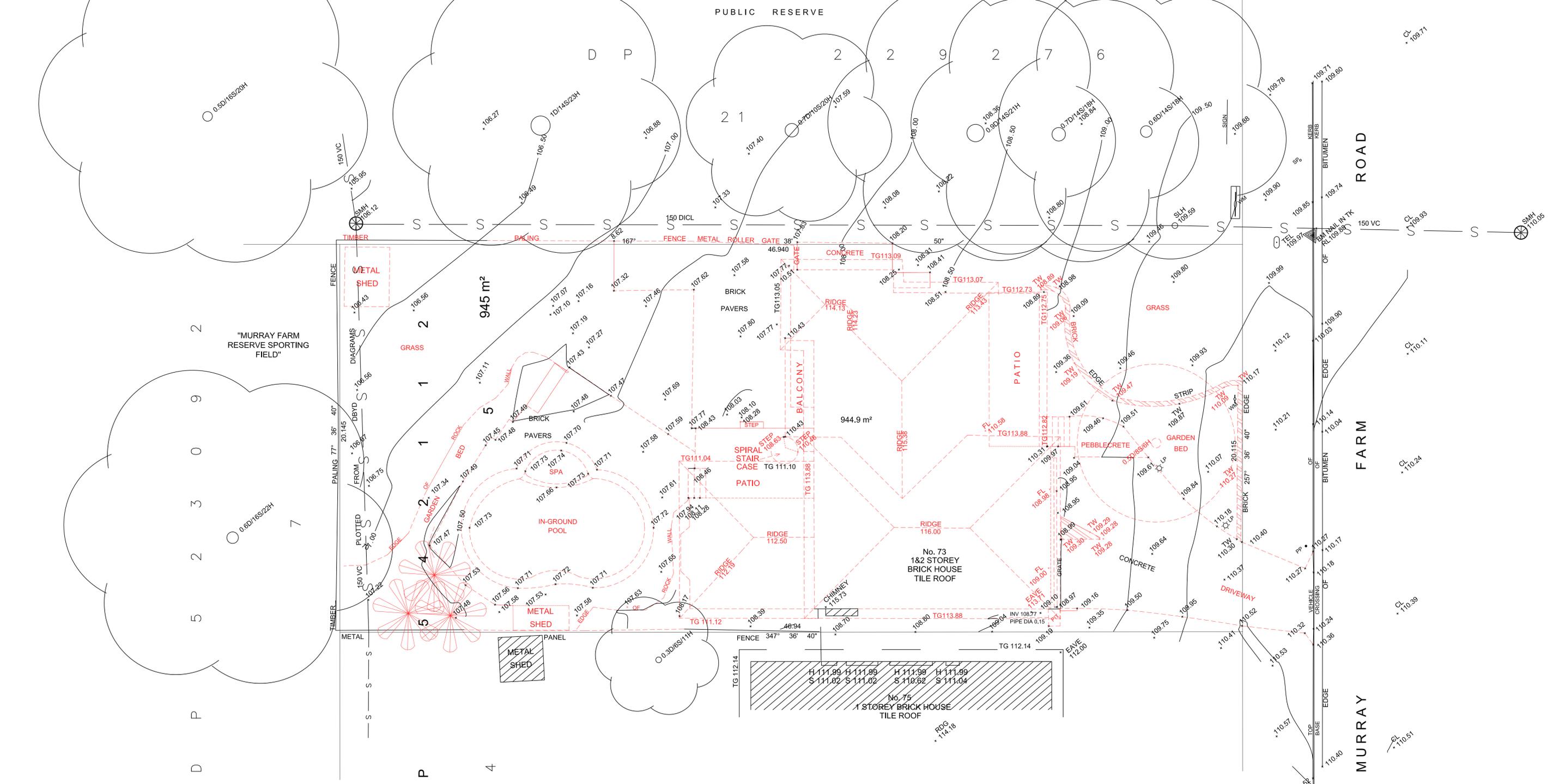
CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA	Issue: A	Date: 14.10.2022	Scale: 1:100	Drawing #: A000	Project #: 10208
------------------	-------------	---------------------	-----------------	--------------------	---------------------

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCILS CONDITIONS. COPYRIGHT: DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWER SITES SHOWN ON PLAN ARE INSIDE HOOR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOOR BEHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL WIRES TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKISH POSITION FRONT GARDEN TAP ON METERS ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3. STAIRS ARE TO BE USED IN THE RESIDENTIAL UNIT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE A&S & B&K REPORT.

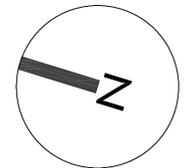
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



DEMOLITION PLAN - 1:100 @ A1

**JANSSSEN
DESIGNS**

info@janssensedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Demolition Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glanville

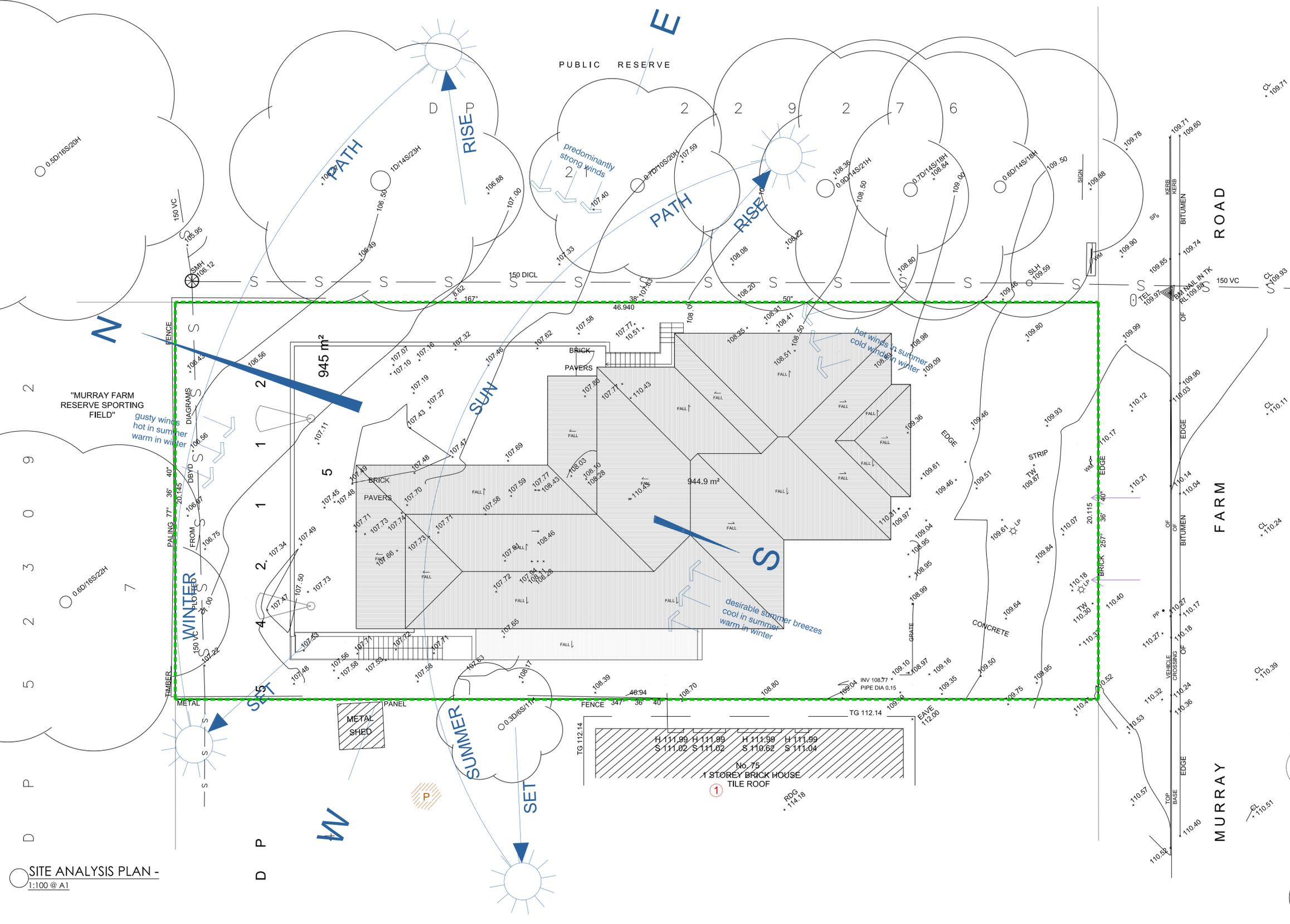
LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA
Issue: A

Date: 14.10.2022
Scale: 1:100
Drawing #: A000
Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. COPYRIGHT: DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS SHOWN ON PLAN ARE INSIDE HOOR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOOR HEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL WIRES TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKISH POSITION FRONT GARDEN TAP ON METER ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3.5. APPLIANCES TO BE USED IN THIS DEVELOPMENT, OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ASEA & BASK REPORT.

DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

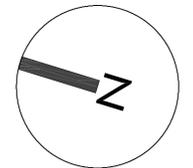


SITE ANALYSIS PLAN - 1:100 @ A1

- KEY:**
- CARPORT
 - NUMBER OF STOREYS
 - OVERLOOKING
 - PEDESTRIANS & VEHICLE ACCESS POINTS
 - VIEWS
 - SITE
 - CONTOURS
 - PRIVATE OPEN SPACE
 - EXISTING TREES

**JANSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Site Analysis Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glansville

LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA	Issue: A
Date: 14.10.2022	Scale: 1:100
Drawing #: A000	Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. COPYRIGHT: DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOUR SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWER SITES SHOWN ON PLAN ARE INSIDE HOOR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOOR HEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURRET POSITION. FRONT GARDEN TAP ON METER ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THIS DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DSH WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ASEA & BASK REPORT.

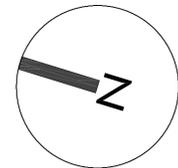
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



SITE PLAN -
1:100 @ A1

**JANSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Site Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

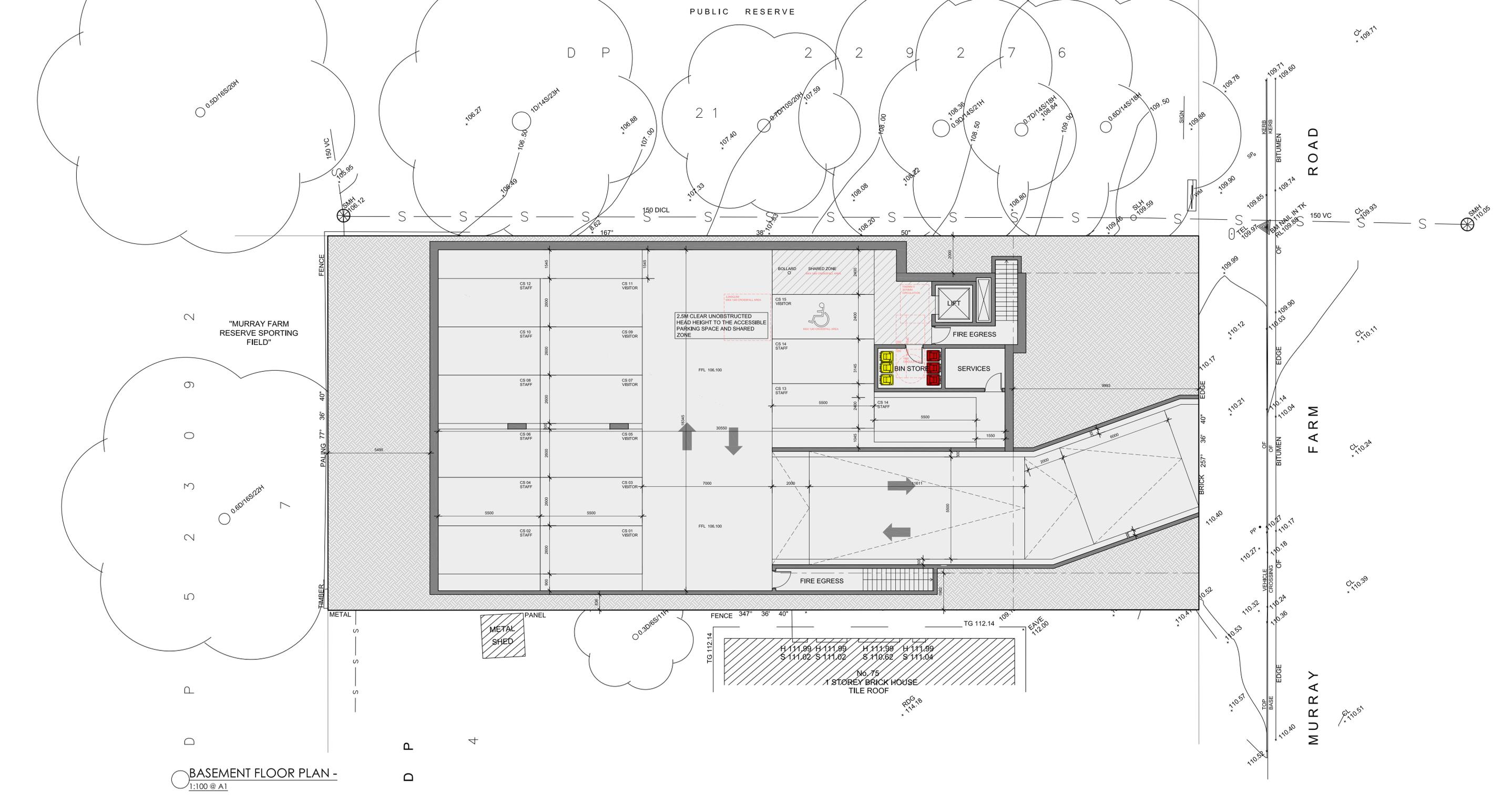
CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Paramatta Council

Date: 14.10.2022 | Scale: 1:100 | Drawing #: A000 | Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. COPYRIGHT: DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING. POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKETT POSITION. FRONT GARDEN TAP ON METER ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3. STAIRS ARE TO BE USED IN THE DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ABSA & BASK REPORT.

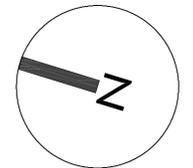
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



BASEMENT FLOOR PLAN - 1:100 @ A1

**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Basement Floor Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

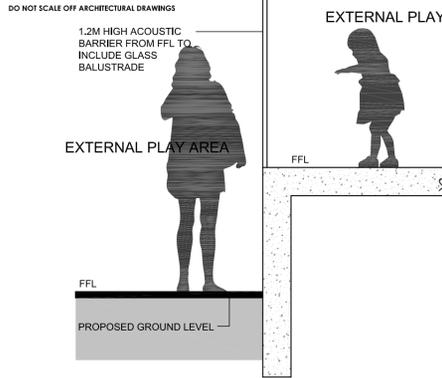
CLIENT DETAILS:
Glansville

LOCAL GOVERNMENT AREA:
Paramatta Council

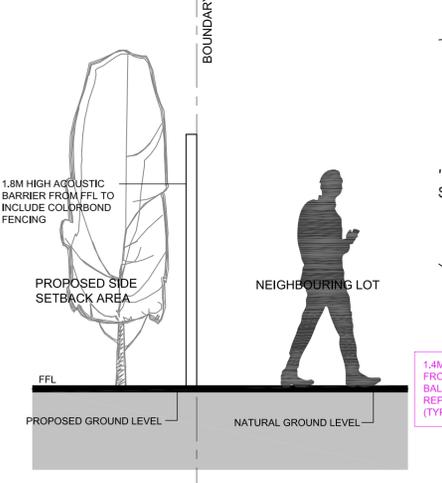
Issue For: DA
Issue: A

Date: 14.10.2022
Scale: 1:100
Drawing #: A000
Project #: 10208

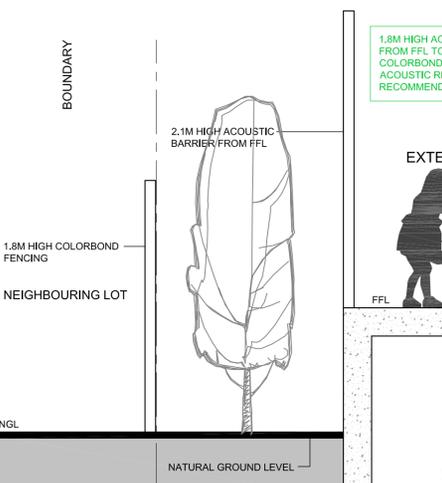
NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCILS CONDITIONS OF CONTRACT. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BELIEVEDS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKETT POSITION. FRONT GARDEN TAP ON METERS ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THE RESIDENTIAL. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. CONSULTER/MUST READ ALL PLANS IN CONJUNCTION WITH THE ASEA & BASK REPORT



ACOUSTIC BARRIER - TYPE 1 -
1:25 @ A1



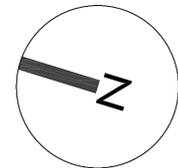
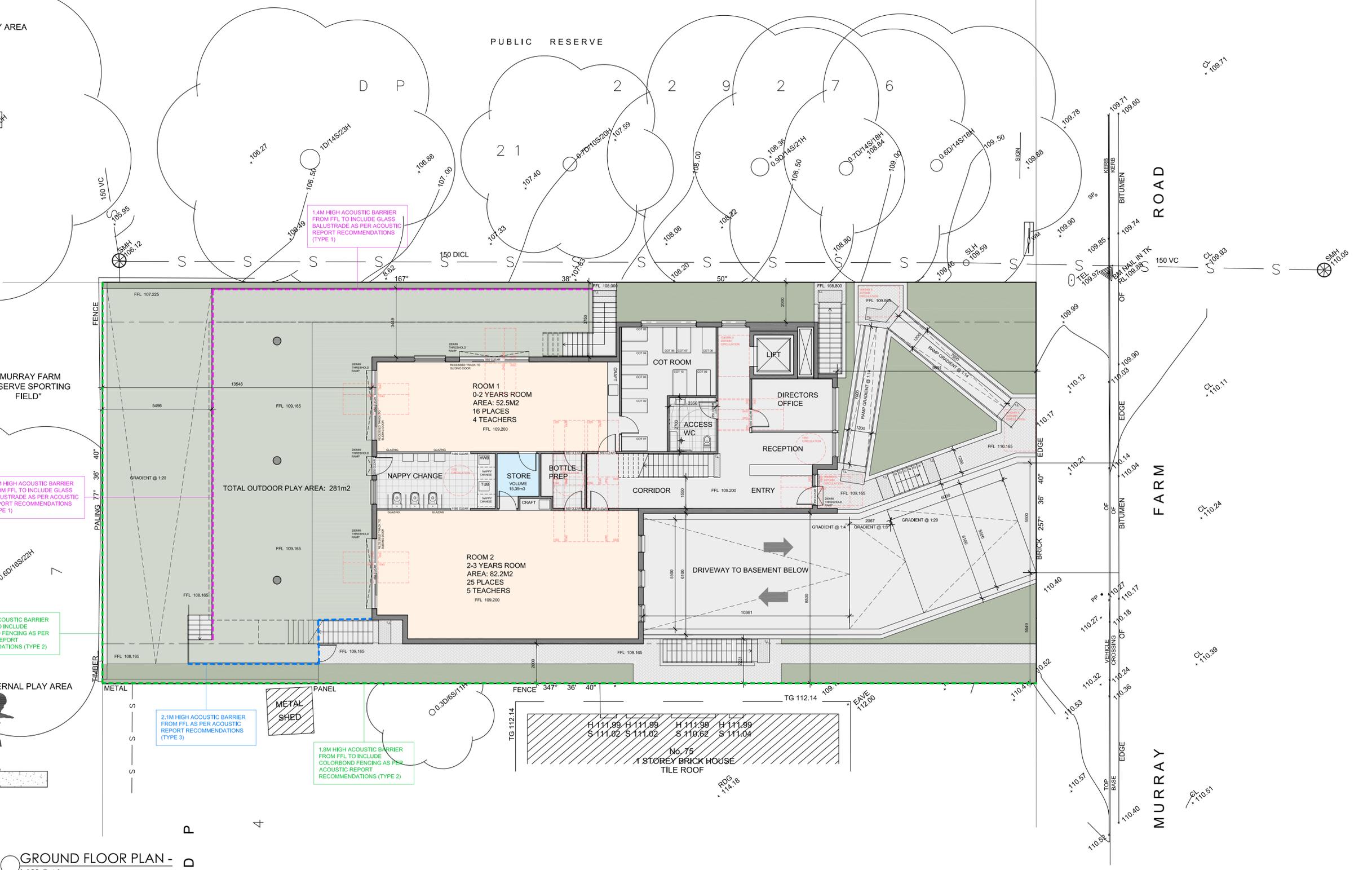
ACOUSTIC BARRIER - TYPE 2 -
1:25 @ A1



ACOUSTIC BARRIER - TYPE 3 -
1:25 @ A1

**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Ground Floor Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glanville

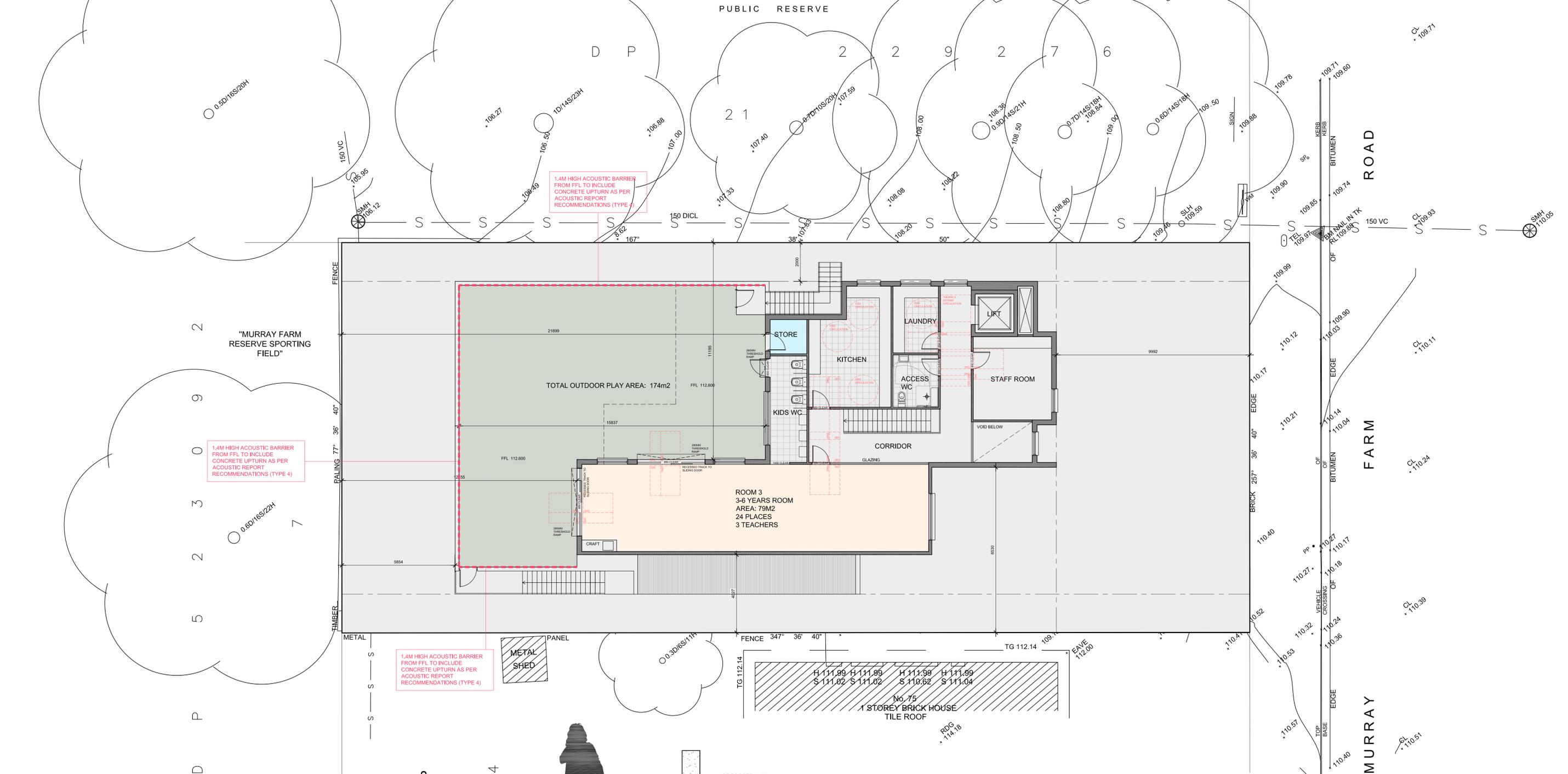
LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA
Issue: A

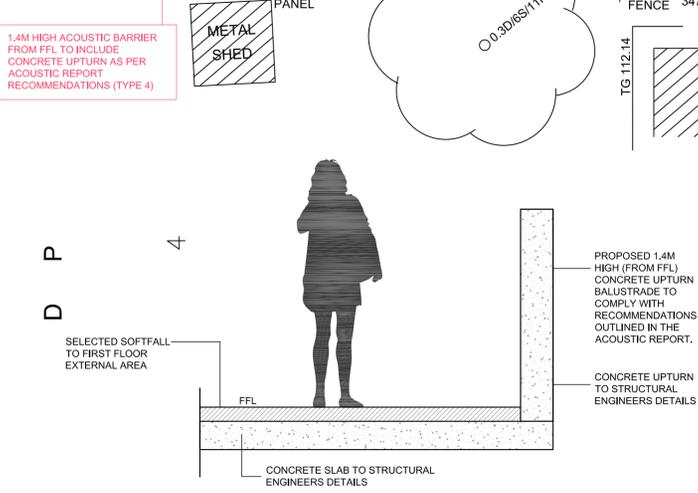
Date: 14.10.2022
Scale: 1:100
Drawing #: A000
Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS OF PRACTICE. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWER SITES SHOWN ON PLAN ARE INSIDE HOOR DIMENSIONS SHOWER SCREENS TO BE FITTED ON INSIDE OF HOOR HEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKETT POSITION FRONT GARDEN TAP ON METER ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3. STAIRS ARE TO BE USED IN THE RESIDENTIAL. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ABSA & BASK REPORT

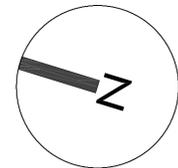
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



FIRST FLOOR PLAN - 1:100 @ A1



FIRST FLOOR OUTDOOR PLAY AREA ACOUSTIC TREATMENT- TYPE 4 1:25 @ A1



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

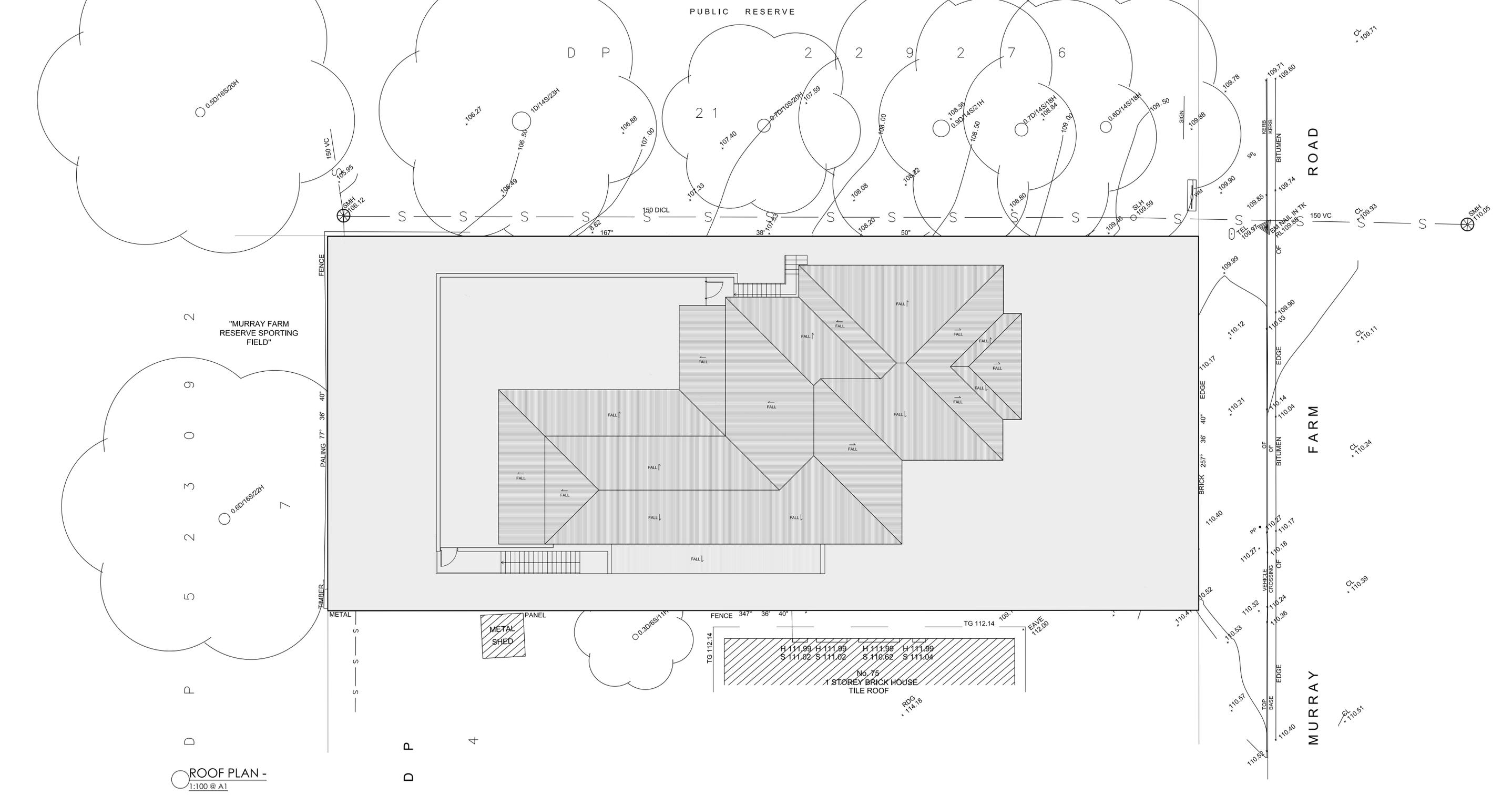
Project Title:
Proposed Child Care Centre

DRAWING TITLE:
First Floor Plan
ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glanville
LOCAL GOVERNMENT AREA:
Paramatta Council
Issue For: DA
Issue: A
Date: 14.10.2022
Scale: 1:100
Drawing #: A000
Project #: 10208

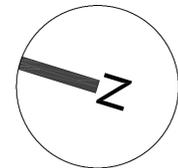
NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. **COPYRIGHT:** DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOUR SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. **USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.** FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL WIRES TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURRET POSITION. FRONT GARDEN TAP ON METERS. **ENERGY SMART DESIGN:** AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3.5. APPLIANCES TO BE USED IN THE RESIDENCE. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ABSA & BASK REPORT.

DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



**JANSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Roof Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glanville

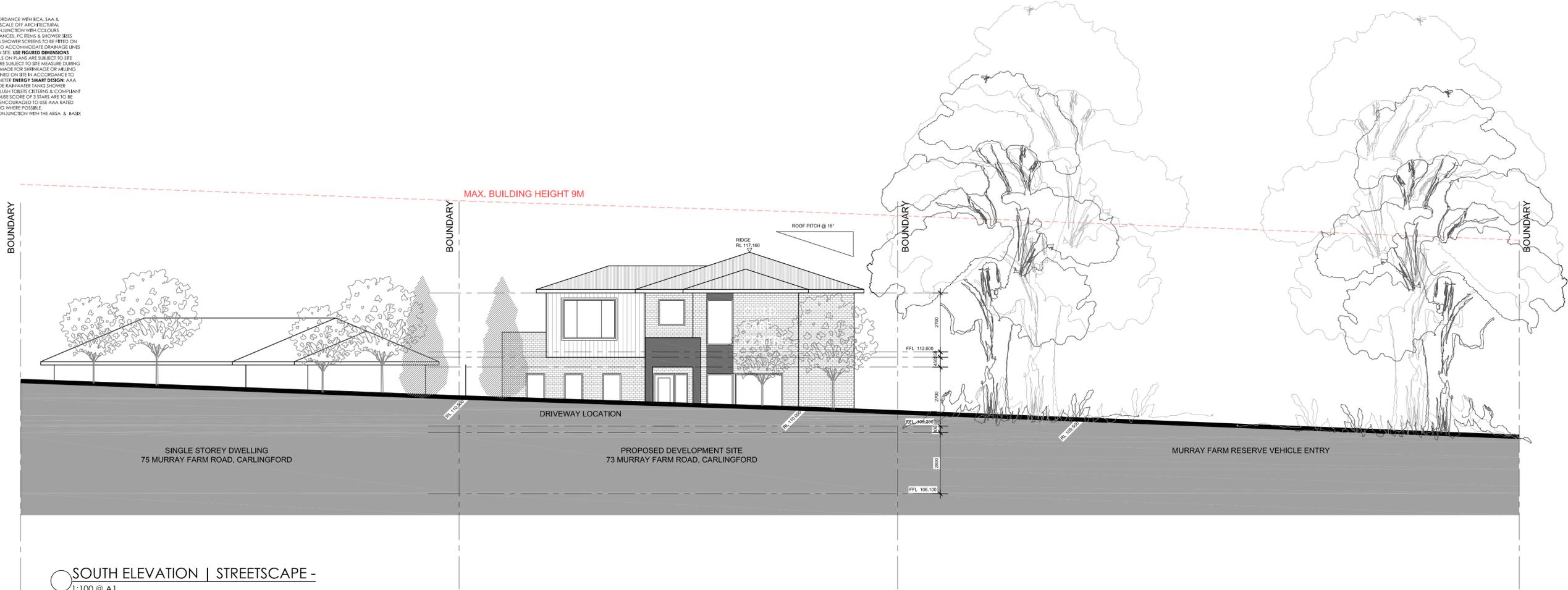
LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA
Issue: A

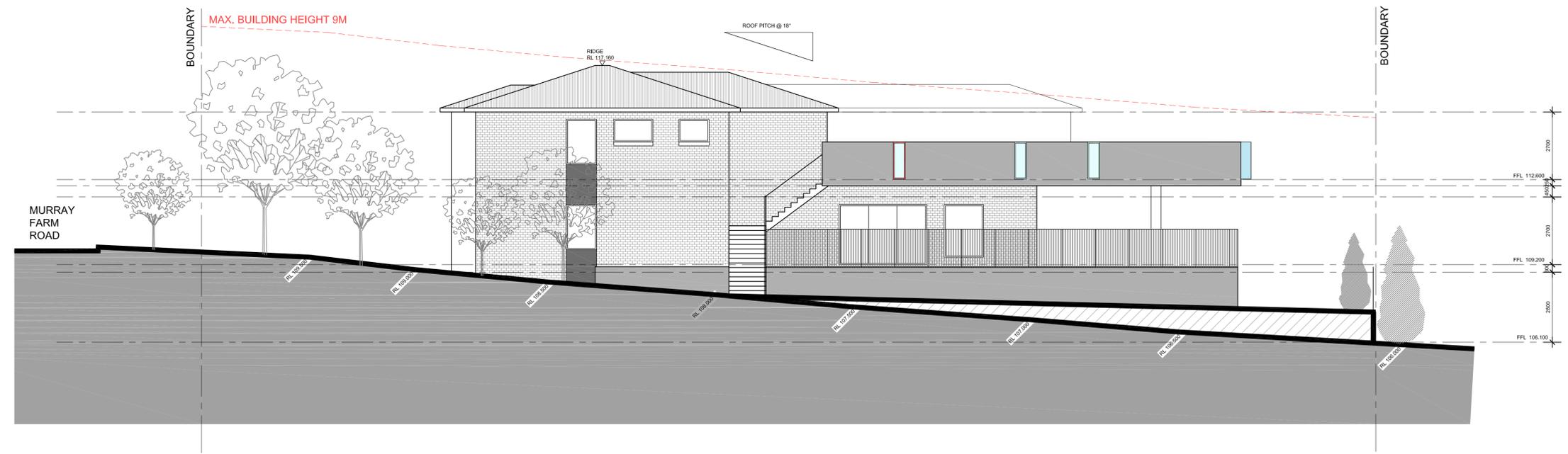
Date: 14.10.2022
Scale: 1:100
Drawing #: A000
Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS OF PRACTICE. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOUR SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL WIRES TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKISH POSITION FRONT GARDEN TAP ON METER ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE RAINWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THE DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DSH WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ABSA & BASK REPORT

DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



SOUTH ELEVATION | STREETSCAPE -
1:100 @ A1

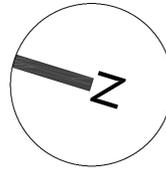


WEST ELEVATION -
1:100 @ A1



**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
South & West Elevation

ADDRESS:
73 Murray Farm Road,
Carlingford

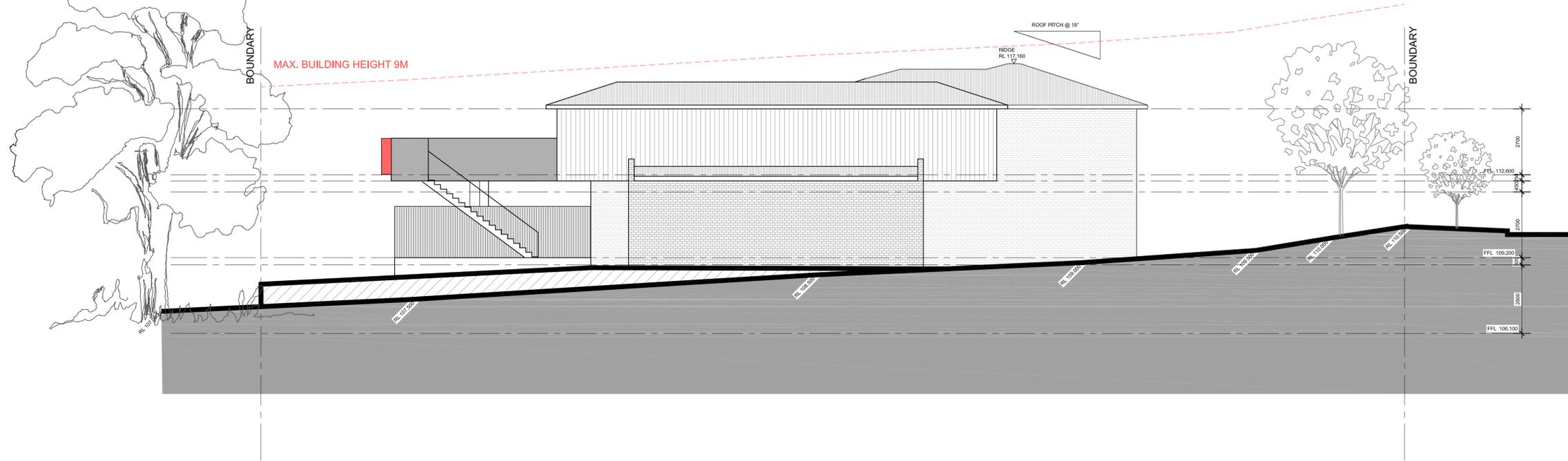
CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Parramatta Council

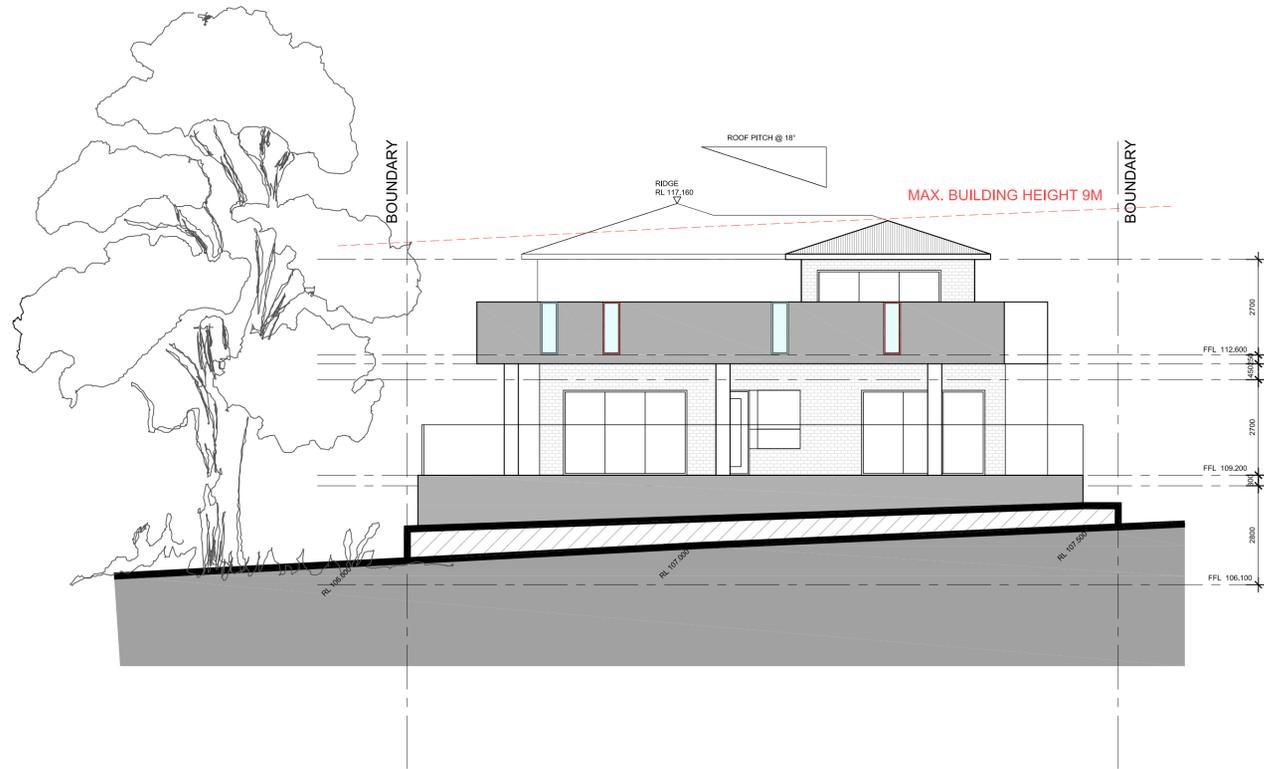
Issue For: DA
Issue: A
Date: 14.10.2022
Scale: 1:100
Drawing #: A000
Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. COPYRIGHT: DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL WIRES TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKETT POSITION. FRONT GARDEN TAP ON METERS ENERGY SMART DESIGN. AAA RATED WATER CONSERVATION DEVICES INCLUDE RAINWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THE DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DISH WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ABSA & BASK REPORT

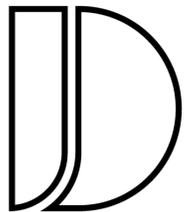
DO NOT SCALE OF ARCHITECTURAL DRAWINGS



EAST ELEVATION -
1:100 @ A1

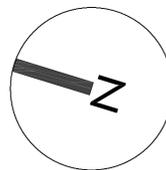


NORTH ELEVATION -
1:100 @ A1



**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
East & North Elevation

ADDRESS:
73 Murray Farm Road,
Carlingford

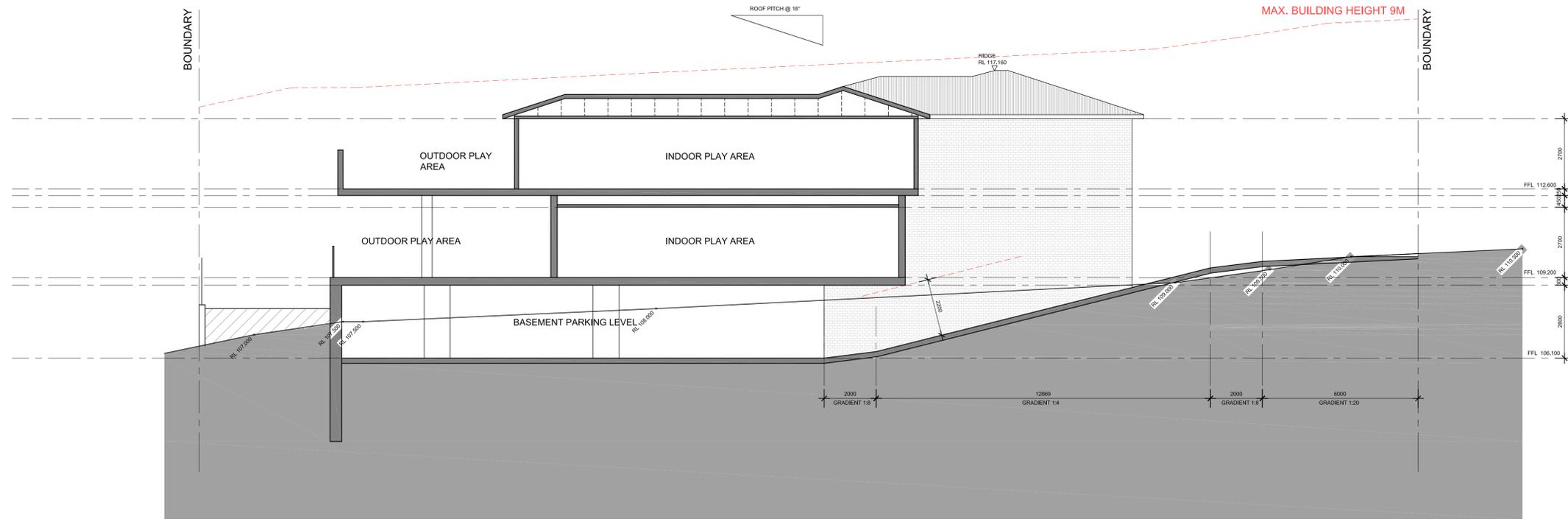
CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Parramatta Council

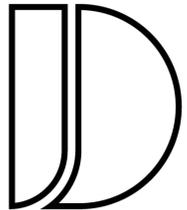
Issue For: DA	Issue: A
Date: 14.10.2022	Scale: 1:100
Drawing #: A000	Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. COPYRIGHT: DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULLHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING. POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKETT POSITION. FRONT GARDEN TAP ON METERS. ENERGY SMART DESIGN: AAA RATED WATER CONSERVATION DEVICES INCLUDE RAINWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THE DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DSH WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE A&A & BASIX REPORT.

DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

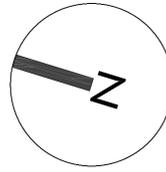


SECTION A-A -
1:100 @ A1



**JANSSSEN
DESIGNS**

info@janssendesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

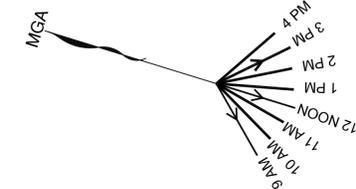
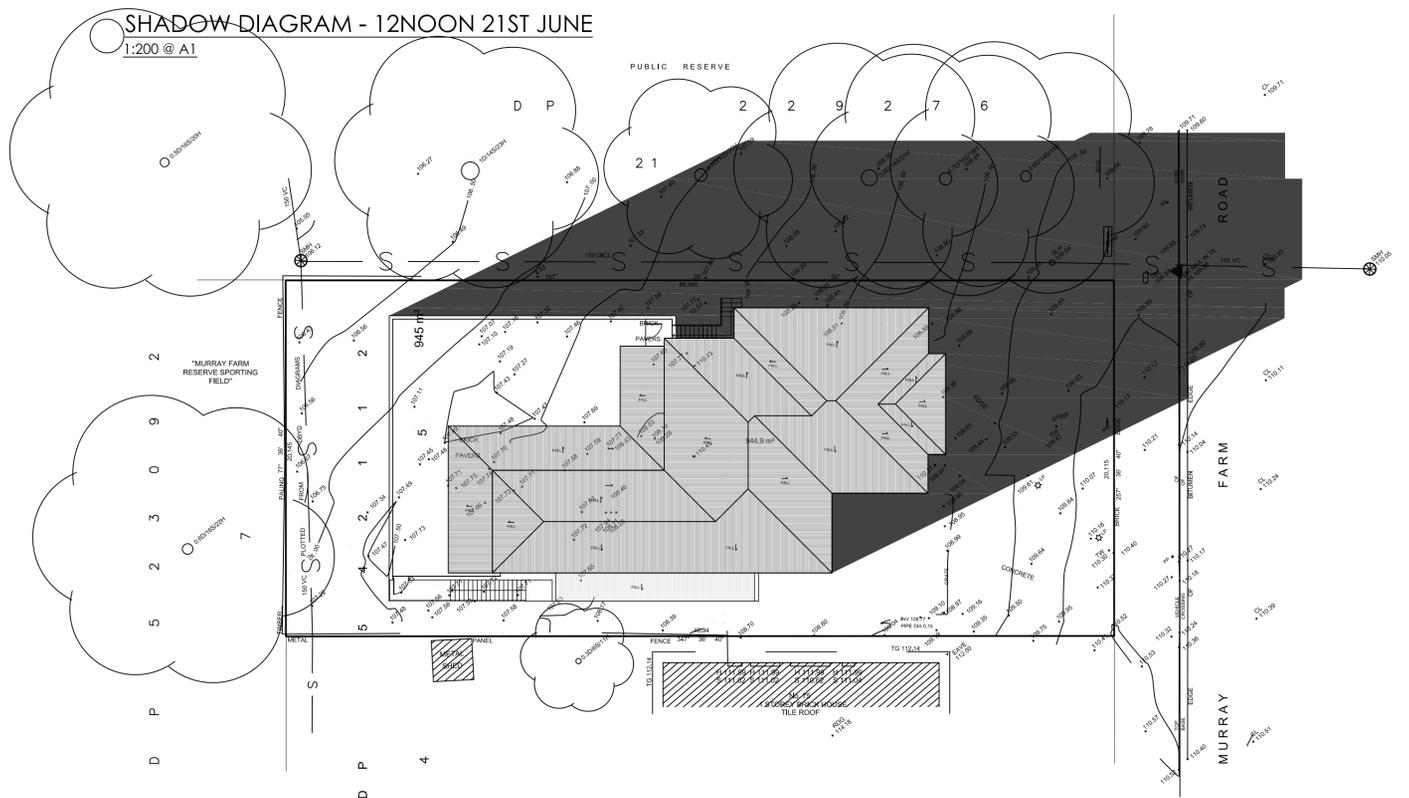
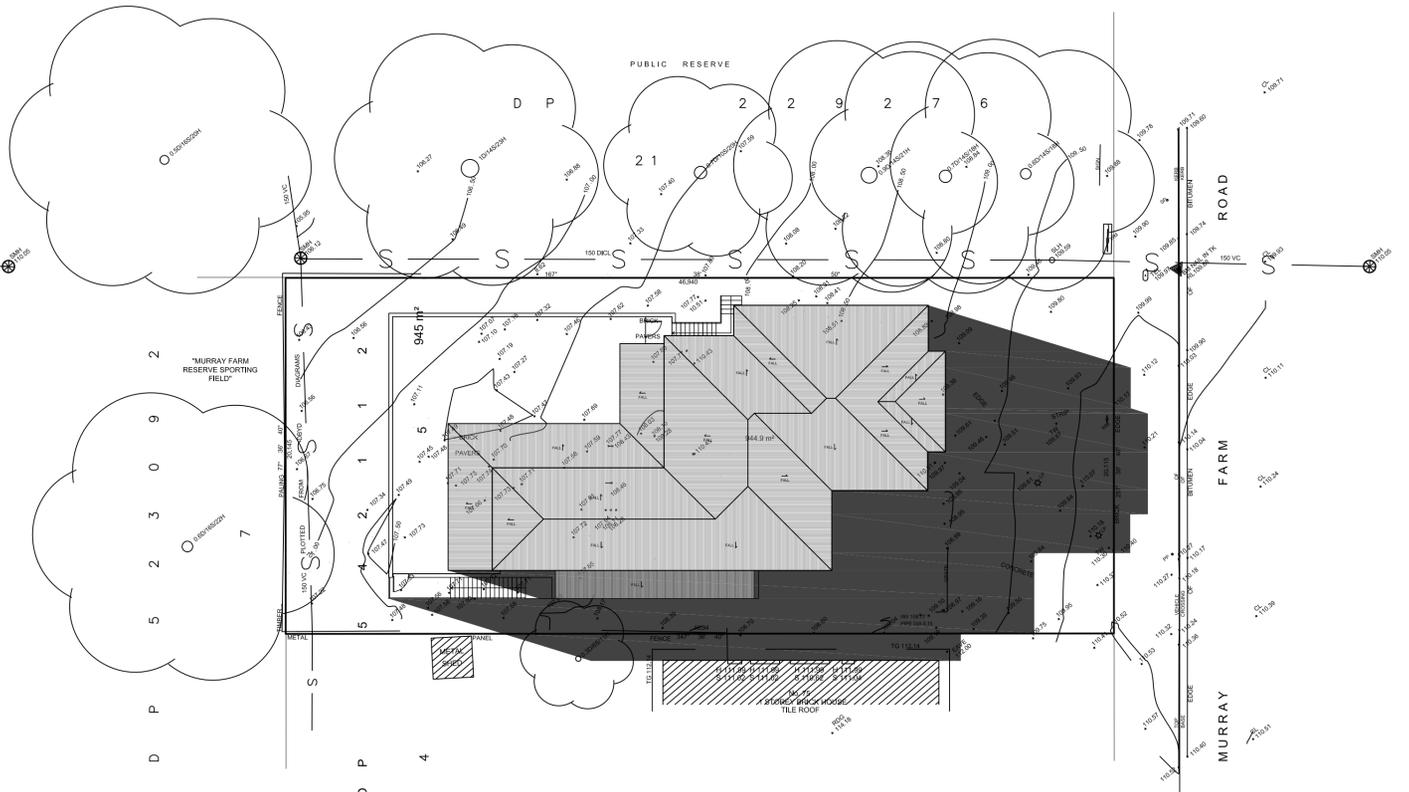
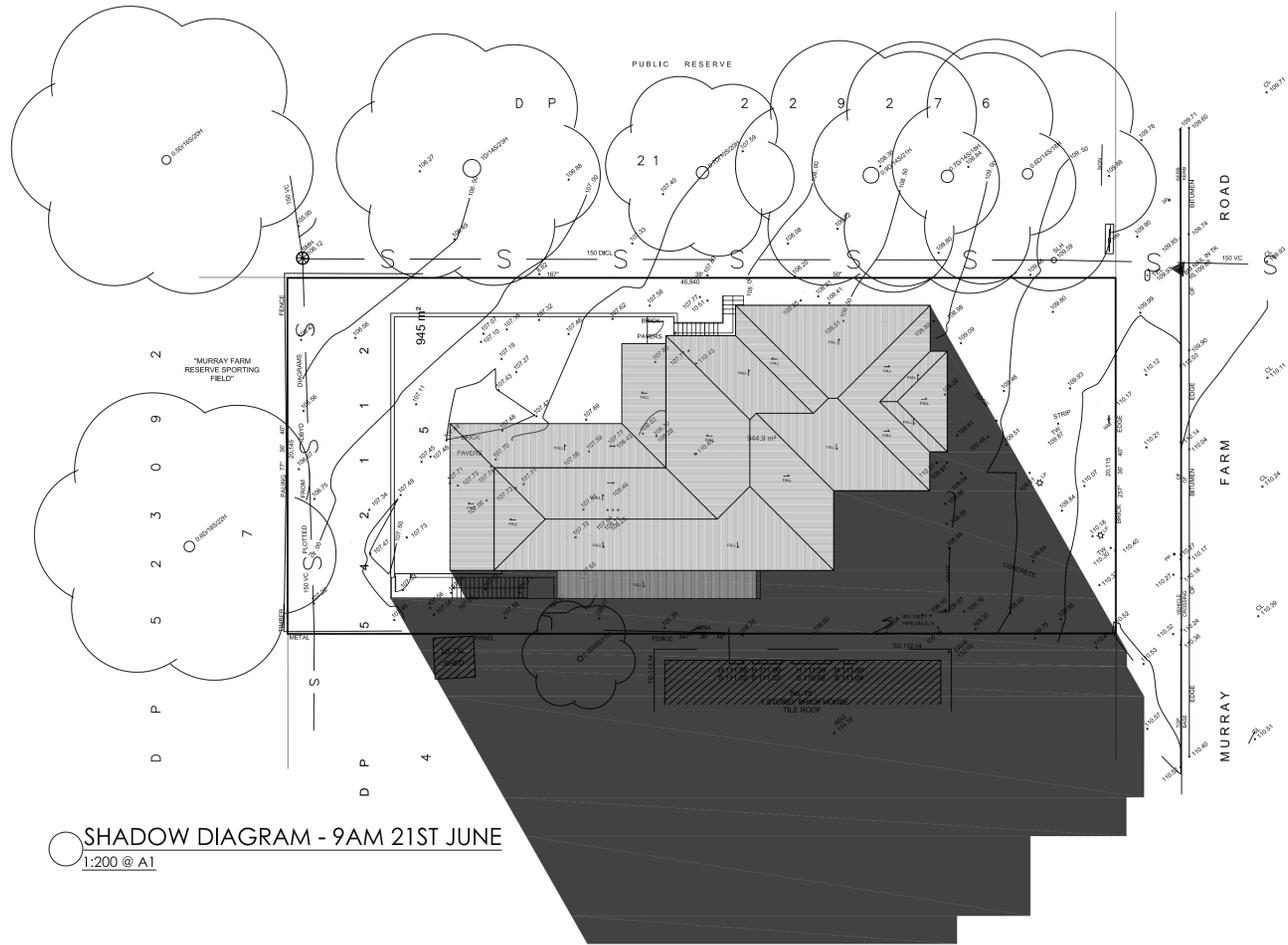
DRAWING TITLE:
Section

ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Parramatta Council

Date: 14.10.2022	Scale: 1:100	Issue For: DA	Issue: A	Drawing #: A000	Project #: 10208
---------------------	-----------------	------------------	-------------	--------------------	---------------------



SHADOW DIAGRAM - 9AM 21ST JUNE
1:200 @ A1

SHADOW DIAGRAM - 12NOON 21ST JUNE
1:200 @ A1

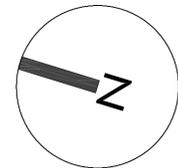
SHADOW DIAGRAM - 3PM 21ST JUNE
1:200 @ A1

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCILS CONDITIONS. **COPYRIGHT:** DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH CONDITIONS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FC ITEMS & SHOWER SIZES SHOWN ON PLAN ARE INSIDE HOBBY DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOBBY BULKHEADS. MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. **USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.** FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO SITE MEASURE DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR SWELLING. POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURNER POSITION FRONT GARDEN TAP ON METER. **ENERGY SMART DESIGN:** AAA RATED WATER CONSERVATION DEVICES INCLUDE RAINWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THIS DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DEEP WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ARB & BASR REPORT.

DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care
Centre

DRAWING TITLE:
Shadow Diagrams

ADDRESS:
73 Murray Farm Road,
Carlingford

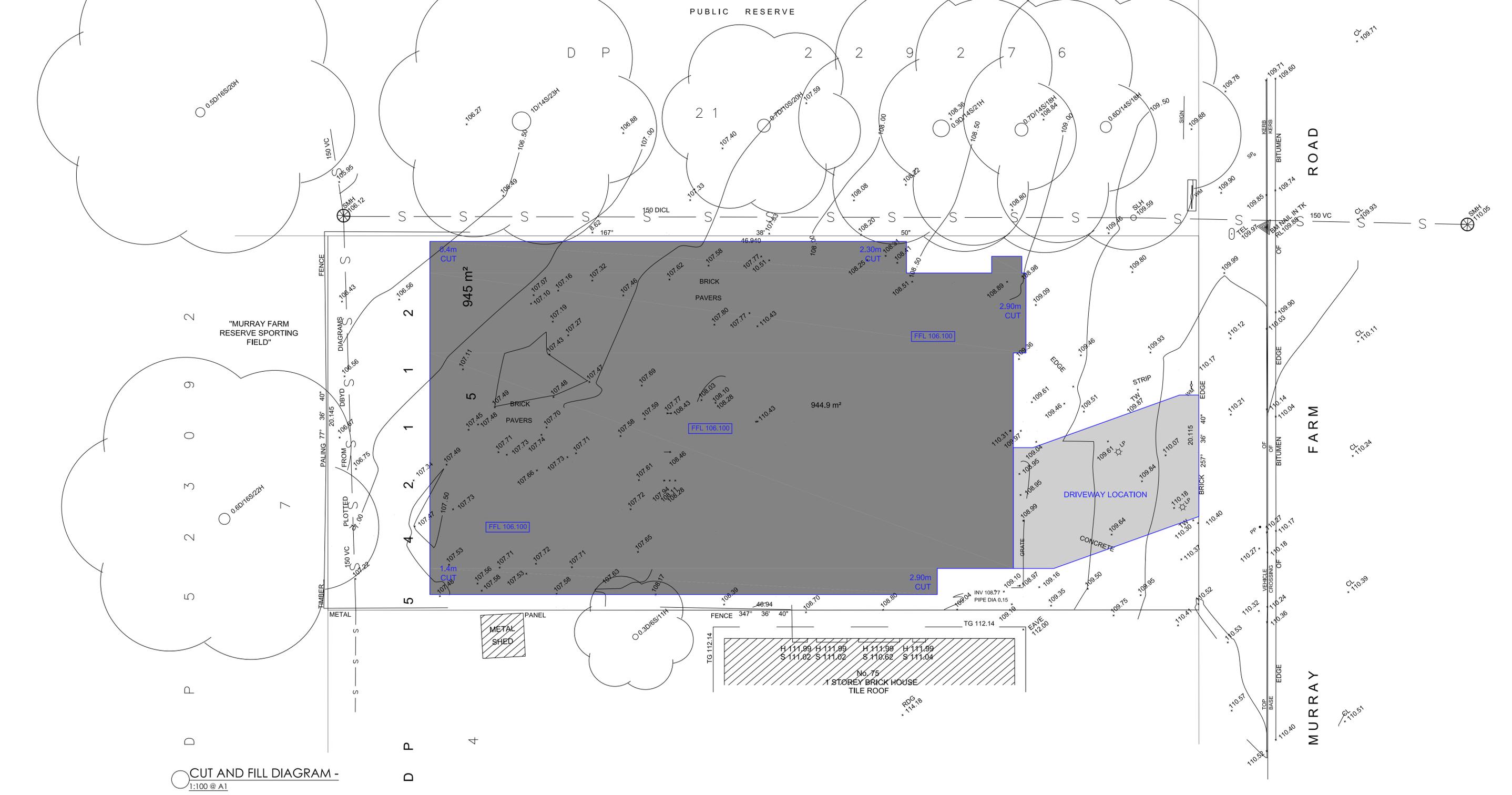
CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Paramatta Council

Issue For: DA	Issue: A
Date: 14.10.2022	Scale: 1:100
Drawing #: A000	Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. **COPYRIGHT:** DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWER SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. **USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.** FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL WIRES TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKETT POSITION FRONT GARDEN TAP ON METERS. **ENERGY SMART DESIGN:** AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3.5. STAIRS ARE TO BE USED IN THE DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ASEA & BASK REPORT.

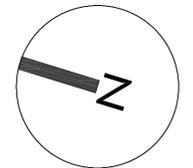
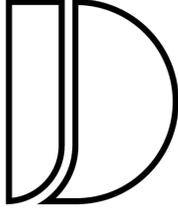
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



CUT AND FILL DIAGRAM - 1:100 @ A1

LEGEND:


PROPOSED CUT

**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575

AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Cut and Fill Diagram

ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glansville

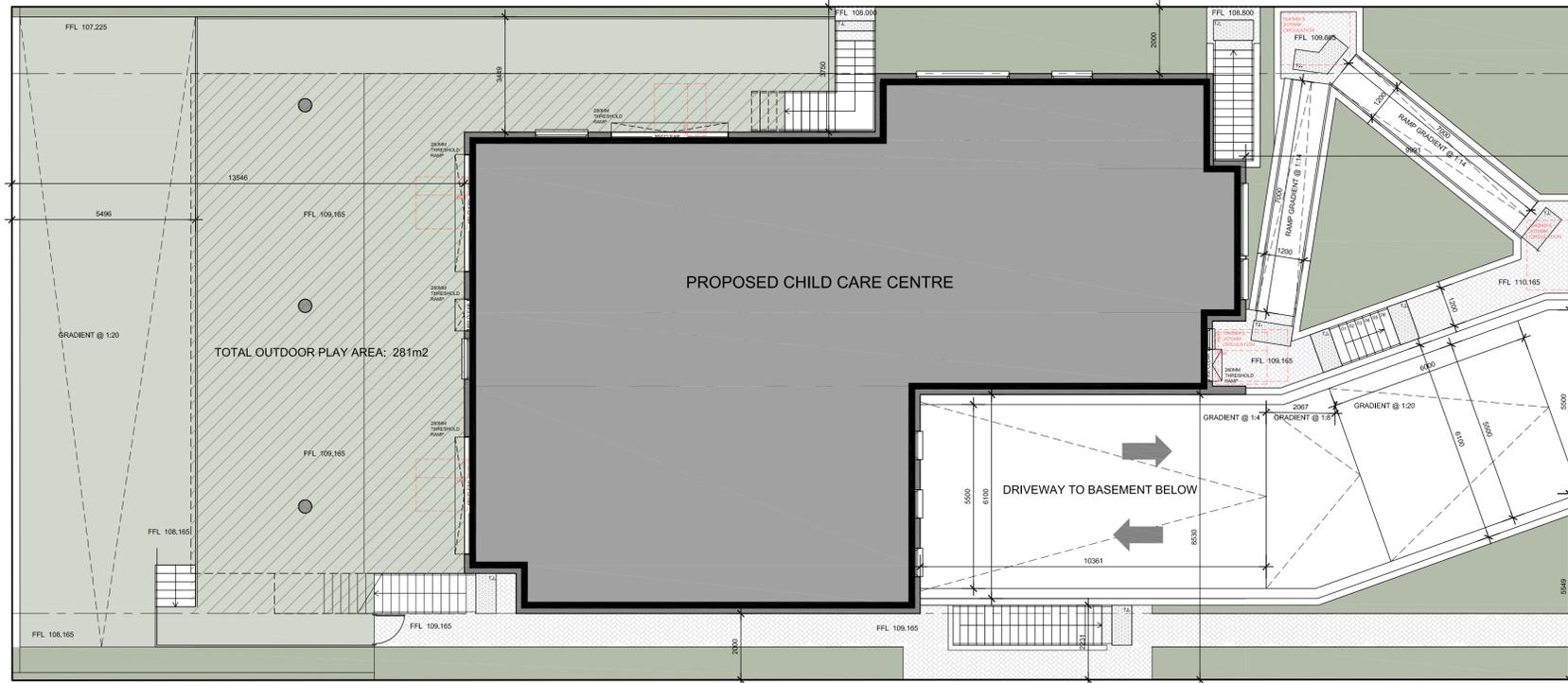
LOCAL GOVERNMENT AREA:
Paramatta Council

Date: 14.10.2022 | Scale: 1:100 | Drawing #: A000 | Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS. **COPYRIGHT:** DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS. SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. **USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.** FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKISH POSITION FRONT GARDEN TAP ON METERS. **ENERGY SMART DESIGN:** AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THIS DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DISH WASHING MACHINES WITH FRONT LOADING WHERE POSSIBLE. OWNER/BUILDER MUST READ ALL PLANS IN CONJUNCTION WITH THE ASEA & BASK REPORT.

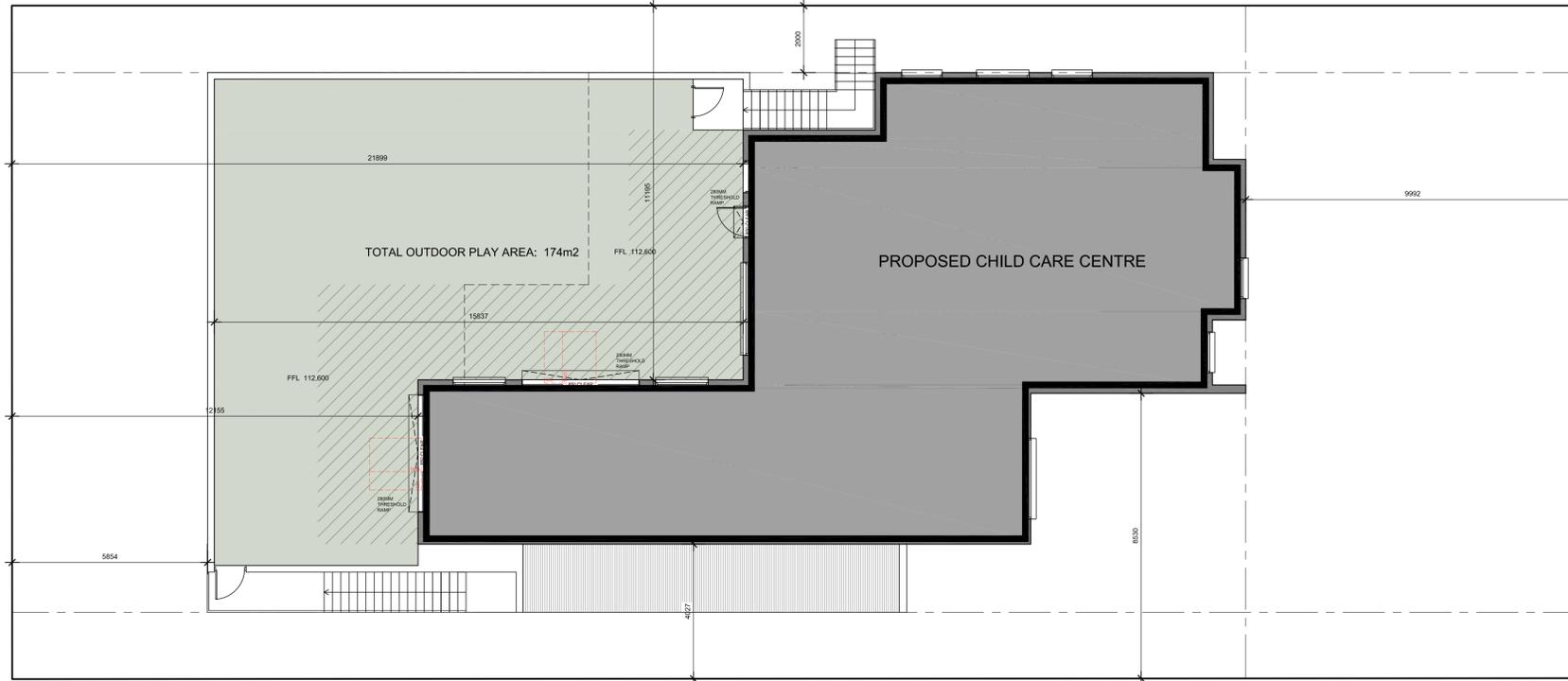
DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

TOTAL OUTDOOR PLAY AREA: 281m²
TOTAL COVERED AREA: 146m² / 51.9%



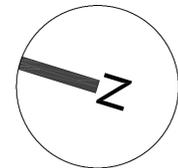
GROUND FLOOR PLAN -
COVERED OUTDOOR AREA DIAGRAM
1:100 @ A1

TOTAL OUTDOOR PLAY AREA: 174m²
TOTAL COVERED AREA: 66.8m² / 38.3%



FIRST FLOOR PLAN -
COVERED OUTDOOR AREA DIAGRAM
1:100 @ A1

HATCHED AREA IDENTIFIES OUTDOOR PLAY SPACE
HATCHED AREA IDENTIFIES EXTENT OF COVERED OUTDOOR PLAY SPACE



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

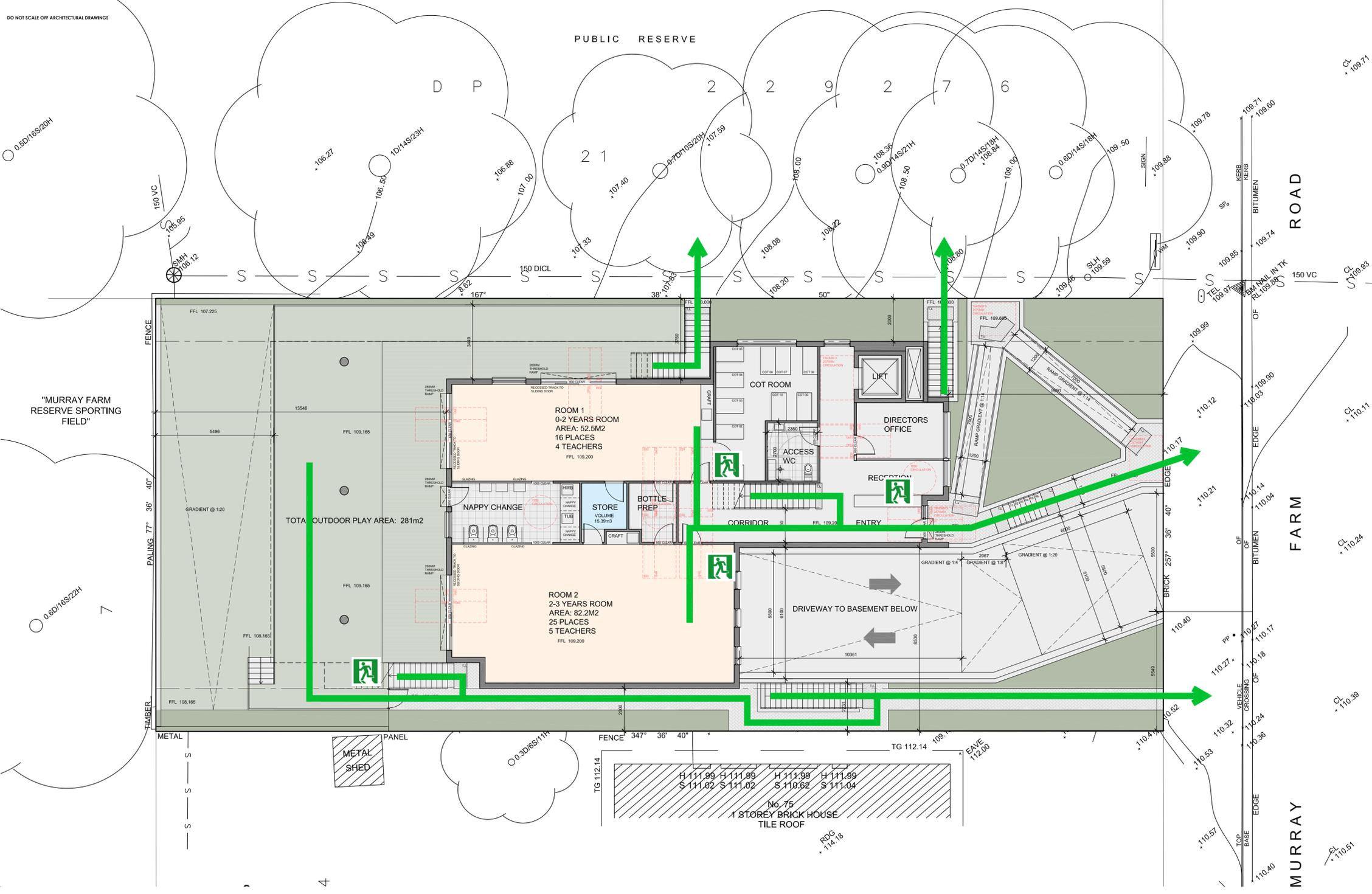
Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Covered Outdoor Area Diagram
ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:
Glanville
LOCAL GOVERNMENT AREA:
Parramatta Council
Issue For: DA
Issue: A
Date: 14.10.2022
Scale: 1:100
Drawing #: A000
Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS **COPYRIGHT:** DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS. SITES SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE. **USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.** FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURKETT POSITION. FRONT GARDEN TAP ON METER. **ENERGY SMART DESIGN:** AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THIS DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH HEAT PUMP DRYING WHERE POSSIBLE. OWNERS/DEVELOPER MUST READ ALL PLANS IN CONJUNCTION WITH THE ASEA & BASR REPORT.

DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



EMERGENCY EVACUATION PLAN - GROUND FLOOR PLAN - 1:100 @ A1

EMERGENCY PROCEDURES

R Remove
Anyone in immediate danger

A Alert others & raise the alarm
Advise all occupants, Contact Emergency Services, Contact Chief Warden

C Contain
The emergency to an area

E Evacuate
To a safer place

IN AN EMERGENCY

P POLICE

FIRE

+ AMBULANCE

DIAL 000

LEGEND

Exit

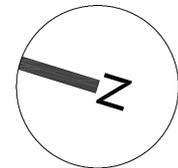
Evacuation route

Alternate route

Note: For Development Application Purposes Only

**JANSSSEN
DESIGNS**

info@janssendedesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Emergency Evacuation Plan - Ground Floor Plan

ADDRESS:
73 Murray Farm Road, Carlingford

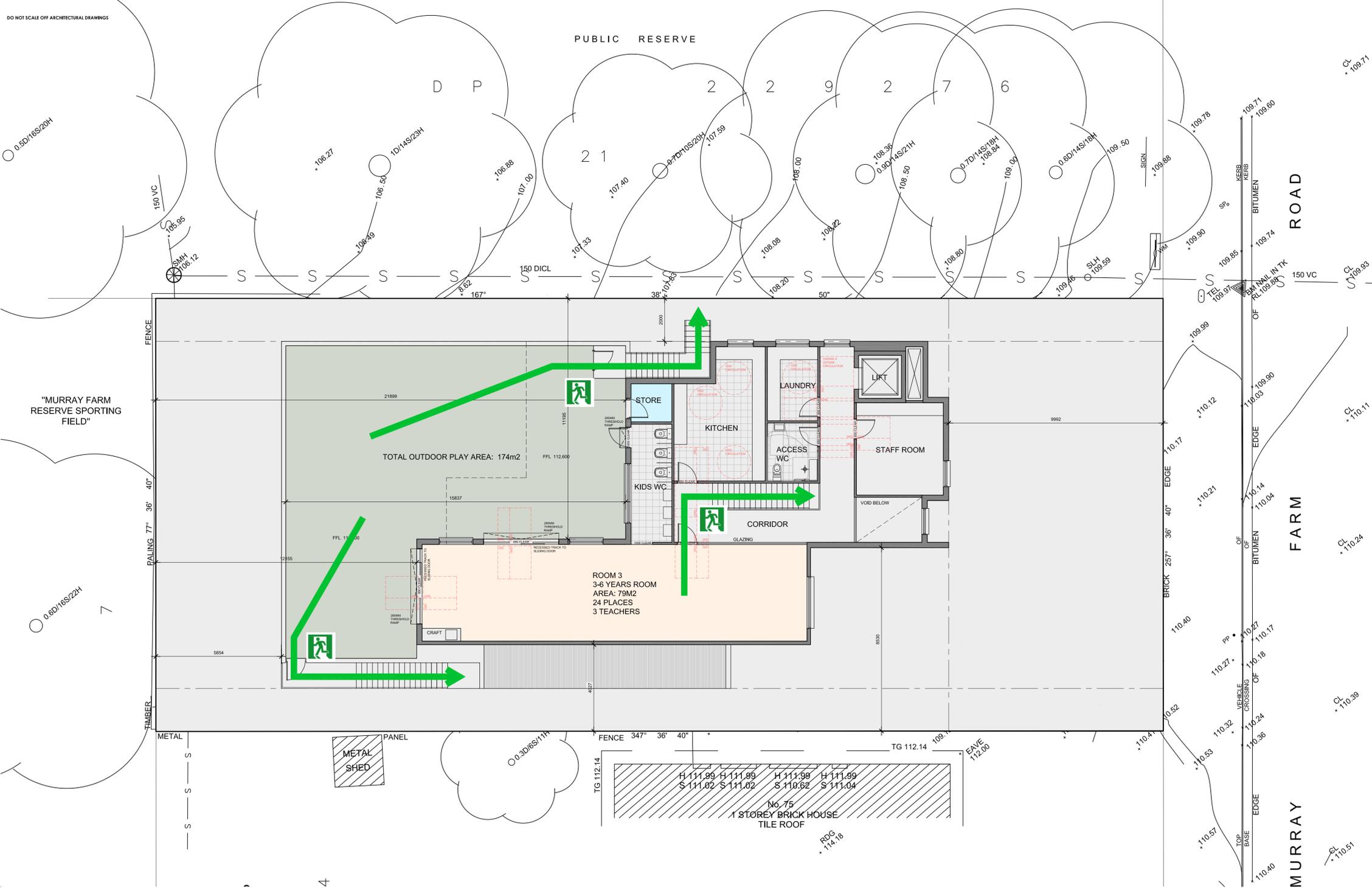
CLIENT DETAILS:
Glanville

LOCAL GOVERNMENT AREA:
Parramatta Council

Issue For: DA	Issue: A
Date: 14.10.2022	Scale: 1:100
Drawing #: A000	Project #: 10208

NOTE: ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, SAA & COUNCIL'S CONDITIONS **COPYRIGHT:** DO NOT SCALE OFF ARCHITECTURAL DRAWINGS. THESE NOTES MUST BE READ IN CONJUNCTION WITH COLOURS. SELECTION FOR ADDITIONAL DETAILS ON APPLIANCES, FIXTURES & SHOWERS SHOWN ON PLAN ARE INSIDE HOIR DIMENSIONS SHOWER SCREENS TO BE FITTED ON INSIDE OF HOIR BULHEADS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE LINES & STEEL BEAMS POSITION TO BE DETERMINED ON SITE **USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.** FINISHED GROUND LEVELS ON PLANS ARE SUBJECT TO SITE CONDITIONS. ALL CALCULATED DIMENSIONS ARE SUBJECT TO BE MEASURED DURING CONSTRUCTION & NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE IN ACCORDANCE TO THE TURRET POSITION FRONT GARDEN TAP ON METER **ENERGY SMART DESIGN:** AAA RATED WATER CONSERVATION DEVICES INCLUDE FAIRWATER TANKS, SHOWER HEADS, WATER TAP FLOW REGULATORS, DUAL FLUSH TOILETS, CISTERNS & COMPLIANT HOT WATER SYSTEMS WITH MINIMUM GREEN HOUSE SCORE OF 3 STARS ARE TO BE USED IN THIS DEVELOPMENT. OCCUPANTS ARE ENCOURAGED TO USE AAA RATED DRY WASHING MACHINES WITH HEAT PUMP DRYING CAPABILITY WHERE POSSIBLE. OWNERS/ARCHITECT MUST READ ALL PLANS IN CONJUNCTION WITH THE A&S & B&K REPORT

DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



EMERGENCY EVACUATION PLAN - FIRST FLOOR PLAN - 1:100 @ A1

EMERGENCY PROCEDURES

R	Remove Anyone in immediate danger
A	Alert others & raise the alarm Advise all occupants, Contact Emergency Services, Contact Chief Warden
C	Contain The emergency to an area
E	Evacuate To a safer place

IN AN EMERGENCY

P POLICE	DIAL 000
FIRE	
AMBULANCE	

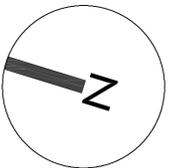
LEGEND

	Exit		Evacuation route		Alternate route
--	------	--	------------------	--	-----------------

Note: For Development Application Purposes Only

JANSSEN DESIGNS

info@janssendesigns.com.au | PO Box 41, Kenthurst 2156 | m: 0423 216 636
Nominated Architect: Jake Janssen NSW ARB 11575



AMENDMENTS		
ISSUE	DESCRIPTION	DATE

Project Title:
Proposed Child Care Centre

DRAWING TITLE:
Emergency Evacuation Plan - First Floor Plan

ADDRESS:
73 Murray Farm Road,
Carlingford

CLIENT DETAILS:			
Glanville			
LOCAL GOVERNMENT AREA: Parramatta Council			
Issue For: DA	Issue: A	Scale: A300	Project #: 10208
Date: 14.10.2022	Scale: 1:100	Drawing #: A000	Project #: 10208

Note:
 - All Landscape Works shall comply with all relevant BCA
 - Australian Standards AS/NZS 4486.1:1997 & AS/NZS 4422:1996
 - All works shall be constructed to best trade practices

NOTE: THE LANDSCAPE DOCUMENTS SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING REPORTS:
 THE NOISE IMPACT ASSESSMENT REPORT PREPARED BY WONGALA CONSULTING ENGINEERS DATED DECEMBER 2022
 THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY CRAIG KENWORTHY DATED NOVEMBER 2022

DEVELOPMENT APPLICATION PROPOSED LANDSCAPE PLANS CHILD CARE CENTRE 73 MURRAY FARM ROAD, CARLINGFORD

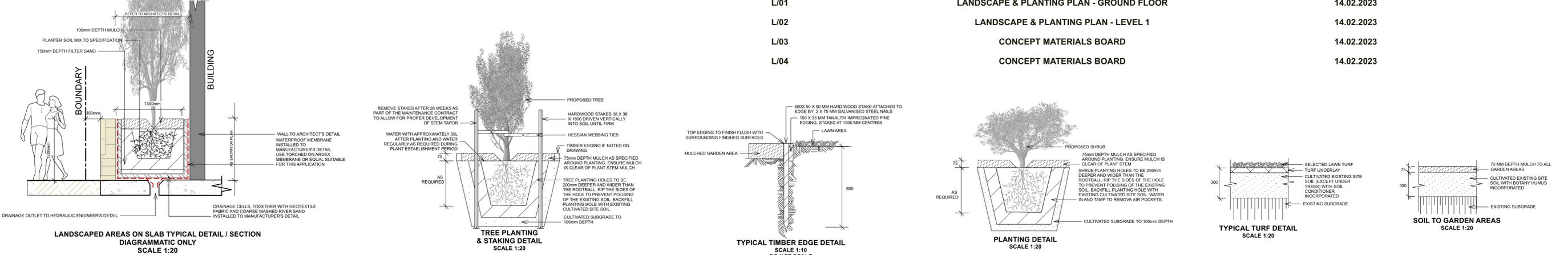
PLANTING SCHEDULE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Cupaniopsis anacardioides	Tuckeroo	2	45lt	5000	8000
Doryanthes palmeri	Spear Lily	13	250mm	1500	600
Elaeocarpus eumundi	Smoothed leaved Quandong	4	75lt	3000	8000
Lomandra 'Tanika'	Dwarf Lomandra	356	Tube	500	500
Lomandra longifolia	Spiny-headed Mat-Rush	20	Tube	1000	1000
Nandina domestica 'Lemon & Lime'	Sacred Bamboo 'Lemon & Lime'	34	200mm	1000	1000
Philodendron 'Xanadu'	Dwarf Philodendron	29	200mm	750	750
Syzgium australe 'Straight and Narrow'	Lillypilly 'Straight and Narrow'	33	300mm	1500	6000
Tristaniopsis laurina 'Luscious'	Water Gum	4	75lt	5000	10000

DRAWING LIST

SHEET NO.	SHEET TITLE	DATE
L/00	COVER SHEET	14.02.2023
L/01	LANDSCAPE & PLANTING PLAN - GROUND FLOOR	14.02.2023
L/02	LANDSCAPE & PLANTING PLAN - LEVEL 1	14.02.2023
L/03	CONCEPT MATERIALS BOARD	14.02.2023
L/04	CONCEPT MATERIALS BOARD	14.02.2023

LANDSCAPE DETAILS



OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to commencement of excavation works.

Excavate: Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all reworks that rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones: (i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanneal steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick top set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and return councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) **Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, retrimming, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) **Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) **Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) **Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) **Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) **Lawn areas** Lawn areas shall be mown at regular intervals to ensure no heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) **Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) **Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

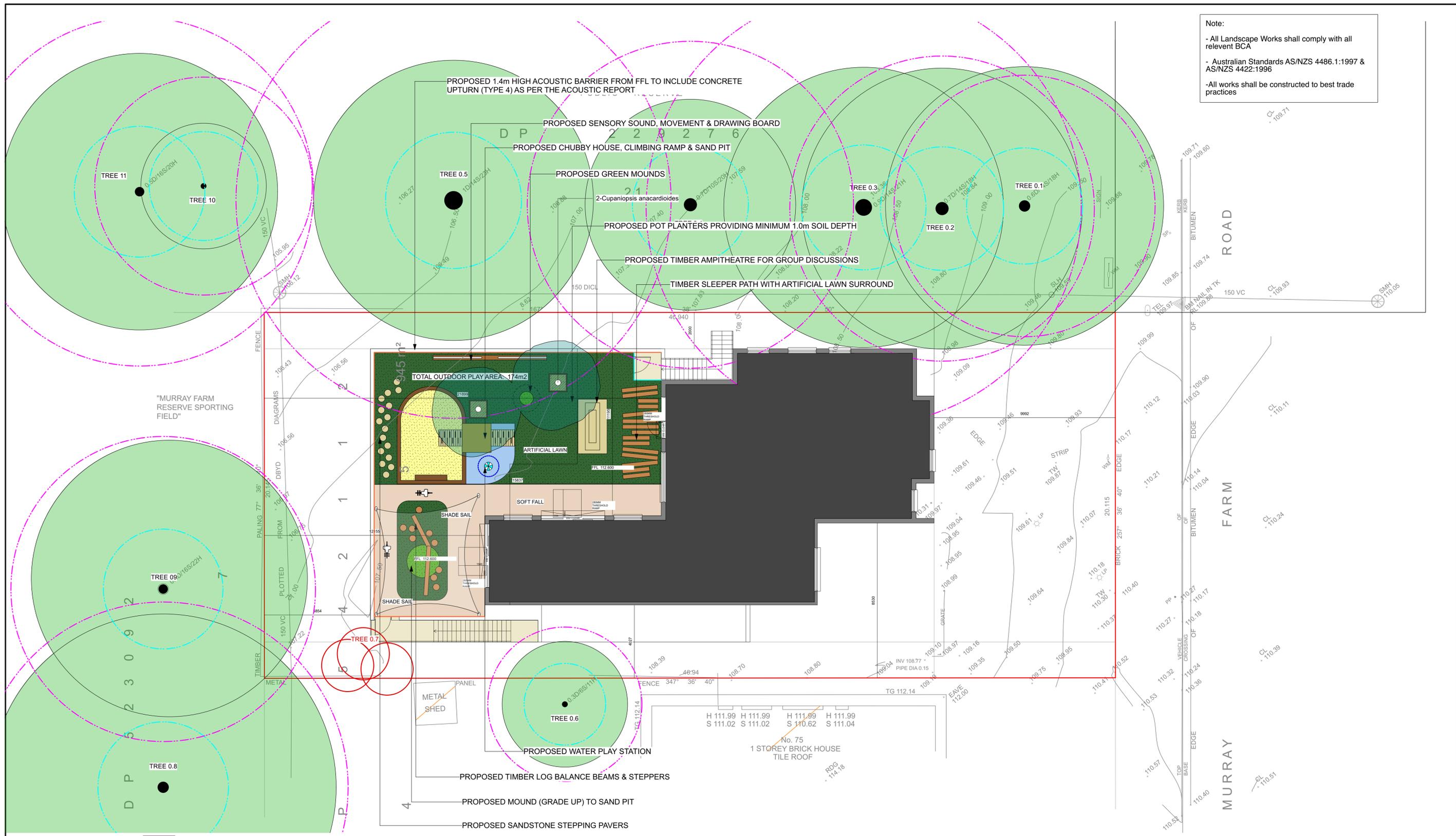
(i) **Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) **Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Legend 	Project <h1>CHILD CARE CENTRE</h1>	Notes 1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work. 2. Do not scale from drawings. 3. If in doubt contact Landscape Architect. 4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects. 5. This plan has been prepared for D.A purposes only. 6. All Building Works shall be installed to Structural Engineers detail	<table border="1"> <thead> <tr> <th>Revision</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>D.A SUBMISSION</td> <td>14.12.2022</td> </tr> <tr> <td>B</td> <td>D.A SUBMISSION - STORMWATER PLAN</td> <td>23.01.2023</td> </tr> <tr> <td>C</td> <td>D.A SUBMISSION - COUNCIL RFI (DL/45/2023)</td> <td>14.02.2023</td> </tr> </tbody> </table>	Revision	Description	Date	A	D.A SUBMISSION	14.12.2022	B	D.A SUBMISSION - STORMWATER PLAN	23.01.2023	C	D.A SUBMISSION - COUNCIL RFI (DL/45/2023)	14.02.2023	<table border="1"> <tr> <td colspan="2">DRAWING PROPOSED COVER SHEET</td> <td>DWG #</td> </tr> <tr> <td colspan="2">ADDRESS 73 MURRAY FARM ROAD, CARLINGFORD</td> <td>L/00</td> </tr> <tr> <td colspan="2"> A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922 </td> <td> DATE # 18.11.2022 SCALE @ A1 1:100 DRAWN JC CHKD JRS PROJECT # </td> </tr> <tr> <td colspan="2"> </td> <td> </td> </tr> </table>	DRAWING PROPOSED COVER SHEET		DWG #	ADDRESS 73 MURRAY FARM ROAD, CARLINGFORD		L/00	A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		DATE # 18.11.2022 SCALE @ A1 1:100 DRAWN JC CHKD JRS PROJECT #			
	Revision	Description	Date																									
A	D.A SUBMISSION	14.12.2022																										
B	D.A SUBMISSION - STORMWATER PLAN	23.01.2023																										
C	D.A SUBMISSION - COUNCIL RFI (DL/45/2023)	14.02.2023																										
DRAWING PROPOSED COVER SHEET		DWG #																										
ADDRESS 73 MURRAY FARM ROAD, CARLINGFORD		L/00																										
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		DATE # 18.11.2022 SCALE @ A1 1:100 DRAWN JC CHKD JRS PROJECT #																										
	Architect <h1>JANSSEN DESIGNS</h1>																											

Note:

- All Landscape Works shall comply with all relevant BCA
- Australian Standards AS/NZS 4486.1:1997 & AS/NZS 4422:1996
- All works shall be constructed to best trade practices



Legend

- PROPOSED PAVED AREA
- PROPOSED TIMBER DECK AREA
- PROPOSED SAND PIT
- ARTIFICIAL LAWN
- PROPOSED GARDEN AREA
- PROPOSED COLOURED CONCRETE DRIVEWAY
- PROPOSED PAVED AREA
- NATURAL LAWN AREA
- PROPOSED SOFT FALL AREA
- PROPOSED TIMBER SLEEPERS
- PROPOSED GREEN MOUNDS
- PROPOSED STEPPING PAVERS
- PROPOSED PLANTER RETAINING WALL
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- PROPOSED TIMBER LOGS
- PROPOSED TYRE OBSTACLE COURSE
- PROPOSED RAISED VEGETABLE BEDS
- PROPOSED POT PLANTER MINIMUM 1.0m SOIL DEPTH
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- PROPOSED 2.1m HIGH ACOUSTIC BARRIER FENCE (TYPE 3)
- PROPOSED 1.4m HIGH ACOUSTIC BARRIER FENCE (TYPE 1)
- PROPOSED 1.8m HIGH ACOUSTIC BARRIER FENCE (TYPE 2)
- PROPOSED 1.4m HIGH ACOUSTIC BARRIER FENCE (TYPE 4)
- BASEMENT LINE
- PIT - REFER TO STORMWATER PLAN FOR DETAILS

NOTE: THE LANDSCAPE DOCUMENTS SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING REPORTS:
 THE NOISE IMPACT ASSESSMENT REPORT PREPARED BY WONGALA CONSULTING ENGINEERS DATED DECEMBER 2022
 THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY CRAIG KENWORTHY DATED NOVEMBER 2022

Project
CHILD CARE CENTRE

Architect
JANSSEN DESIGNS

- Notes**
- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 - Do not scale from drawings.
 - If in doubt contact Landscape Architect.
 - This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.
 - This plan has been prepared for D.A purposes only.
 - All Building Works shall be installed to Structural Engineers detail

Revision	Description	Date
A	D.A SUBMISSION	14.12.2022
B	D.A SUBMISSION - STORMWATER PLAN	23.01.2023
C	D.A SUBMISSION - COUNCIL RFI (DL/45/2023)	14.02.2023

DRAWING
PROPOSED LANDSCAPE & PLANTING PLAN - LEVEL 1

ADDRESS
73 MURRAY FARM ROAD, CARLINGFORD

A Total Concept Landscape Architects & Swimming Pool Designers
 65 West Street, North Sydney NSW 2060
 Tel: (02) 9957 5122 Fx: (02) 9957 5922

DATE # **14.12.2022**
 SCALE @ A1 **1:100**
 DRAWN **JC**
 CHKD **JRS**
 PROJECT #

DWG # **L/02**



TEEPEE



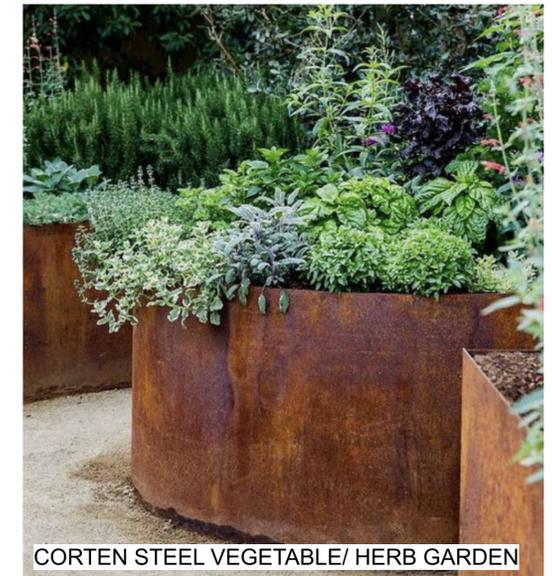
TIMBER WOBBLE BRIDGE



TIMBER WOBBLE PLANK



SOUND SENSORY PANEL



CORTEN STEEL VEGETABLE/ HERB GARDEN



TIMBER ANIMAL LOGS



TIMBER STEPPING LOGS



ACTIVE PLAY EQUIPMENT



ARCHAEOLOGICAL DIG DINOSAUR FOSSIL SAND PIT



LOG TUNNELS



FOOT IMPRINT STEPPING PAVER



TIMBER STEPPING LOGS



TIMBER SLEEPER FENCE



INDIGENOUS TOTEM POLES

Note:
 - All Landscape Works shall comply with all relevant BCA
 - Australian Standards AS/NZS 4486.1:1997 & AS/NZS 4422:1996
 -All works shall be constructed to best trade practices

Project
CHILD CARE CENTRE

Architect
JANSSEN DESIGNS

Notes
 1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 2. Do not scale from drawings.
 3. If in doubt contact Landscape Architect.
 4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.
 5. This plan has been prepared for D.A purposes only.
 6. All Building Works shall be installed to Structural Engineers detail

Revision	Description	Date
A	D.A SUBMISSION	14.12.2022
B	D.A SUBMISSION - STORMWATER PLAN	23.01.2023
C	D.A SUBMISSION - COUNCIL RFI (DL/45/2023)	14.02.2023

DRAWING
CONCEPT MATERIALS BOARD

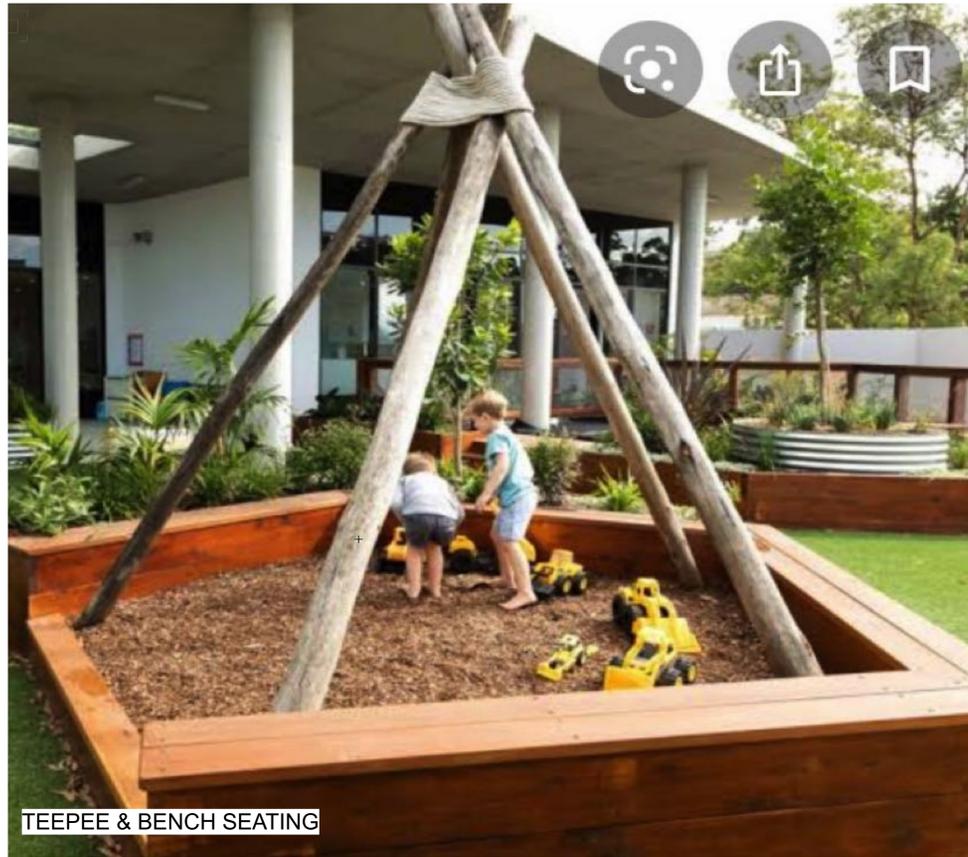
ADDRESS
73 MURRAY FARM ROAD, CARLINGFORD

A Total Concept Landscape Architects & Swimming Pool Designers
 65 West Street, North Sydney NSW 2060
 Tel: (02) 9957 5122 Fx: (02) 9957 5922

DATE # **18.11.2022**
 SCALE @ A1 **1:100**
 DRAWN **JC**
 CHKD **JRS**
 PROJECT #

DWG # **L/03**





TEEPEE & BENCH SEATING



ACTIVE PLAY EQUIPMENT



FIXED TIMBER BRIDGE



GREEN MOUNDS



MOVEMENT SENSORY PANEL



WATER PUMP & WATER RILL



SHADE SAIL



ARTIFICIAL LAWN

Note:

- All Landscape Works shall comply with all relevant BCA
- Australian Standards AS/NZS 4486.1:1997 & AS/NZS 4422:1996
- All works shall be constructed to best trade practices

Project

CHILD CARE CENTRE

Architect

JANSSEN DESIGNS

Notes

1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. Do not scale from drawings.
3. If in doubt contact Landscape Architect.
4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.
5. This plan has been prepared for D.A purposes only.
6. All Building Works shall be installed to Structural Engineers detail

Revision	Description	Date
A	D.A SUBMISSION	14.12.2022
B	D.A SUBMISSION - STORMWATER PLAN	23.01.2023
C	D.A SUBMISSION - COUNCIL RFI (DL/45/2023)	14.02.2023

DRAWING		CONCEPT MATERIALS BOARD	
ADDRESS		73 MURRAY FARM ROAD, CARLINGFORD	
DATE #	18.11.2022	DWG #	L/04
SCALE @ A1	1:100	DRAWN	JC
CHKD	JRS	PROJECT #	
 a total concept landscape architects & swimming pool designers			

STORMWATER MANAGEMENT PLAN

PROPOSED CHILD CARE CENTRE

No.73 MURRAY FARM ROAD, CARLINGFORD

GENERAL NOTES:

- THESE PLANS REMAIN THE PROPERTY OF NY CIVIL ENGINEERING PTY LTD AND ARE SUBJECT TO COPYRIGHT
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. ALL REDUCED LEVELS (SURFACE LEVELS, INVERT LEVELS) AND CHAINAGES ARE IN METERS UNLESS OTHERWISE STATED. DO NOT SCALE OFF THE DRAWINGS, SCALES ARE AS SHOWN, USE FIGURED DIMENSIONS.
- THIS PLAN IS TO BE READ IN JUNCTION WITH LATEST ARCHITECTURAL, STRUCTURAL, UTILITY AND LANDSCAPE PLANS IN ADDITION TO ANY RELEVANT GEOTECHNICAL, SOIL CLASSIFICATION OR REF/ENVIRONMENTAL REPORTS. ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- ALL WORKS SHALL BE CARRIED OUT TO LOCAL COUNCIL'S DEVELOPMENT CONTROL PLAN AND SPECIFICATIONS, ASINZS 3500.3 AND B.C.A.
- ALL LEVELS SHALL RELATE TO THE ESTABLISHED BM, PM AND/OR LM. ALL EXISTING SERVICES ARE TO BE VERIFIED FOR LOCATION AND DEPTH PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCIES OF SERVICE LEVELS QUOTED ON THIS PLAN. ALL SURVEY INFORMATION, BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF WORKS. NO TREES SHALL BE REMOVED WITHOUT THE WRITTEN PERMISSION OF COUNCIL.
- THE CONTRACTOR SHALL TAKE ALL DUE CARE TO USE THE ABSOLUTE MINIMUM AREA FOR CONSTRUCTION AND THAT NO UNDUE DAMAGE IS DONE TO THE EXISTING VEGETATION.
- THE CONTRACTOR SHALL COMPLY WITH CONDITIONS, AND SPECIFICATION OF COUNCIL AND ALL ACTS OF THE NSW EPA.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE CARE TO PROTECT EXISTING SERVICES. DAMAGED SERVICES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING WORK.
- SUITABLE WARNING SIGNS AND BARRICADES ARE TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AND AS DIRECTED BY THE RELEVANT AUTHORITY.
- SERVICES SHOWN ARE INDICATIVE ONLY FROM AVAILABLE INFORMATION AND THE TIME OF SITE INVESTIGATION (IF ANY). THE BUILDER IS TO NOTIFY ENGINEER OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- RESTORE ALL TRAFFIC AREAS TO PRE EXISTING CONDITION. FOR ALL SURFACES OTHER THAN IN TRAFFIC AREAS RESTORE DISTURBED SURFACES TO PRE-EXISTING CONDITION AND COMPACT AS SPECIFIED.
- RESTORE ALL AUTHORITY OWNED AREAS TO COUNCIL AND/OR AUTHORITY STANDARD AND SPECIFICATION.
- THE WORK AS CONSTRUCTED WORKS SHALL BE INSPECTED BY THE ENGINEER, MINIMUM 48 HOURS NOTICE SHALL BE PROVIDED FOR ALL INSPECTION REQUESTS.
- THE DESIGN PLANS HEREIN ARE SUBJECT TO COUNCIL APPROVAL PRIOR TO CONSTRUCTION.
- WORK AS CONSTRUCTED DRAWINGS TO BE REQUESTED AND RECEIVED IN CAD/DWG FILE TYPE AND HARD COPY 'RED LINE' MARKUP FROM CONSTRUCTOR FOR VERIFICATION AND CERTIFICATION.

ROOF STORMWATER DRAINAGE NOTES:

- ALL DOWN PIPES TO BE MINIMUM DN90 OR 100x50MM FOR GUTTERS SLOPE 1:500 AND STEEPER AS PER AS 3500.3 - 3.7.8
- ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3.
- ALL DOWNPIPES TO BE FITTED VERTICALLY TO THE SOLE OF EAVES GUTTERS, RAINHEAD AND/OR SUMP.
- ALL DOWNPIPES TO DRAIN INTO RAINWATER TANK AND OR PIT PRIOR TO DISCHARGE OFFSITE UNLESS PRIOR APPROVAL IS OBTAINED FROM COUNCIL IN WRITING OR NOTED OTHERWISE ON THIS PLAN.
- ALL EAVES GUTTERS TO BE SIZED FOR ARI 20 - AS PER AS 3500.3 - 3.5 AND APPENDIX H.
- ROOF DRAINAGE INSTALLATION TO BE IN ACCORDANCE TO AS 3500.3 SECTION 4.

STORMWATER DRAINAGE NOTES:

PIPE SIZE:

- THE MINIMUM PIPE SIZE SHALL BE:
 - DN90 FOR ALL DOWNPIPES;
 - DN100 WHERE THE LINE ONLY RECEIVES ROOF STORMWATER RUNOFF, OR;
 - DN100 WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS.

PIPE GRADE:

- THE MINIMUM PIPE GRADE SHALL BE:
 - FOR DN100 - DN150 - 1.00%
 - FOR DN225 - 0.50%
 - FOR DN300 - 0.45%
 - FOR DN375 - 0.35%

STANDARD COVER:

- MINIMUM PIPE COVER FOR PVC PIPES SHALL BE AS PER AS 3500.3 TABLE 6.2.5:
 - NOT SUBJECT TO VEHICULAR LOADING:
 - WITHOUT PAVEMENT SINGLE DWELLINGS - 100mm
 - WITHOUT PAVEMENT OTHER THAN SINGLE DWELLINGS - 300mm
 - WITH PAVEMENT (BRICK/PAVERS) AND/OR UNREINFORCED CONCRETE - 100mm
 - SUBJECT TO VEHICULAR LOADING:
 - ROADS (SEALED) - 600mm
 - ROADS (UNSEALED) - 750mm
 - OTHER THAN ROADS (WITH PAVEMENT) - 100mm
 - OTHER THAN ROADS (WITHOUT PAVEMENT) - 450mm

PIPE INSTALLATION

- PIPES AND FITTINGS FOR STORMWATER DRAINAGE SHALL BE AS FOLLOWS:
 - FOR PIPE SIZES UP TO DN225 - PVC WITH SOLVENT WELDED JOINTS (IN GROUND).
 - FOR PIPE SIZES GREATER THAN DN225 - RCP WITH RUBBER RING JOINTS.
 - FOR LARGER PIPE DEPTHS AS SPECIFIED IN AS 3500.3 - RCP WITH RUBBER RING JOINTS.
 - FOR PIPES AND FITTINGS FOR SUBSOIL DRAINAGE SHALL BE SLOTTED PVS WITH SOLVENT WELDED JOINTS MINIMUM DN150.
- FOR GRATED DRAINS SHALL BE MINIMUM DN150 IN NON-TRAFFICABLE ZONES AND DN225 IN TRAFFICABLE ZONES.
- LAY AND JOINT ALL PIPES IN ACCORDANCE WITH THE MANUFACTURING RECOMMENDATIONS AND:
 - AS 3725-1989 - LOADS ON BURIED CONCRETE PIPES
 - AS 2566 - 1988 - BURIED FLEXIBLE PIPELINES
 - AS 1597.2 - 1996 - PRECAST REINFORCED CONCRETE BOX CULVERTS
 - AS 3500 - 1990 NATIONAL PLUMBING AND DRAINAGE CODE - PART 2 SANITARY PLUMBING AND SANITARY DRAINAGE - SYDNEY WATER REQUIREMENTS.
- ALLOW TO TEST ALL PIPES AND PITS TO MANUFACTURERS REQUIREMENTS.

CONNECTIONS TO STORMWATER SYSTEMS UNDER BUILDINGS:

IN ACCORDANCE WITH AS 3500.3 SECTION 9.2

CONNECTIONS TO COUNCIL STORMWATER SYSTEMS:

CONNECTION TO COUNCIL STORMWATER SYSTEM TO BE IN ACCORDANCE TO LOCAL COUNCIL DCP AND STANDARDS. NO CONNECTIONS TO BE MADE UNTIL PROPER PERMIT/APPROVALS ARE OBTAINED FROM LOCAL COUNCIL IN WRITING.

WARNING:

EXISTING SERVICES SHOWN ON THESE PLANS ARE NOT GUARANTEED COMPLETE OR CORRECT AND FURTHER INFORMATION IS REQUIRED FROM THE RELEVANT AUTHORITY AND FIELD INVESTIGATION AND ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

LEGEND

SURFACE INLET PIT		GRADED TRENCH DRAIN	
SURFACE INLET PIT (WITH ENVIROPOD 200 MICRON)		ABSORPTION TRENCH	
ACCESS GRATE (WITH GROSS POLLUTANT TRAP)		PROPOSED ROOF GUTTER FALL	
450 SQUARE INTERVAL	450 X 450	PROPOSED DOWNPIPE SPREADER	
GRATE LEVEL = 75.50	SL 75.50	STORMWATER PIPE 100mm DIA. MIN. UNO	
INVERT LEVEL = RL 75.20	IL 75.20	SUBSOIL PIPE	
PROPOSED DOWNPIPE 90mm DIA. OR 100mm x 50mm MIN.		EXISTING STORMWATER PIPE	
NATURAL GROUND FINISHED DESIGN LEVEL		INSPECTION RISER	
		RAINWATER HEAD	

STORMWATER PIT/STRUCTURES NOTES:

PIT SIZES AND DEPTHS:

- PIT SIZES WILL BE AS FOLLOWS:

DEPTH (mm)	MIN. PIT SIZE (mm)
UP TO 450	350x350
450 - 600	450x450
600 - 900	600x600
900 - 1200	600x900
1200+	900x900 (WITH STEP IRONS)

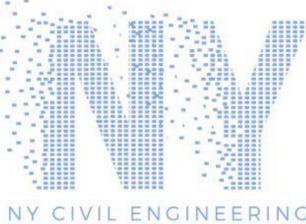
PIT DESIGNS:

- TRENCH DRAINS: CONTINUOUS TRENCH DRAINS ARE TO BE MIN. DN150 AND MIN. 100mm DEPTH. THE BARS OF THE GRATE ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.
- STEP IRONS: PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS 1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.
- PLASTIC/PVC PITS: PVC PITS WILL ONLY BE PERMITTED IF THEY ARE MAX. 450x450 AND MAX. 450mm DEPTH AS WELL AS BEING HEAVY DUTY.
- IN-SITU PITS: IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CLAUSE 4.6.3 OF AS 3500.4. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.
- GRATES: GRATES ARE TO BE GALVANIZED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

INSTALLATION NOTES:

- ALL PIPES INTO PITS TO BE CUT FLUSH WITH PIT WALL.
- ALL PITS THAT ARE INSTALLED AT GREATER THAN 600mm DEEP TO BE MIN. 600x600 PIT.
- GRATED COVERS ON PITS GREATER THAN 600mm TO BE HINGED.
- BASE OF PIT TO BE SAME LEVEL OF INVERT OF OUTLET.
- OUTLET PIPE FROM ANY PIT TO BE 20mm LOWER THAN INLET PIPE/S

APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE	SHEET SIZE	JOB REFERENCE
 NADER ZAKI MIEAust CPEng NER	A	SR	ISSUED FOR DA	16.12.2022	PROJECT TITLE PROPOSED CHILD CARE CENTRE No.73 MURRAY FARM ROAD CARLINGFORD	A1	E220645
	B	SR	WSUD ADDITION	16.02.2023		SR	
						YR	DRAWING No. D1
						B	No. IN SET 7
						AS NOTED	



T 0413 942 613
 E admin@nycivilengineering.com.au
 W www.nycivilengineering.com.au

DRAINAGE PIPE LEGEND	
EXISTING STORMWATER PIPE	---
DRAINAGE PIPES TO RAINWATER TANK	---
DRAINAGE PIPES VIA GRAVITY	---
CHARGED DRAINAGE PIPES	---
65mm DIA CLASS 12 PUMP LINE	---

NOTE: ALL IN GROUND PIPES TO BE 100mm DIA PVC UNO

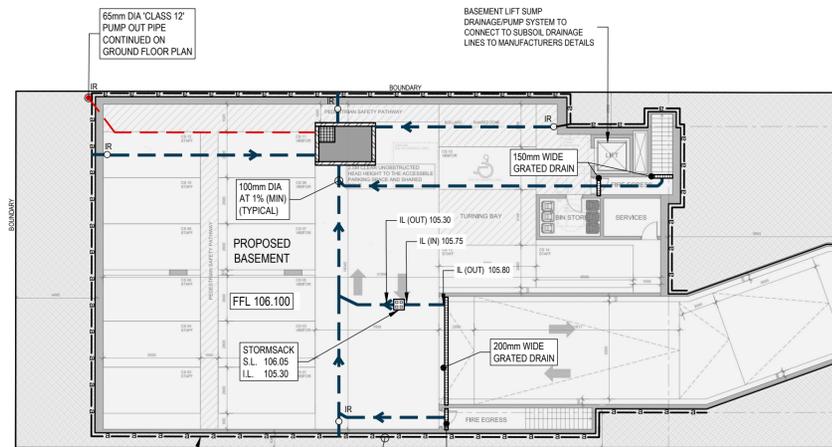
NOTE: 150mm GRATED DRAINS UNO

NOTE: ENSURE ANY PROPOSED PAVING IS GRADED SO THAT IT IS NOT IMPACTING ADJOINING PROPERTIES.

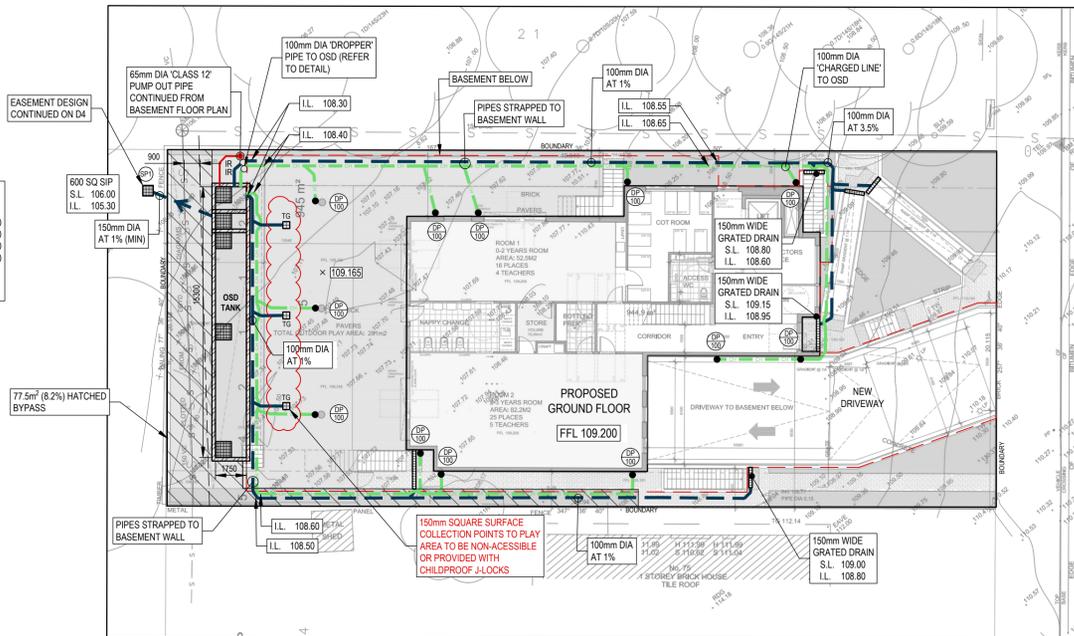
INSPECTION RISER (IR)
PROVIDE 'SCREW CAP' INSPECTION RISER AT LOWEST POINT OF 'CHARGED LINES'

OSD WARRANT
LGA: PARRAMATTA COUNCIL
SOURCE: UPRCT 4th Edn, SECTION 3.4.1
DEVELOPMENTS TO WHICH OSD APPLIES:
• ALL COMMERCIAL, INDUSTRIAL AND SPECIAL-USE DEVELOPMENTS AND BUILDINGS
THEREFORE, OSD IS REQUIRED

On-Site Detention Calculations		(Upper Parramatta River Catchment Trust)	
Project:	Proposed Childcare Centre		
Our Job No:	E220645		
Location:	No. 73 Murray Farm Road, Carlingford		
SITE AREA	0.09449 ha		[A]
Basic storage volume = $470 \times [A]$	44.41 m ³		[B]
Basic discharge = $0.080 \times [A]$	0.00756 m ³ /s		[C]
Area of site drained to storage	0.08674 ha		[D]
% Drained to storage = $D / [A] \times 100$	91.8 %		[E]
Storage per ha. of contributing area = $[B] / [D]$	512 m ³ /ha		[F]
Enter volume/PSD adjustment chart (Fig 5.1) using [F], and read new PSD in litres/second/ha	71.8 l/s/ha		[G]
Determine PSD = $[G] \times [D]$	6.23 l/s		[H]
Maximum head to orifice centre	1.825 m		[I]
Selected orifice diameter $d = (0.464 \times Q / \sqrt{PSD})^{0.5}$	0.048 m		[J]
Maximum discharge	6.23 l/s		[K]
Head for high early discharge	1.725 m		[L]
High early discharge $(L) \times \sqrt{PSD} / (M) / (K)$ (min 75% of [L])	6.05 l/s		[M]
Approximate mean discharge = $([L] + [M]) / 2$	6.14 l/s		[N]
Average discharge/ha = $[N] / [D]$	70.80 l/s/ha		[O]
Enter volume/P.S.D. adjustment chart (Fig 5.1) using [O], and read off final storage volume per hectare	517 m ³ /ha		[P]
Determine final SSR = $[P] \times [D]$	44.87 m ³		[Q]
Primary storage proportion = $[Q] \times 100 \%$	44.87 %		[R]
Secondary storage proportion = $[S] \times 0 \%$	0.00 %		[U]
Tertiary storage proportion = $[S] \times 0 \%$	0.00 %		[V]
Final Site Storage required	44.87 m ³		[W]
Actual Volume provided (as a result of pump-out system)	46.85 m ³		104%
Designed:	NY CIVIL ENGINEERING - YOUSSEF RIAJ		
Date:	24.11.2022		



BASEMENT FLOOR PLAN
1:200

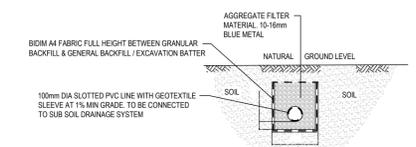
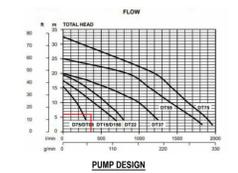


GROUND FLOOR PLAN
1:200

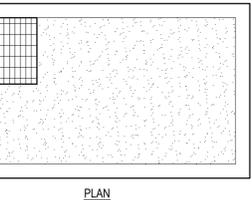
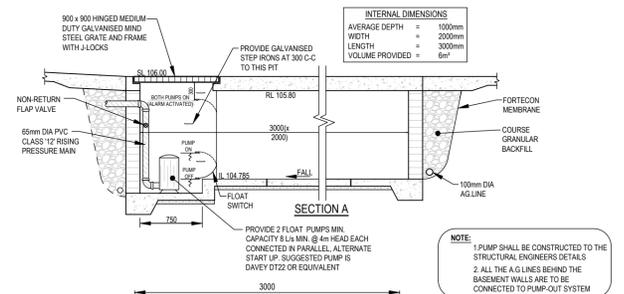
BELOW GROUND OSD TANK	
SURFACE LEVEL	RL 108.10
T.W.L	RL 107.50
HED LEVEL	RL 107.40
INVERT LEVEL	RL 105.60
SURFACE AREA	26.77m ²
AVERAGE DEPTH	1.75m
STORAGE VOLUME	46.85m ³

PUMP-OUT CALCULATIONS	
PROPOSED RISING MAIN PIPE DIAMETER:	65mm DIA uPVC 'PRESSURE PIPE' CLASS '12'
HEAD LOSS	
• STATIC	= 1.00 m (approx)
• PIPE FRICTION	= 0.5 m
• FITTINGS	= 0.5 m
• TOTAL	= 2.00 m
PUMP DUTY:	5 l/s AT 4.0 m HEAD
PUMP TYPE:	SUBMERSIBLE EQUAL TO DAVEY D150 2.2 KW, 240 V, OR EQUIVALENT.
USE TWO (2) x PUMPS TO OPERATE	
ALTERNATIVELY	AS PER AS3500.3.
PUMP CONTROL:	AUTOMATIC WITH FLOAT SWITCHES

PUMP OUT SYSTEM	
• DESIGN STORM	10 ARI 2hr (I = 29 mm/hr)
• AREA TO PUMP	APPROX 100m ²
• MAX FLOW	$0.0100 \times 240 \times 29 = 6.66 \text{ l/s}$
• DESIGN FLOW	$0.0100 \times 29 \times 360 = 0.81 \text{ l/s}$
• DESIGN VOLUME	$0.81 \text{ l/s} \times 60 \text{ s} \times 120 \text{ min} = 5,832 \text{ L}$
THEREFORE PROVIDE MINIMUM 5.85m ³ HOLDING TANK	
PUMP OUT PSD 10L/s (AS PER AS 3500.3)	
PROVIDE DUAL PUMPS WITH MINIMUM DISCHARGE RATE OF 5 l/s EACH. REFER TO DETAIL	



SUB-SOIL DRAINAGE (AG. LINE)
NTS



PUMP HOLDING TANK
NTS

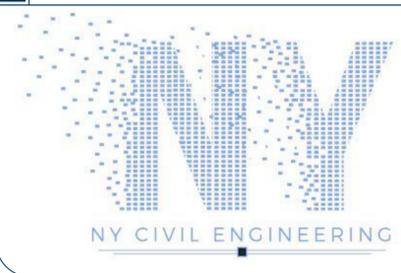
STANDARD PUMP OUT DESIGN NOTES:

THE PUMP OUT SYSTEM SHALL BE DESIGNED TO OPERATE IN THE FOLLOWING MANNER:

- THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
- A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THE FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS.
- A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE AND DRAIN THE TANK TO THE LEVEL OF THE LOW-LEVEL FLOAT.
- A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
- AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.



PLANS ARE FOR CONCEPT ONLY AND NOT FOR CONSTRUCTION



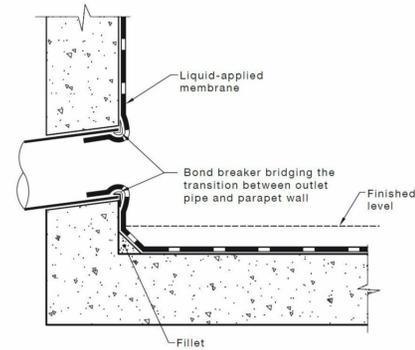
APPROVED BY
NADER ZAKI
MIEAust CPEng NER

T 0413 942 613
E admin@nycivilengineering.com.au
W www.nycivilengineering.com.au

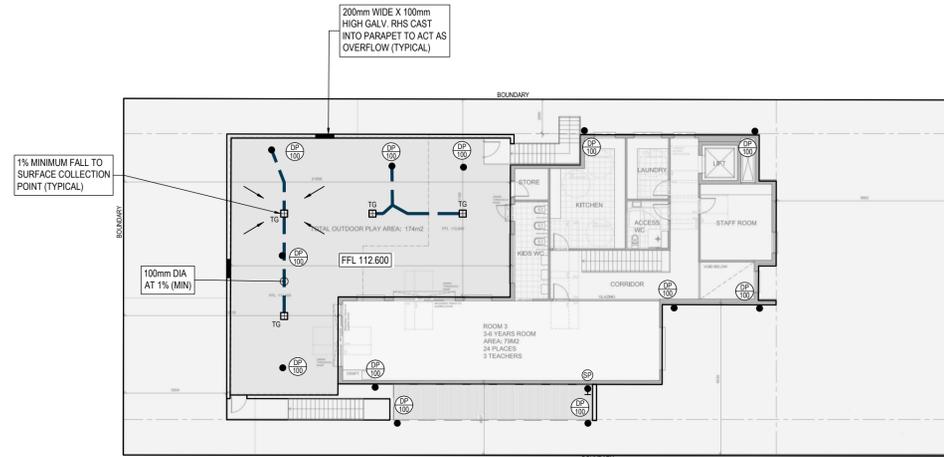
REVISION	DRAWN	DESCRIPTION	DATE
A	SR	ISSUED FOR DA	16.12.2022
B	SR	WSUD ADDITION	16.02.2023

DRAWING TITLE	
STORMWATER MANAGEMENT PLAN	
BASEMENT/SITE PLAN	
PROJECT TITLE	
PROPOSED CHILD CARE CENTRE	
No.73 MURRAY FARM ROAD	
CARLINGFORD	

SHEET SIZE	A1	JOB REFERENCE	E220645
DESIGNED	SR	DRAWING No.	D2
CHECKED	YR	No. IN SET	7
ISSUE	B		
SCALE	1:200		



PARAPET OVERFLOW - AS4654.2
NTS

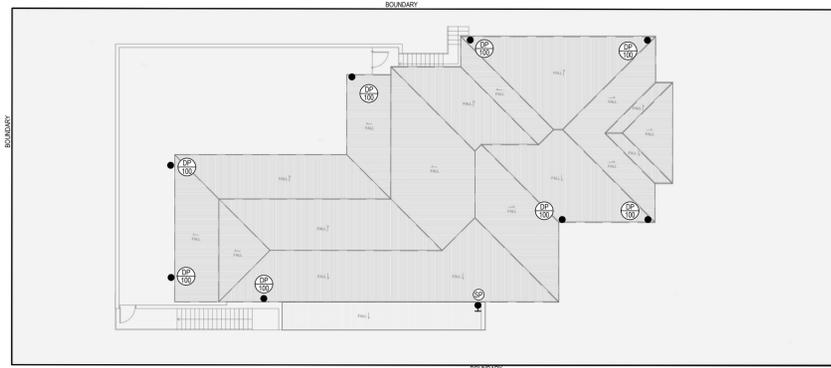


FIRST FLOOR PLAN
1:200

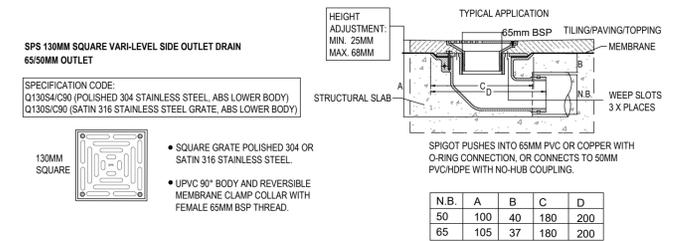
ROOF DRAINAGE

- GUTTERING - CROSS SECTIONAL AREA OF GUTTER TO BE GREATER THAN 6500mm²
- DOWN PIPES - 100mm DIA PVC OR COLORBOND

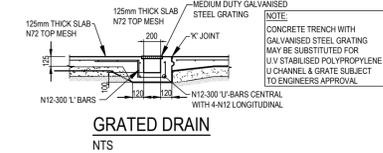
NOTE: ROOF DESIGNED TO 1% AEP INTENSITY 209 mm/hr



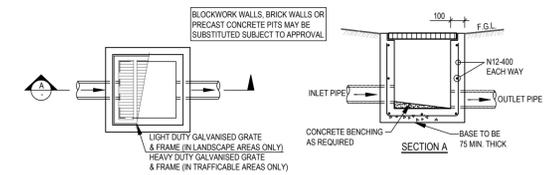
ROOF PLAN
1:200



TERRACE GRATE (SPS) - TG
NTS

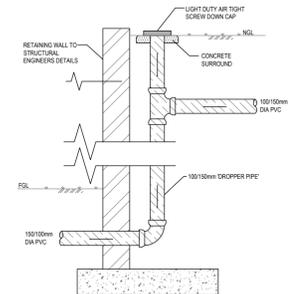


GRADED DRAIN
NTS



TYPICAL PIT
NTS

NOTE: ALL PROPOSED SITE PITS ARE TO BE CONSTRUCTED IN CONCRETE CAST IN SITU. PLASTIC OR BRICK PITS ARE NOT ACCEPTABLE. HOWEVER, COUNCIL MAY CONSIDER PRE-CAST UNITS IF THE UNITS ARE PLACED ON A SOLID BASE OF GRAVEL OR CONCRETE OF 75mm THICK AND BACKFILL UP TO HALF THE DEPTH OF THE PIT SURROUND WITH CONCRETE.

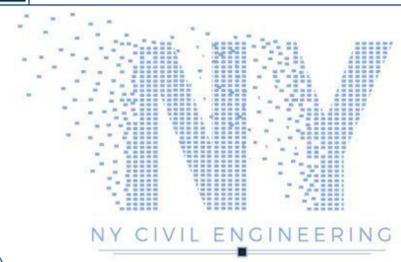


INSPECTION RISER - 'DROPPER PIPE'
NTS

STORMWATER DETAILS



PLANS ARE FOR CONCEPT ONLY
AND NOT FOR CONSTRUCTION



APPROVED BY
NADER ZAKI
MIEAust CPEng NER

NZ

T 0413 942 613
E admin@nycivilengineering.com.au
W www.nycivilengineering.com.au

REVISION	DRAWN	DESCRIPTION	DATE
A	SR	ISSUED FOR DA	16.12.2022
B	SR	WSUD ADDITION	16.02.2023

DRAWING TITLE	
STORMWATER MANAGEMENT PLAN FIRST FLOOR/ROOF PLAN	
PROJECT TITLE	
PROPOSED CHILD CARE CENTRE No.73 MURRAY FARM ROAD CARLINGFORD	

SHEET SIZE	A1	JOB REFERENCE	E220645
DESIGNED	SR	DRAWING No.	D3
CHECKED	YR	No. IN SET	7
ISSUE	B		
SCALE	1:200		



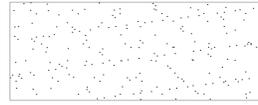
- PAVEMENT TO STORMSACK AND STORMFILTER CHAMBER - 102m²



- ROOF TO STORMFILTER CHAMBER - 331m²



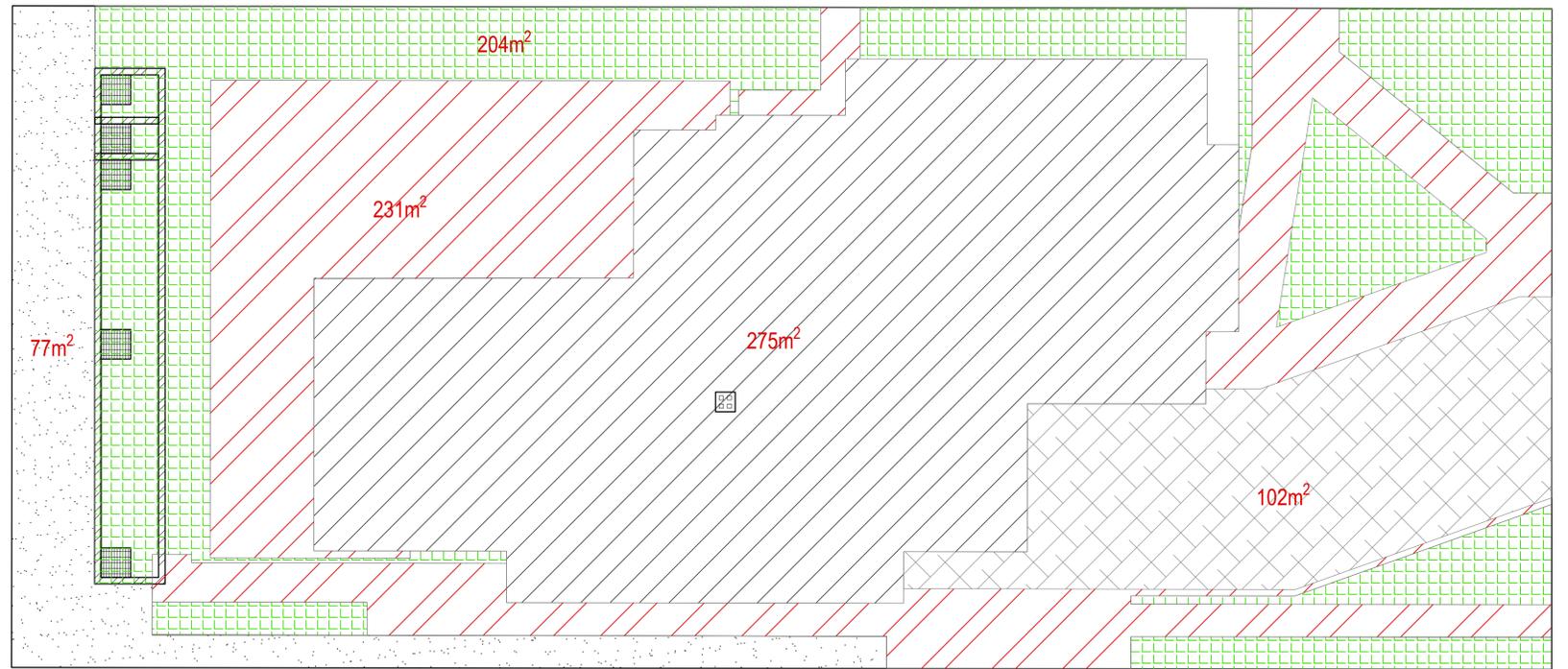
- PERVIOUS AREA DRAINING TO STORMFILTER CHAMBER - 204m²



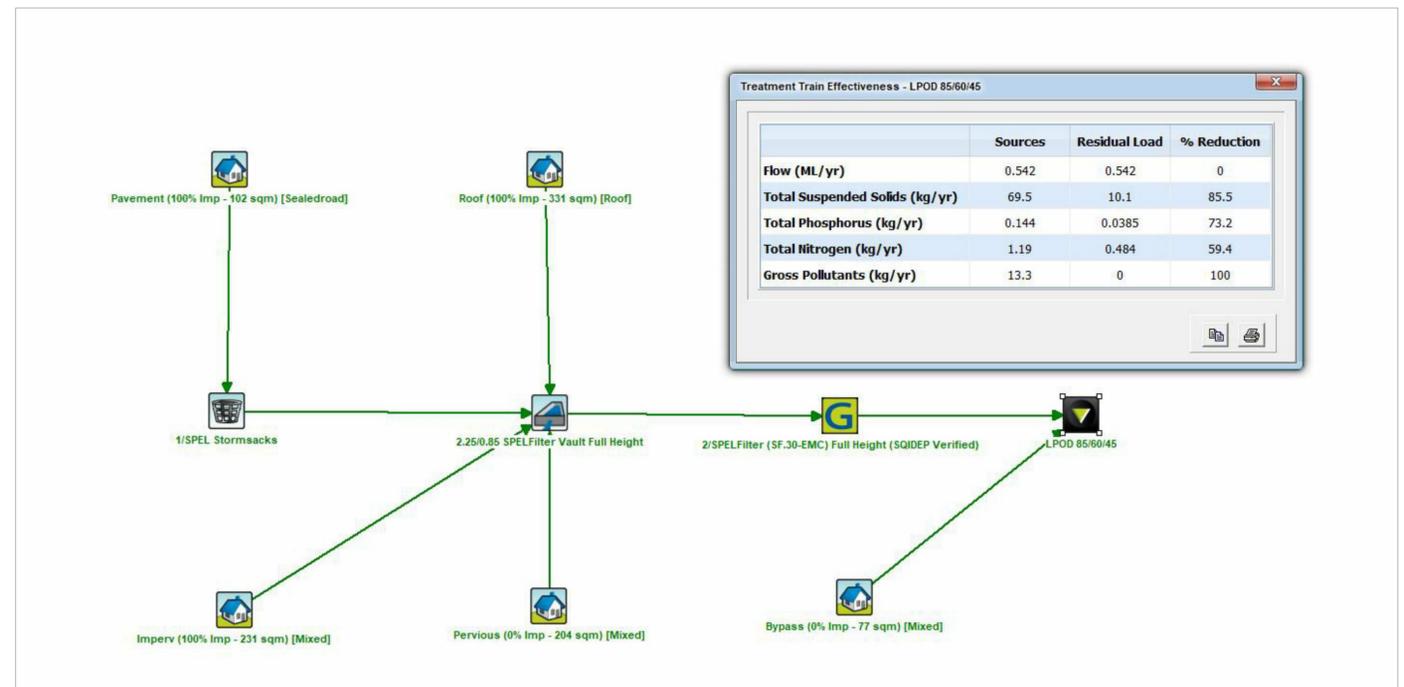
- PERVIOUS AREA DRAINING TO BYPASS OSD - 77m²



- IMPERVIOUS AREA DRAINING TO STORMFILTER CHAMBER - 231m²



WSUD CATCHMNET PLAN



Treatment Train Effectiveness - LPOD 85/60/45			
	Sources	Residual Load	% Reduction
Flow (ML/yr)	0.542	0.542	0
Total Suspended Solids (kg/yr)	69.5	10.1	85.5
Total Phosphorus (kg/yr)	0.144	0.0385	73.2
Total Nitrogen (kg/yr)	1.19	0.484	59.4
Gross Pollutants (kg/yr)	13.3	0	100

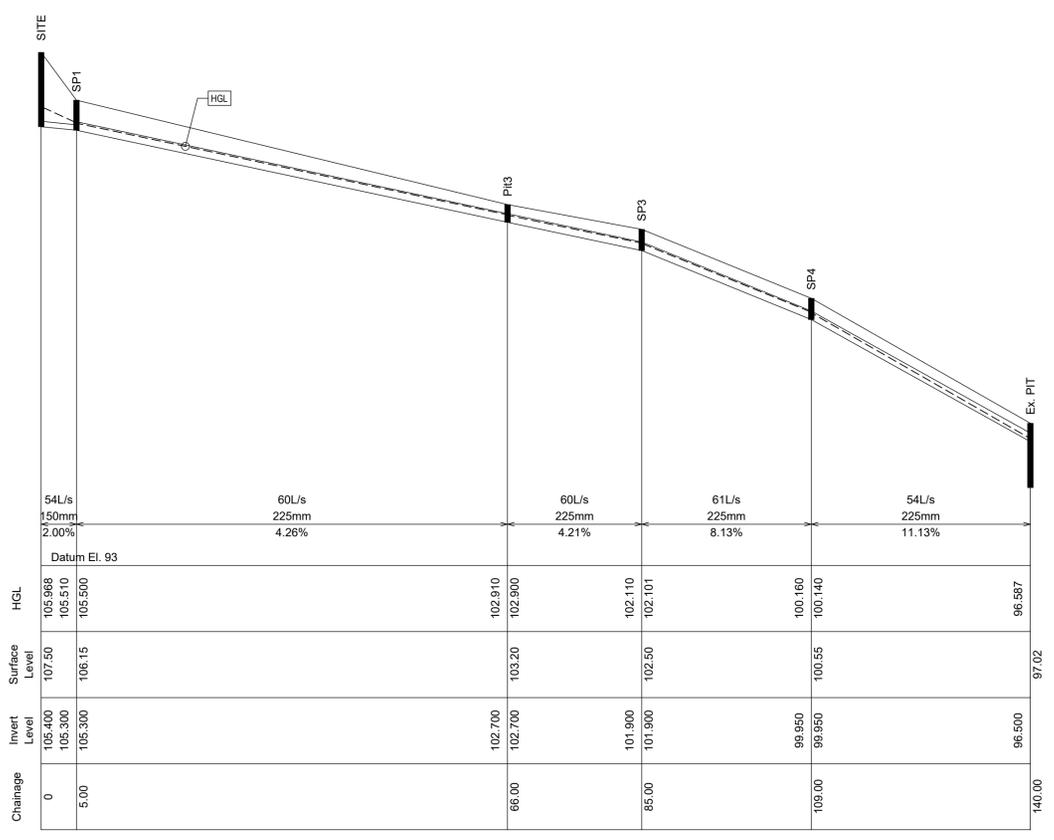
MUSIC RESULTS



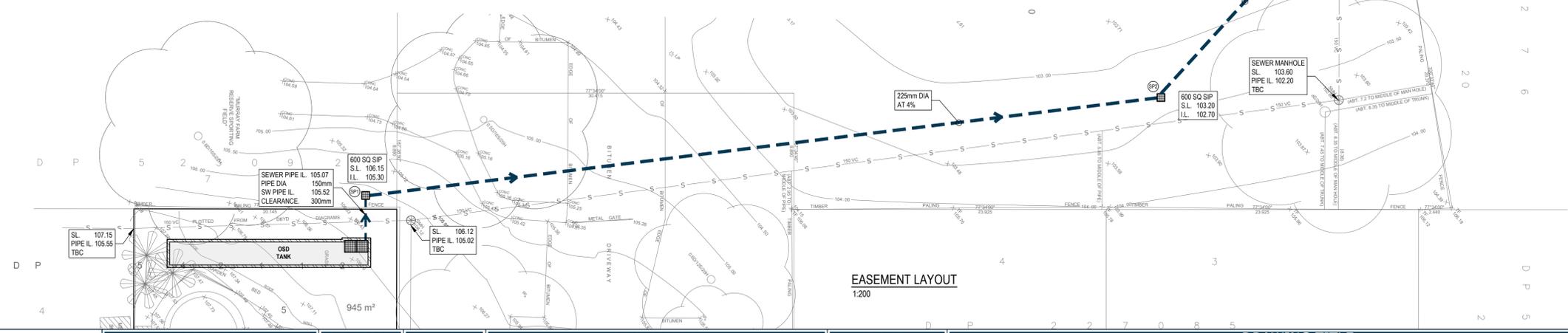
APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE
NADER ZAKI MIEAust CPEng NER 	A	SR	ISSUED FOR DA	16.12.2022
	B	SR	WSUD ADDITION	16.02.2023
T 0413 942 613				
E admin@nycivilengineering.com.au				
W www.nycivilengineering.com.au				

DRAWING TITLE	
WSUD PLAN	
PROJECT TITLE	
PROPOSED CHILD CARE CENTRE No.73 MURRAY FARM ROAD CARLINGFORD	

SHEET SIZE	A1	JOB REFERENCE	E220645
DESIGNED	SR	DRAWING No.	D4
CHECKED	YR	No. IN SET	7
ISSUE	B		
SCALE	1:100		



1% AEP EASEMENT HGL LONGSECTION
H 1:500
V 1:100



EASEMENT LAYOUT
1:200



PLANS ARE FOR CONCEPT ONLY
AND NOT FOR CONSTRUCTION

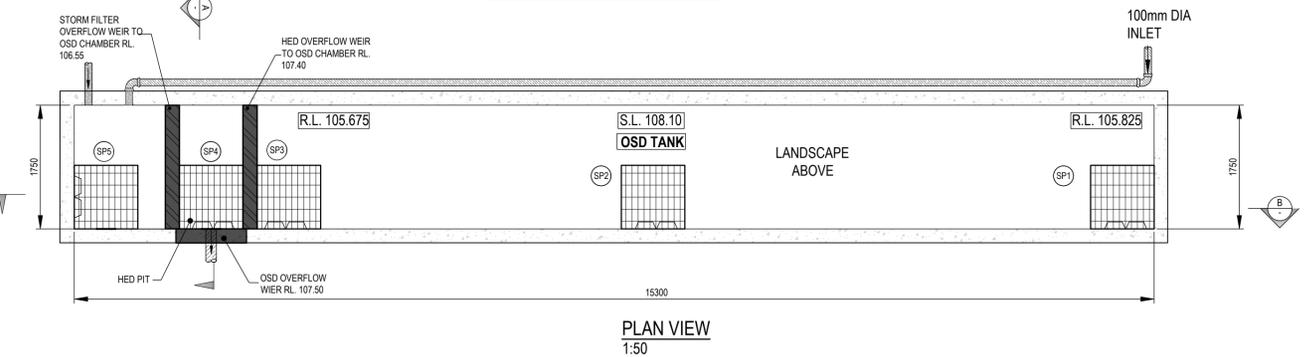


APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE
NADER ZAKI MIEAust CPEng NER 	A	SR	ISSUED FOR DA	16.12.2022
	B	SR	WSUD ADDITION	16.02.2023
T 0413 942 613				
E admin@nycivilengineering.com.au				
W www.nycivilengineering.com.au				

DRAWING TITLE	
STORMWATER MANAGEMENT PLAN EASEMENT LAYOUT	
PROJECT TITLE	
PROPOSED CHILD CARE CENTRE No.73 MURRAY FARM ROAD CARLINGFORD	

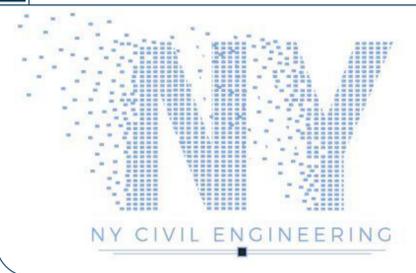
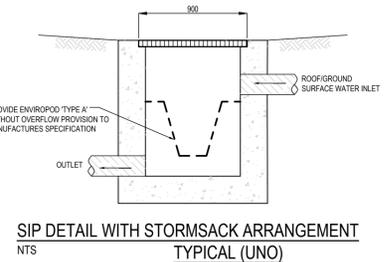
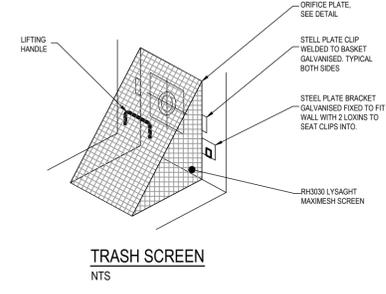
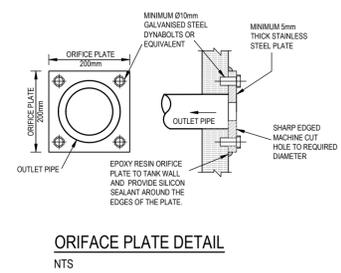
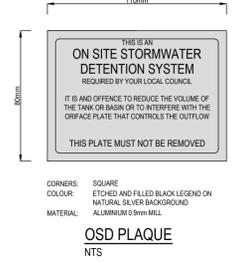
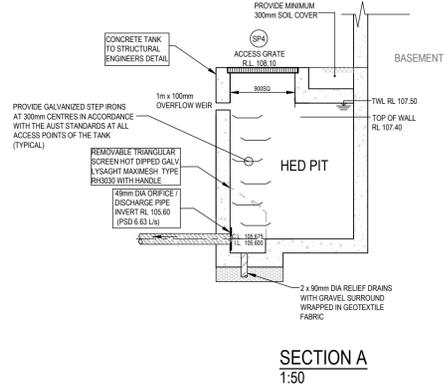
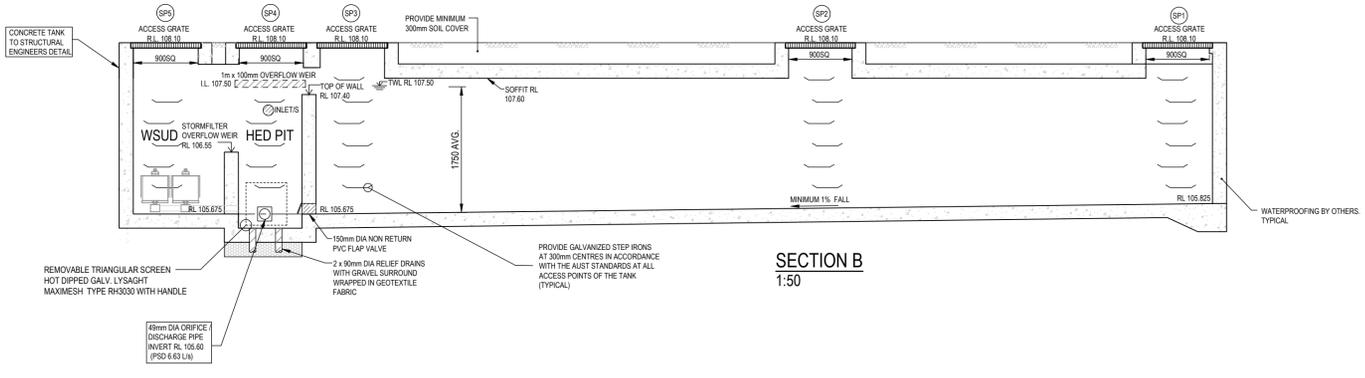
SHEET SIZE	A1	JOB REFERENCE	E220645
DESIGNED	SR	DRAWING No.	D5
CHECKED	YR	No. IN SET	7
ISSUE	B		
SCALE	1:200		

NOTE:
ALL SURFACE DRAINAGE TO CONNECT DIRECTLY TO STORMFILTER



CALCULATIONS (OVERFLOW WIER FROM OSD):

AREA DETAINED TO OSD TANK = 890 m²
 MAX FLOW FROM DETENTION TANK (1.00 x 209 x 0.0890/360) = 0.052 m³/s
 CAPACITY OF WIER (1.7 x 1.00 x 0.10^{1.5}) = 0.054 m³/s



APPROVED BY
NADER ZAKI
MIEAust CPEng NER

T 0413 942 613
E admin@nycivilengineering.com.au
W www.nycivilengineering.com.au

REVISION	DRAWN	DESCRIPTION	DATE
A	SR	ISSUED FOR DA	16.12.2022
B	SR	WSUD ADDITION	16.02.2023

DRAWING TITLE
OSD STORMWATER DETAILS

PROJECT TITLE
**PROPOSED CHILD CARE CENTRE
No.73 MURRAY FARM ROAD
CARLINGFORD**

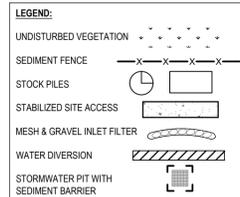
SHEET SIZE	A1	JOB REFERENCE	E220645
DESIGNED	SR	DRAWING No.	D6
CHECKED	YR	No. IN SET	7
ISSUE	B		
SCALE	AS NOTED		

DUST CONTROL:

NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBORHOOD.

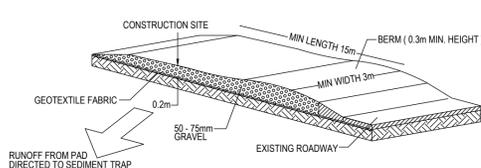
THE FOLLOWING MEASURES MUST BE ADOPTED:

- PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
- EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
- ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
- THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUN-OFF OCCURS.
- ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
- ALL EQUIPMENT TIRES SHALL BE WASHED BEFORE EXISTING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE-THROUGH WASHING BAYS.
- GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
- CLEANING OF FOOTPATHS AND ROADWAYS SHALL CARRIED OUT DAILY.
- ALL BUILDERS REFUSE, SPILL AND/OR MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.



NOTES:

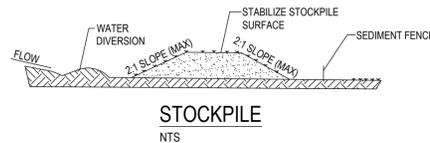
- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
- DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
- ROADS AND FOOTPATH TO BE SWEEP DAILY AS REQUIRED BY COUNCIL.
- IF YOU DO NOT COMPLY WITH COUNCIL REQUIREMENTS & DOCUMENTATION, YOU MAY BE LIABLE TO PROSECUTION FROM GOVERNMENT AUTHORITIES.



STABILIZED SITE ACCESS
NTS

CONSTRUCTION NOTES:

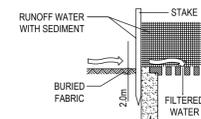
- STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
- COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
- CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
- ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METRES WIDE
- WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



STOCKPILE
NTS

NOTE:

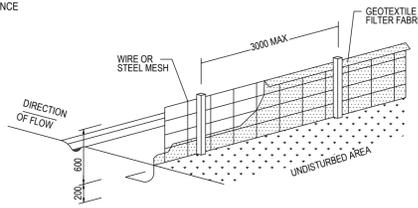
- PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- CONSTRUCT EARTH BANKS (LOW FLOW) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES ON THE DOWNSLOPE.



SEDIMENT BARRIER AROUND PIT
NTS

CONSTRUCTION NOTES:

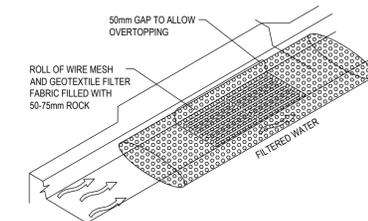
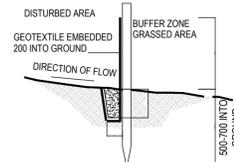
- FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
- FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOTEXTILE. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
- IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
- DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



SEDIMENT FENCE DETAIL
NTS

CONSTRUCTION NOTES:

- CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
- CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
- FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
- JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

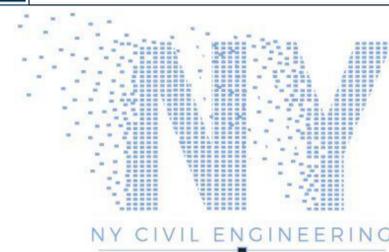
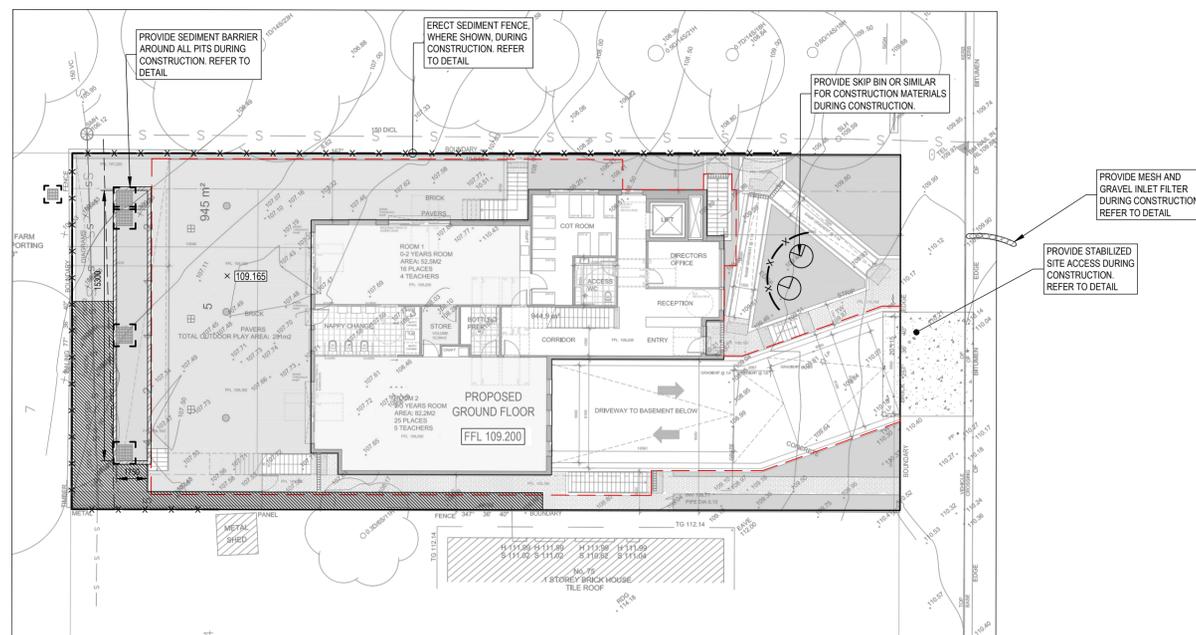


MESH AND GRAVEL INLET FILTER
NTS

CONSTRUCTION NOTES:

- INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS
- FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
- FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm(h) x 400mm(w).
- PLACE THE FILTER AT THE OPENING LEAVING AT LEAST 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
- FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
- SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

SEDIMENT CONTROL DETAILS



APPROVED BY
NADER ZAKI
MIEAust CPEng NER

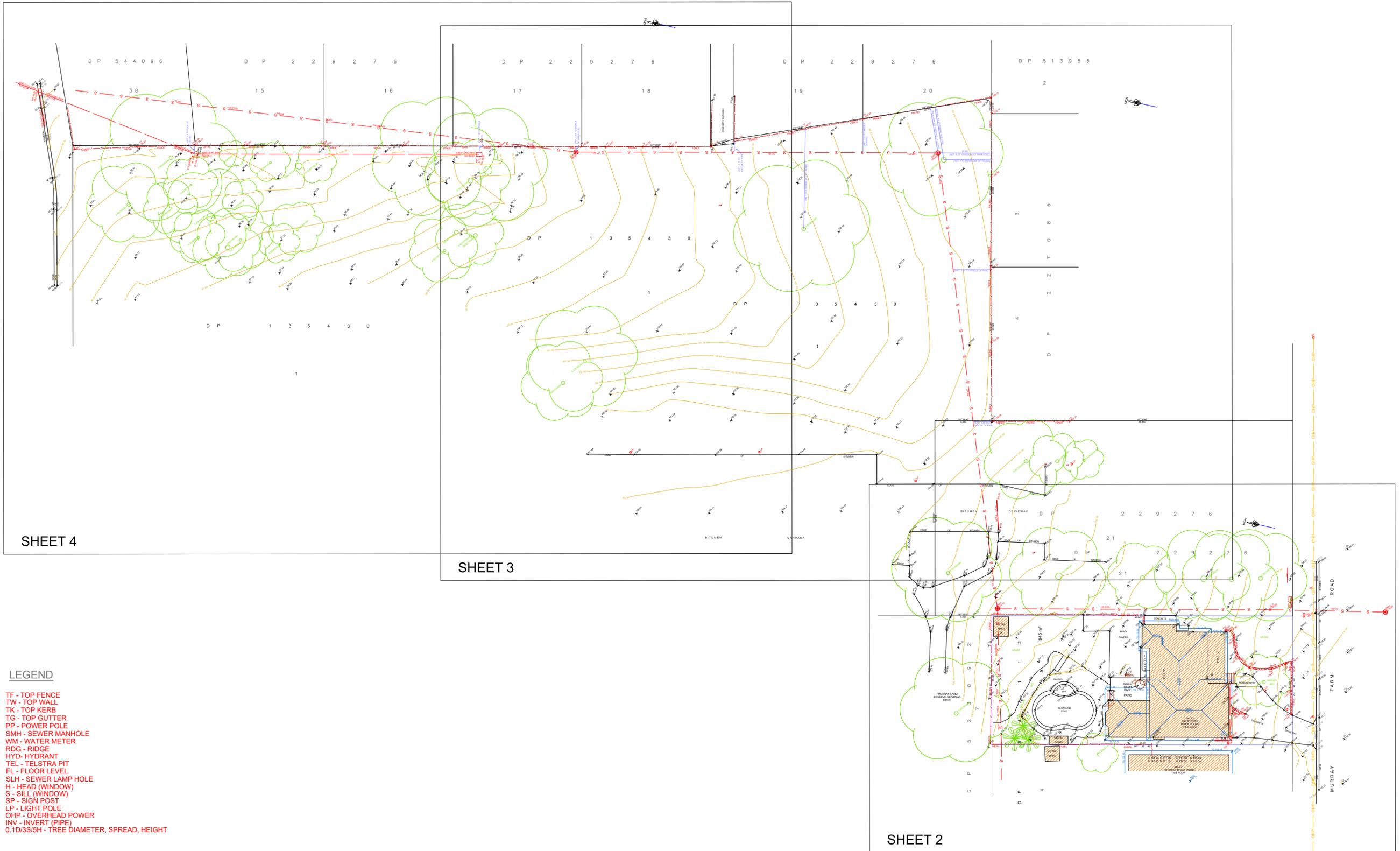
NZ

T 0413 942 613
E admin@nycivilengineering.com.au
W www.nycivilengineering.com.au

REVISION	DRAWN	DESCRIPTION	DATE
A	SR	ISSUED FOR DA	16.12.2022
B	SR	WSUD ADDITION	16.02.2023

DRAWING TITLE	
SEDIMENT CONTROL PLAN	
PROJECT TITLE	
PROPOSED CHILD CARE CENTRE No.73 MURRAY FARM ROAD CARLINGFORD	

SHEET SIZE	A1	JOB REFERENCE E220645
DESIGNED	SR	
CHECKED	YR	DRAWING No. D7
ISSUE	B	No. IN SET 7
SCALE	1:200	



SHEET 4

SHEET 3

SHEET 2

LEGEND

- TF - TOP FENCE
- TW - TOP WALL
- TK - TOP KERB
- TG - TOP GUTTER
- PP - POWER POLE
- SMH - SEWER MANHOLE
- WM - WATER METER
- RDG - RIDGE
- HYD - HYDRANT
- TEL - TELSTRA PIT
- FL - FLOOR LEVEL
- SLH - SEWER LAMP HOLE
- H - HEAD (WINDOW)
- S - SILL (WINDOW)
- SP - SIGN POST
- LP - LIGHT POLE
- OHP - OVERHEAD POWER
- INV - INVERT (PIPE)
- 0.1D/3S/5H - TREE DIAMETER, SPREAD, HEIGHT

* THE SUBJECT TITLE NOTES
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

A1

NOTES :

- * BOUNDARIES HAVE NOT BEEN DEFINED BY SURVEY AND ARE DIAGRAMMATIC ONLY.
- * LAND DIMENSIONS AND AREAS HAVE BEEN COMPILED FROM PLANS OBTAINED FROM NSW LRS.
- * BEARINGS RELATE TO MGA NORTH ORIGINATING FROM GNSS RTK OBSERVATIONS.
- * LEVEL DATUM IS AHD ORIGINATING FROM SSM107070 RL 108.675 LOCATED AT MURRAY FARM ROAD.
- * VISIBLE, ACCESSIBLE SERVICES ONLY HAVE BEEN LOCATED. THIS PLAN DOES NOT PURPORT TO SHOW UNDERGROUND SERVICES.
- * THE EXISTENCE OF UNDERGROUND SERVICES HAS NOT BEEN ESTABLISHED.
- * EXISTENCE OF SERVICES MUST BE VERIFIED BY CONTACTING DIAL BEFORE YOU DIG (DBYD) 1100.COM.AU
- * CRITICAL SERVICES MUST BE EXPOSED AND LOCATED
- * NEIGHBOURING HOUSES, WINDOWS AND ROOF POSITIONS ARE APPROXIMATE ONLY.
- * FLOOR LEVELS GENERALLY SURVEYED AT DOOR THRESHOLDS. INTERNAL ROOMS NOT SURVEYED.
- * CONTOURS SHOWN ARE INDICATIVE OF LAND FORM. SPOT LEVELS SHOULD TAKE PRECEDENCE.
- * REFER TO FACE OF PLAN FOR SUBJECT TITLE NOTATIONS.
- * THIS TITLEBLOCK IS AN INTEGRAL PART OF THIS DRAWING AND SHOULD NOT BE REMOVED.

REFERENCE SYSTEM: GDA 2020



SCIMS SURVEY MARK



© PROJECT SURVEYORS - 2022
REPRODUCTION WITHOUT WRITTEN
APPROVAL IS STRICTLY PROHIBITED

A	NEIGHBOURING WINDOWS ADDED	9/9/22
B	SURVEY EXTENDED TO PUBLIC RESERVE	1/11/22
REV	AMENDMENTS	DATE

CLIENT: MARK GLANVILLE

PLAN OF: 73 MURRAY FARM ROAD,
CARLINGFORD

BEING: LOT 5 IN DP 542112

SHOWING: GENERAL DETAIL AND
SITE LEVELS

PURPOSE: ARCHITECTURAL DESIGN
COUNCIL SUBMISSION

SHEET 1 OF 4

SCALE 1:300

JOB REF.: 5310-DETAIL-B
DRAWING No.: 5310-DETAIL-B-5310-DETAIL-B-1
SURVEYOR: BEN C
CHECKED: NATHAN M
REGISTERED LAND SURVEYOR
DATE: 2/11/2022
DATUM: A.H.D.
ORIGIN: SSM 107070 RL 108.675

BELLA VISTA

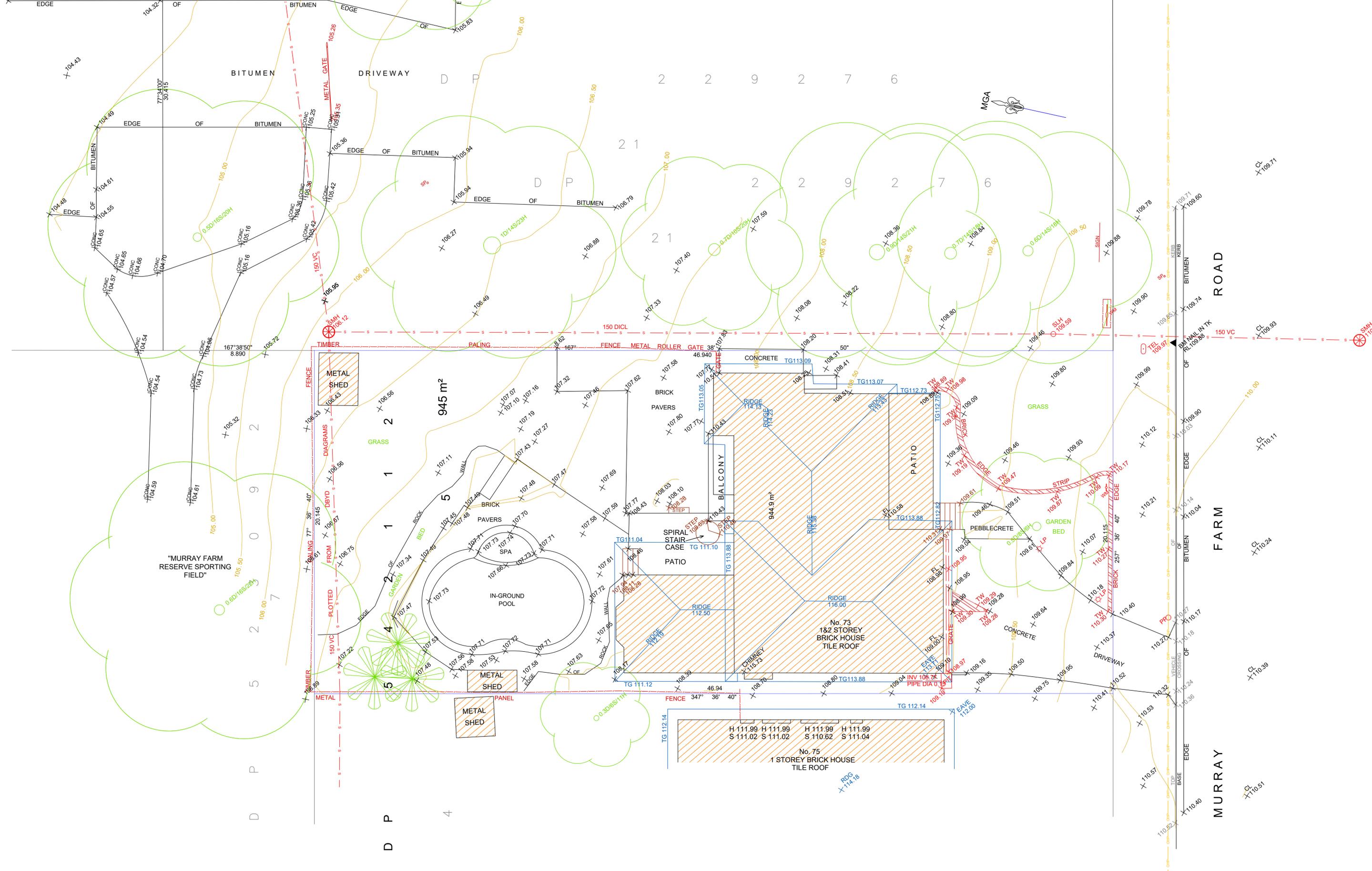
PO Box 7419
BAULKHAM HILLS NSW 2153
SUITE 405, LEVEL 4
14 LEXINGTON DRIVE
BELLA VISTA NSW 2153
PHONE : 9056 1900

email: office@projectsurveyors.com.au
www.projectsurveyors.com.au
ABN 20 068 433 974



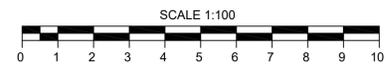
PROJECT SURVEYORS

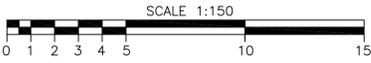
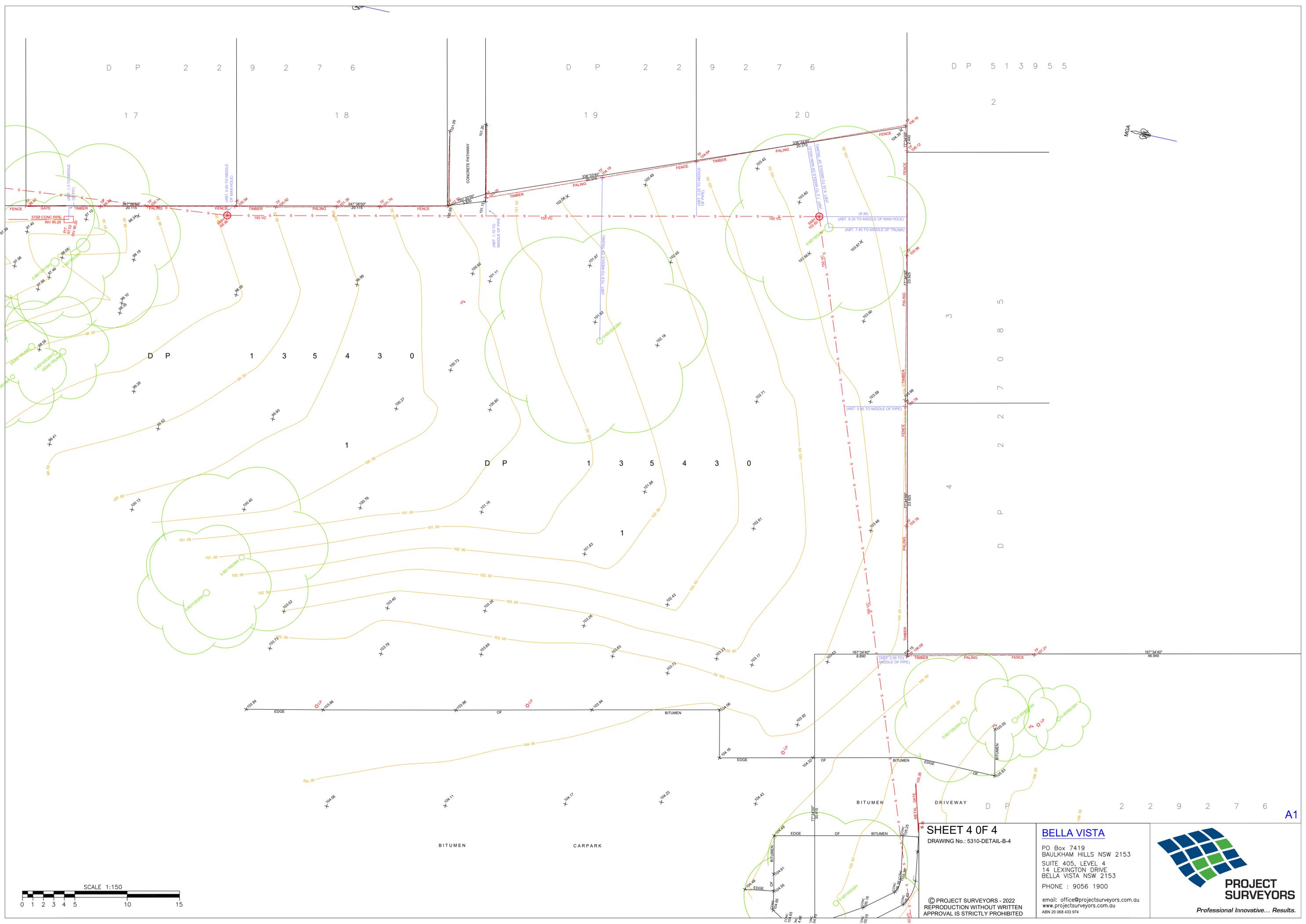
Professional Innovative... Results.



A1

<p>SHEET 4 OF 4 DRAWING No.: 5310-DETAIL-B-4</p>	<p>BELLA VISTA PO Box 7419 BAULKHAM HILLS NSW 2153 SUITE 405, LEVEL 4 14 LEXINGTON DRIVE BELLA VISTA NSW 2153 PHONE : 9056 1900</p>	 <p>PROJECT SURVEYORS Professional Innovative... Results.</p>
<p>© PROJECT SURVEYORS - 2022 REPRODUCTION WITHOUT WRITTEN APPROVAL IS STRICTLY PROHIBITED</p>		<p>email: office@projectsurveyors.com.au www.projectsurveyors.com.au ABN 20 068 433 974</p>





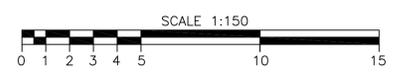
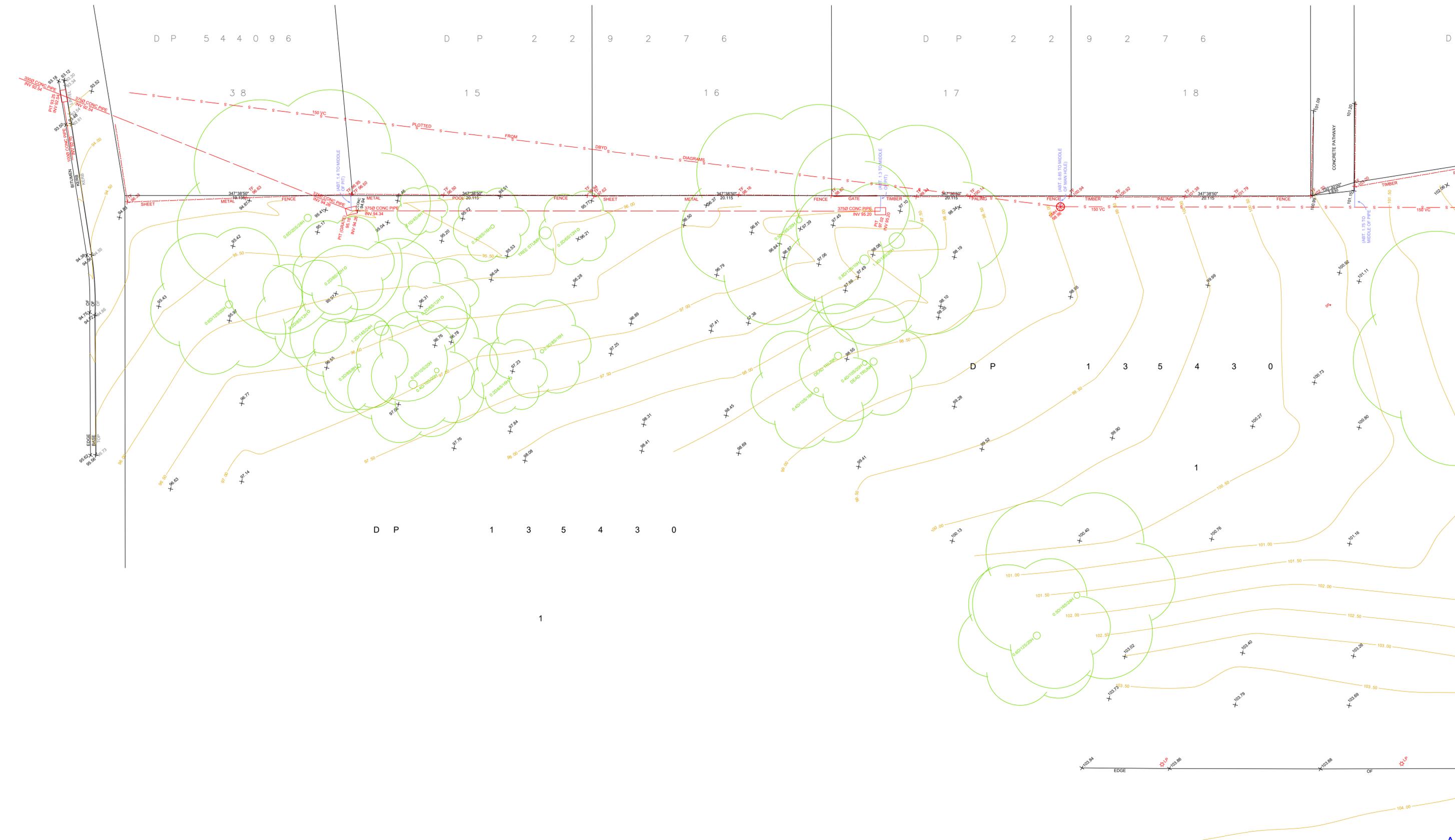
SHEET 4 OF 4
DRAWING No.: 5310-DETAIL-B-4

BELLA VISTA
PO Box 7419
BAULKHAM HILLS NSW 2153
SUITE 405, LEVEL 4
14 LEXINGTON DRIVE
BELLA VISTA NSW 2153
PHONE : 9056 1900
email: office@projectsurveyors.com.au
www.projectsurveyors.com.au
ABN 20 068 433 974



© PROJECT SURVEYORS - 2022
REPRODUCTION WITHOUT WRITTEN
APPROVAL IS STRICTLY PROHIBITED

A1



<p>SHEET 4 OF 4 DRAWING No.: 5310-DETAIL-B-4</p> <p>© PROJECT SURVEYORS - 2022 REPRODUCTION WITHOUT WRITTEN APPROVAL IS STRICTLY PROHIBITED</p>	<p>BELLA VISTA</p> <p>PO Box 7419 BAULKHAM HILLS NSW 2153 SUITE 405, LEVEL 4 14 LEXINGTON DRIVE BELLA VISTA NSW 2153 PHONE : 9056 1900</p> <p>email: office@projectsurveyors.com.au www.projectsurveyors.com.au ABN 20 068 433 974</p>	 <p>PROJECT SURVEYORS Professional Innovative... Results.</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------

A1